

**PROJECT INFORMATION-COMPREHENSIVE PERMIT  
SITE APPROVAL APPLICATION/ RENTAL**

General Site Project Site Control Financial Qualifications & Certification Notifications & Fees

Contacts

Site Approval Application/Homeownership

Neponset Village LLC

Project Information

Submit

Print

Unit Mix

Building Information

Project Information

Sustainable Development

Attachments

Upload

Attachment:

3.1 Preliminary Site Layout Plan(s)



Choose File

No file chosen

Upload

Uploaded Attachments

3.1 Preliminary Site Layout Plan(s)

10365.0 - Pleasant Street - Walpole - Site Plan Set - 2021-05-26.pdf

Delete

3.1 Preliminary Site Layout Plan(s)

Emergency Access Fire Truck Turning - 2021-06-02.pdf

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3.2 Graphic Representations of Project/Preliminary Architectural Plans

Neponset Village Landscape Render Plan.pdf

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3.3 Narrative Description of Design Approach

Design Narrative.docx

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3.4 Tabular Zoning Analysis

Tabular Waiver Requests.pdf

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3.5 Completed Sustainable Development Principles Evaluation Assessment Form

Sustainable Development Form.pdf

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3.1 Preliminary Site Layout Plan(s) (required):

Please provide preliminary site layout plans of the entire Site prepared, signed and stamped by a registered architect or engineer. Plans should be prepared at a scale of 1"=100' or 1"=200', and should show:

- Proposed site grading
- Existing lot lines
- Easements (existing and proposed)
- Access to a public way must be identified
- Required setbacks
- Proposed site circulation (entrances/egresses, roadways, driveways, parking areas, walkways, paths, trails)
- Building and structure footprints (label)
- Utilities (existing and proposed)
- Open space areas
- Schematic landscaping and screening
- Wetland and other restricted area boundaries and buffer zones

Please provide one (1) set of full size (30"x40") plans along with one (1) set of 11"x17" reproductions and one (1) electronic set of plans. Please note that MassHousing cannot accept USB flash drives.

### **3.2 Graphic Representations of Project/Preliminary Architectural Plans (required):**

- Typical floor plans
- Unit plans showing dimensions, bedrooms, bathrooms and overall unit layout
- Exterior elevations, sections, perspectives and illustrative rendering

### **3.3 Narrative Description of Design Approach (required):**

Provide a narrative description of the approach to building massing, style, and exterior materials; site layout, and the relationship of the project to adjacent properties, rights of way and existing development patterns. The handbook called Approach to Chapter 40B Design Reviews prepared by the Cecil Group in January 2011 may be helpful in demonstrating the nature of the discussion that MassHousing seeks in this narrative.

### **3.4 Tabular Zoning Analysis (required):**

Zoning analysis in tabular form comparing existing zoning requirements to the waivers that you will request from the Zoning Board of Appeals for the proposed project, showing required and proposed dimensional requirements including lot area, frontage, front, side and rear setbacks, maximum building coverage, maximum lot coverage, height, number of stories, maximum gross floor area ratio, units per acre, units per buildable acre; number of parking spaces per unit/square foot and total number of parking spaces (proposed and required).

### **3.5 Completed Sustainable Development Principles Evaluation Assessment Form (required):**

(see attached form)

**Application for Chapter 40B Project Eligibility / Site Approval  
for MassHousing-Financed and New England Fund ("NEF") Homeownership Projects**

**Section 3: PROJECT INFORMATION**

*In order to issue Site Approval, MassHousing must find (as required by 760 CMR 56.04 (4)) that the proposed project appears generally eligible under the requirements of the housing subsidy program and that the conceptual project design is generally appropriate for the site.*

**Construction Type:** New Construction

<b>Total Dwelling Units:</b>	24	<b>Total Number of Affordable Units:</b>	6
<b>Number of Market Units:</b>	18	<b>Number of AMI 50% Affordable Units:</b>	0
		<b>Number of AMI 80% Affordable Units:</b>	6

**Unit Information:**

Unit Type	Bedrooms	Baths	# Of Units	Unit Sq. Ft.	Sales Price	Condo/HO Fee
Market	2 Bedroom	2.5 Bat	17	1,348	\$569,900	\$320
Market	3 Bedroom	1 Bath	1	1,380	\$585,000	\$320
Affordable Unit - Below 80%	2 Bedroom	2.5 Bat	5	1,380	\$274,200	\$320
Affordable Unit - Below 80%	3 Bedroom	2.5 Bat	1	1,380	\$309,600	\$320

**Approach to calculating any additional fees relating to Condominium Association or Homeowners Association:**

The condominium fees will not be bifurcated. All fees are the same for both the Market and Affordable units.

**Percentage of Units with 3 or More Bedrooms:** 8

*\* Note that the January 17, 2014 Interagency Agreement Regarding Housing Opportunities for Families with Children requires that at least 10% of the units in the Project must have three (3) or more bedrooms. Evidence of compliance with this requirement must be provided at Final Approval.*

<b>Handicapped Accessible Units - Total:</b>	6	<b>Market Rate:</b>	18	<b>Affordable:</b>	10
<b>Gross Density (units per acre):</b>	0.0002	<b>Net Density (units per buildableacre):</b>	0.0002		

**Building Information**

Building Type	Building Style	Construction Type	Stories	Height	GFA	Number Bldg
Residential	Townhouse	Construction	2	25	4,718	7

Will all features and amenities available to market unit residents also be available to affordable unit residents?

Yes

If not, explain the differences:

**Parking**

**Total Parking Spaces Provided:** 53      **Ratio of Parking Spaces to Housing Units:** 2.21

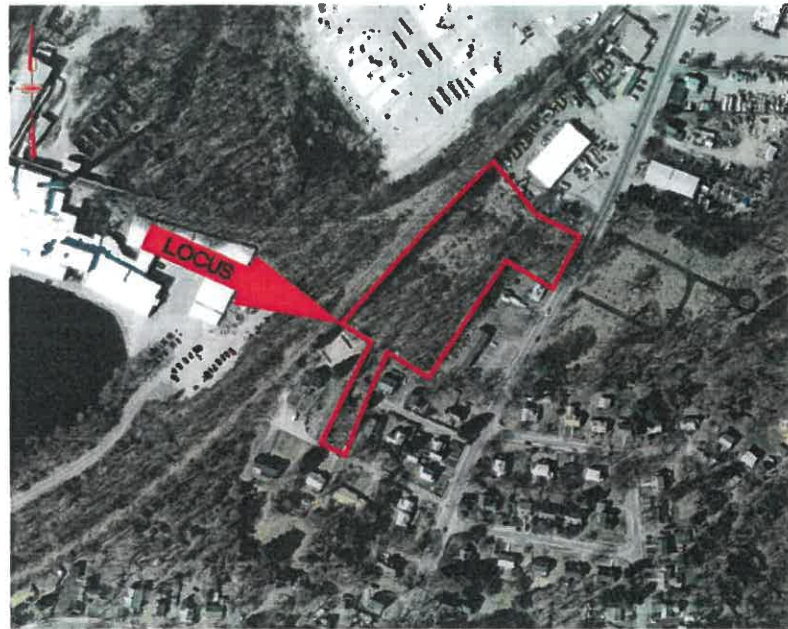
**Lot Coverage**

<b>Buildings:</b> 14%	<b>Parking and Paved Areas:</b> 30%
<b>Usable Open Space:</b> 56%	<b>Unusable Open Space:</b> 0%
<b>Lot Coverage:</b> 44%	

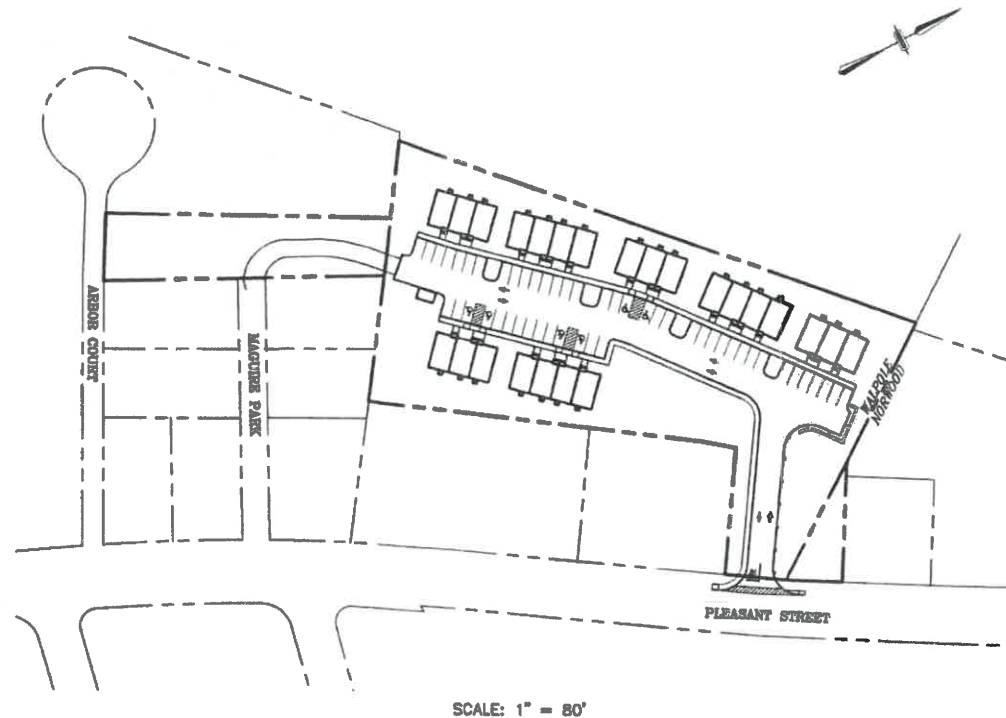
Does project fit definition of "Large Project" (as defined in 760 CMR 56.03 (6))?

No

# NEPONSET VILLAGE MASSHOUSING PLANS 5 PLEASANT STREET WALPOLE, MASSACHUSTTS 02081



MASS GIS 2008 AERIAL PHOTO  
SCALE: 1" = 200'



SCALE: 1" = 80'

**DESCRIPTION**

- COVER SHEET
- NOTES & LEGEND
- EXISTING CONDITIONS
- DEMOLITION AND EROSION CONTROL
- SITE LAYOUT PLANS
- SITE GRADING & DRAINAGE PLANS
- SITE UTILITY PLANS
- DETAIL SHEETS

**SHEET**

- 1
- 2
- 3
- 4
- 5
- 6
- 7
- 8-12

PREPARED FOR:

**MCSHARRY BROS., INC.**  
P.O. BOX 206  
ABINGTON, MA 02351

**PREPARED ON:  
JUNE 2, 2021**



4 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 02324  
PHONE: 508.697.3191, FAX: 508.697.5996  
WEBSITE: [www.coneco.com](http://www.coneco.com)

**ENGINEER:**  
DAMIEN J. DMITRUK, P.E.  
CONECO ENGINEERS & SCIENTISTS, INC.  
BRIDGEWATER, MA 02324

MASSACHUSETTS REGISTERED PROFESSIONAL ENGINEER #55388

DATE: \_\_\_\_\_

**SURVEYOR:**  
TIMOTHY S. BODAH, P.L.S.  
CONECO ENGINEERS & SCIENTISTS, INC.  
BRIDGEWATER, MA 02324

MASSACHUSETTS REGISTERED PROFESSIONAL LAND SURVEYOR #46110

DATE: \_\_\_\_\_

NEPONSET VILLAGE			
5 PLEASANT STREET, WALPOLE, MASSACHUSTTS 02081			
REVISIONS			
NO.	DATE	DESCRIPTION	DR/CK

**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
---	---	PROPERTY LINE ABUTTER
---	---	EASEMENT LINE
105	50	MAJOR GROUND CONTOUR
48	---	MINOR GROUND CONTOUR
---	---	RECHARGE BOUNDARY
---	---	EDGE OF PAVEMENT
---	---	CURB
---	---	BUILDING
---	---	TREE LINE
---	---	EROSION CONTROL LINE
---	---	DRAINAGE LINE
---	---	GUARD RAIL
---	---	POST AND RAIL FENCE
---	---	CHAIN LINK FENCE
---	---	GUARD RAIL
---	---	GAS LINE
---	---	WATER LINE
---	---	SEWER LINE
---	---	OVERHEAD WIRE
---	---	TELEPHONE
⊙	⊙	SEWER MANHOLE
⊙	⊙	DRAIN MANHOLE
⊙	⊙	CATCH BASIN
⊙	⊙	TEST PIT
⊙	⊙	UTILITY POLE
⊙	⊙	GUY WIRE
⊙	⊙	LIGHT POLE
⊙	⊙	BOUND W/ DRILL HOLE
⊙	⊙	WATER VALVE
⊙	⊙	GAS VALVE
⊙	⊙	HYDRANT
⊙	⊙	PARKING SPACE COUNT
⊙	⊙	SEWER CLEAN OUT
⊙	⊙	FLARED END SECTION
⊙	⊙	DUMPSTER
⊙	⊙	BORING

**ABBREVIATIONS**

ABBREV.	DESCRIPTION
BIT.	BITUMINOUS BUILDING BENCH MARK
BLDG	BUILDING
CB	CATCH BASIN
CBDH	CONCRETE BOUND DRILL HOLE
CLF	CHAIN LINK FENCE
CO	CLEAN OUT
CONC.	CONCRETE
CPD	CONCRETE PAD
DCB	DOUBLE CATCH BASIN
DH	DRILL HOLE
DIA.	DIAMETER
DM.	DIMENSION
DMH	DRAIN MANHOLE
EHH	ELECTRIC HANDHOLE
ELEV.	ELEVATION
ELEC.	ELECTRIC
EM	ELECTRIC MANHOLE
EOP	EDGE OF PAVEMENT
EXIST, EX.	EXISTING
FES	FLARED END SECTION
FFE	FIRST FLOOR ELEVATION
FT	FOOT OR FEET
GG	GAS GATE
GR	GUARD RAIL
GV	GATE VALVE
GW	GROUND WATER
HGW	HIGH GROUND WATER
HW	HEADWALL
HYD	HYDRANT
INV., I	INVERT
IP	IRON PIPE
L	LENGTH
LP	LIGHT POLE
LS	LANDSCAPING
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
MISC	MISCELLANEOUS
MW	MONITORING WELL
NO	NUMBER
NTS	NOT TO SCALE
N/E	NOT ENCOUNTERED
N/F	NOW OR FORMERLY
OHW	OVERHEAD WIRE
OWD	OVERHEAD
OW	OBSERVATION WELL
PCC	PRECAST CONCRETE CURB
PL	PROPERTY LINE
PROP., P	PROPOSED
PVC	POLYVINYL CHLORIDE PIPE
R	RIM
R&R	REMOVE & RESET/REPLACE
RD	REINFORCED CONCRETE PIPE
RD#	ROAD
RD#	ROOF DRAIN NUMBER
ROW	RIGHT OF WAY
RR	RAILROAD
S	SLOPE
STC	STORMCEPTOR CATCH BASIN (WATER QUALITY CATCH BASIN)
SEC.	SECTION
SF	SQUARE FEET
SMH	SEWER MANHOLE
SW	SIDEWALK
TB	TEST BORING
TR	TO BE REMOVED
TC	TOP OF CURB
TYP.	TYPICAL
UP	UTILITY POLE
VGC	VERTICAL GRANITE CURB
WG/V	WATER GATE/VALVE
WM	WATER METER
WMH	WATER MAN HOLE

**NOTES**

**GENERAL:**

1. THE CONTRACTOR SHALL NOTIFY "DIGSAFE" (1-888-DIGSAFE) AT LEAST 72 HOURS (3 BUSINESS DAYS) BEFORE EXCAVATING.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
3. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS.
4. SITE SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
5. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
6. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER OR OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
7. SITE CLEARING SHALL BE LIMITED TO THE EROSION CONTROL LINE AND/OR THE LIMIT OF GRADING IN AREAS WHERE EROSION CONTROL LINE IS NOT REQUIRED. CARE SHOULD BE TAKEN TO PROTECT EXISTING TREES OUTSIDE OF THIS LINE, THEREBY MAINTAINING A NATURAL BUFFER TO THE GREATEST EXTENT POSSIBLE.
8. DEGRADED AND DAMAGED EROSION CONTROLS TO BE REPLACED BY THE CONTRACTOR UNTIL FINAL SOIL STABILIZATION METHODS HAVE BEEN ESTABLISHED.
9. BUILDING HEIGHTS SHALL CONFORM TO LATEST ARCHITECTURAL DESIGN PLANS.
10. ALL PROPOSED ACCESSIBLE PARKING SPACES, RAMPS, AND ACCESS ROUTES SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (A.D.A.) STANDARDS FOR ACCESSIBLE DESIGN, MASSACHUSETTS 521 CMR ARCHITECTURAL ACCESS BOARD, AND MASSDOT STANDARDS UNLESS OTHERWISE NOTED.
11. ALL PROPOSED ACCESSIBLE PARKING SPACES SHALL HAVE A MAXIMUM SLOPE OF 2.0% AND A MINIMUM SLOPE OF 1.5%.
12. ALL PROPOSED ACCESSIBLE ACCESS ROUTES SHALL HAVE A MAXIMUM SLOPE OF 5.0% AND A MAXIMUM CROSS SLOPE OF 2.0%.
13. ALL PROPOSED CATCH BASINS TO COMPLY WITH AMERICANS WITH DISABILITIES ACT STANDARDS WHICH WILL HAVE PERFORATED GRATE, NOT SLOTTED, STYLE COVERS UNLESS OTHERWISE NOTED.
14. DRAINAGE AND SEWER STRUCTURES SHALL BE SET FLUSH WITH PAVEMENT, CONCRETE, AND ALL SURFACE TYPES ALONG ACCESSIBLE ROUTES.
15. AREAS OF PROPOSED STORMWATER INFILTRATION FACILITIES SHALL BE ROPED OR FENCED OFF TO PROTECT THE IN SITU SOIL FROM COMPACTION AND SEDIMENTATION. HEAVY EQUIPMENT AND TEMPORARY SEDIMENT BASINS SHALL NOT BE ALLOWED IN THESE AREAS.

**LAYOUT & MATERIALS:**

1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
2. CONCRETE BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LAND SURVEYOR.

**EXISTING CONDITIONS INFORMATION:**

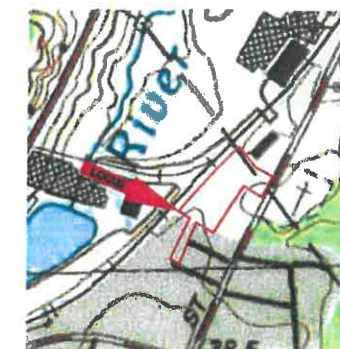
1. THE PROPERTIES ARE REFERENCED BY THE TOWN OF WALPOLE ASSESSOR'S MAP 20 LOT 84 & MAP 20 LOT 63 AND THE TOWN OF NORWOOD ASSESSOR'S MAP 10 SHEET 2 LOT 2
2. OWNER OF RECORD ACCORDING TO ASSESSORS RECORDS: MCSHARRY BROS INC. BOOK 36191, PAGE 0361(WALPOLE)
3. ELEVATIONS REFER TO NAVD 88.
4. TOPOGRAPHIC INFORMATION AND EXISTING SITE FEATURES WERE OBTAINED FROM MAPLEWOOD CONDOMINIUMS SITE PLAN BY NORWOOD ENGINEERING COMPANY, INC. LAST REVISED 6/2/2016.
5. THE PROPERTY IS LOCATED IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 25021C0187E DATED JULY 17, 2012.
6. UNDERGROUND UTILITY LOCATION AS SHOWN HEREON ARE TAKEN FROM AVAILABLE RECORD AND FIELD INFORMATION AND ARE APPROXIMATE ONLY. BEFORE PLANNING ANY CONSTRUCTION, DIGSAFE AND THE VARIOUS UTILITY COMPANY ENGINEERING DEPARTMENTS SHOULD BE CONSULTED.
7. TREE SYMBOLS ARE FOR GRAPHIC PURPOSES ONLY AND DO NOT REPRESENT ACTUAL CANOPY LINES.

**LANDSCAPING:**

1. ALL AREAS CLEARED AND/OR DISTURBED SHALL BE BROUGHT TO WITHIN 4 INCHES OF FINAL GRADE AND FINISHED WITH 4 INCHES OF LOAM AND SEED EXCEPT WHERE OTHER FINISHES ARE PROPOSED (REFER TO PLANS).
2. CONTRACTOR IS RESPONSIBLE FOR REPLACING (IN KIND) ALL DEAD OR DYING PLANT MATERIAL FOR A PERIOD OF 2 YEARS AFTER INITIAL PLANTING.

**UTILITIES:**

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVES. THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
2. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT. FAILURE TO PROVIDE OR PERFORM THE ABOVE PRIOR TO PERFORMING ANY WORK SHALL NOT BE GROUNDS FOR EXTRA PAYMENTS TO THE CONTRACTOR.
3. SET CATCH BASIN RIMS, AND INVERTS OF DRAINS AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND DRAINAGE PLAN.
4. RIM ELEVATIONS FOR DRAIN MANHOLES AND OTHER SUCH ITEMS ARE APPROXIMATE AND SHALL BE ADJUSTED AS FOLLOWS:
  - PAVEMENTS, CONCRETE SURFACES, AND ALL SURFACE TYPES ALONG ACCESSIBLE ROUTES-- SET FLUSH WITH FINISH GRADES.
  - LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS-- SET 1 INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.
5. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.
6. THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITY COMPANY.
7. UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:
  - STORM DRAINAGE PIPES SHALL BE DOUBLE WALL, SMOOTH INTERIOR HIGH DENSITY POLYETHYLENE (HDPE)



LOCUS MAP  
Scale: 1" = 500'

**SITE DEVELOPMENT TABLES**

TOTAL SITE AREA: 121,579 S.F. (2.79± ACRES)

**ZONING TABLE**

ZONE: GENERAL RESIDENCE		
USES: RESIDENTIAL		
	REQUIRED	PROVIDED
<b>LOTS</b>		
MIN. AREA	15,000 S.F.	121,579 S.F.
MIN. FRONTAGE	100 FT	110 FT
<b>BUILDINGS</b>		
MAX. BUILDING LOT COVERAGE	30%	14.1%
MAX. IMPERVIOUS LOT COVERAGE	50%	43.7%
MIN. USABLE OPEN SPACE	40%	56.3%
MIN. FRONT YARD	30 FT	197.4 FT
MIN. SIDE YARD	10 FT	17.9 FT
MIN. REAR YARD	30 FT	15.1 FT
MAX. BUILDING HEIGHT	35 FT	35 FT

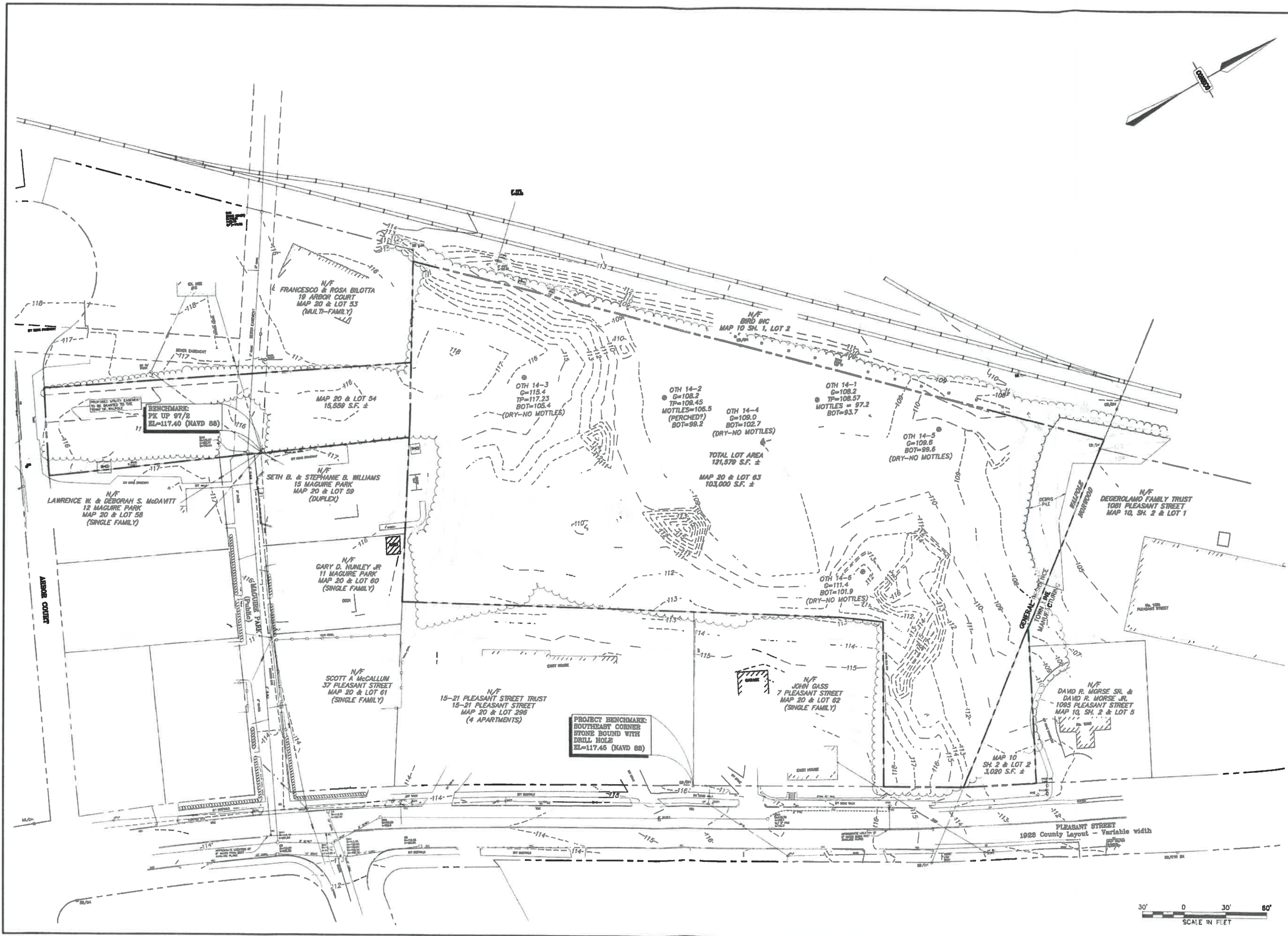
NO.	DATE	DESCRIPTION	DR/CK

MCSHARRY BROS., INC.  
P.O. BOX 206  
ABINGTON, MA 02351

NEPONSET VILLAGE  
5 PLEASANT STREET  
WALPOLE, MASSACHUSETTS 02081

**CONECO**  
Engineers & Scientists  
PHONE: 603-646-3355  
WEBSITE: www.coneco.com

DATE	06/02/2021
DESIGNED: MVB	CHECKED: DJD
DRAFTED: MVB	IN CHARGE: JEN
SCALE:	AS SHOWN
PROJECT NO.	10365.0
SHEET NO.	2



REV.	DATE	DESCRIPTION	DR/CHK

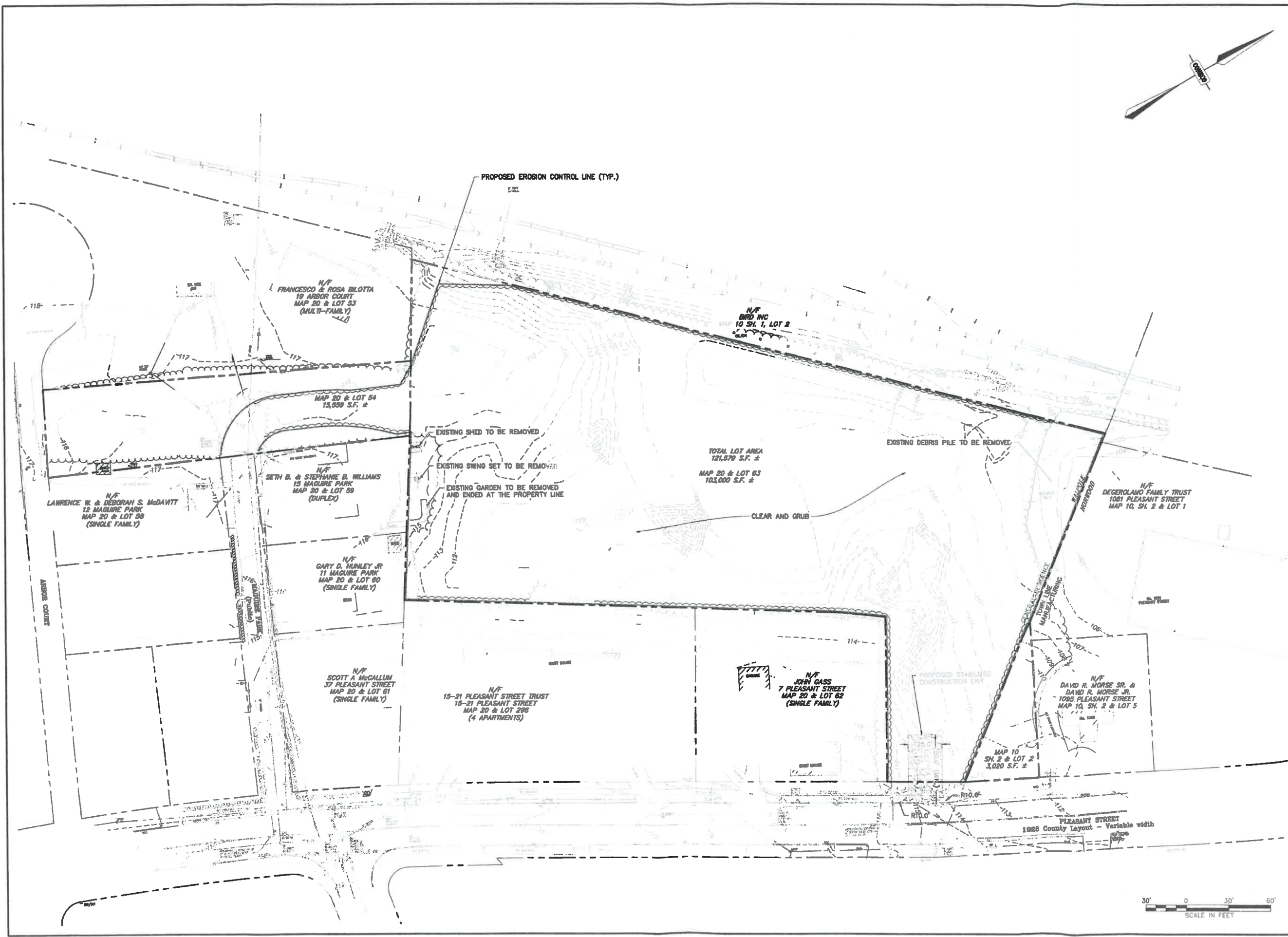
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 DATE 06/02/2021  
 DESIGNED: MVB CHECKED: DJD  
 DRAFTED: MVB IN CHARGE: JEN  
 SCALE: 1" = 30'  
 PROJECT NO. 10365.0  
 SHEET NO. 3 OF 12

MCHERRY BROS., INC.  
 P.O. BOX 206  
 ABRINGTON, MA 02651  
 EXISTING CONDITION PLAN

NEPONSET VILLAGE  
 5 PLEASANT STREET  
 WALPOLE, MASSACHUSETTS 02081  
 MASSHOUSING PLANS

**CONECO**  
 Engineers & Scientists  
 PHONE: 508-548-3355 WEBSITE: WWW.CONECO.COM





REVISIONS	
NO.	DATE

PROJECT NO. 10385.0  
 PREPARED BY: MCHENRY BROS., INC.  
 P.O. BOX 200  
 ABRINGTON, MA 02861

DEMOLITION AND EROSION CONTROL PLAN

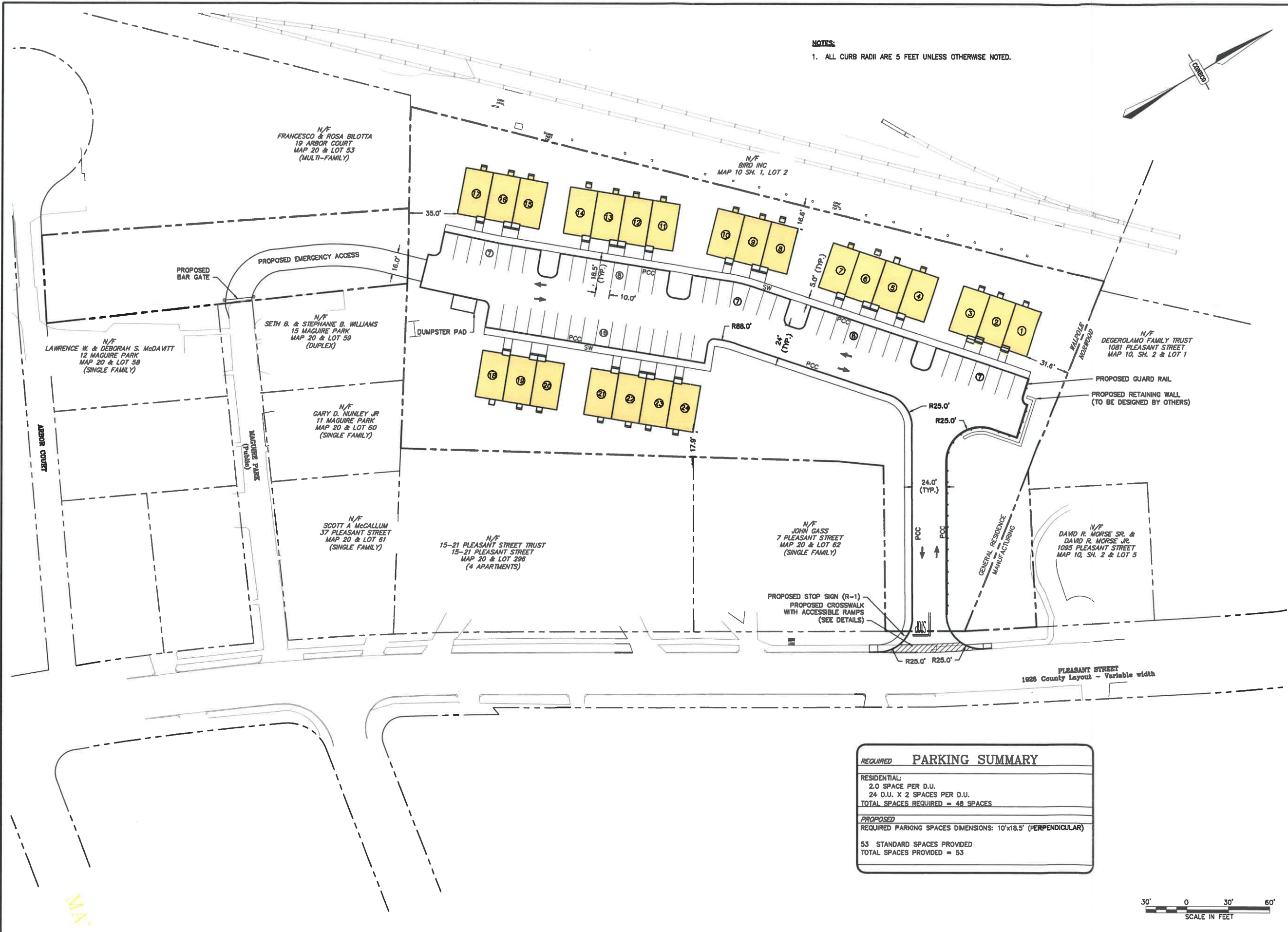
PROJECT NO. 10385.0  
 PREPARED BY: WELDON VILLAGE  
 5 PLEASANT STREET  
 WALTHAM, MASSACHUSETTS 02081

MASSHOUSING PLANS

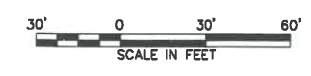


DATE	06/02/2021
DESIGNED: MVB	CHECKED: DJD
DRAFTED: MVB	IN CHARGE: JEN
SCALE:	1" = 30'
PROJECT NO.	10385.0
SHEET NO.	4

**NOTES:**  
 1. ALL CURB RADII ARE 5 FEET UNLESS OTHERWISE NOTED.



REQUIRED PARKING SUMMARY	
<b>RESIDENTIAL:</b>	
2.0 SPACE PER D.U.	
24 D.U. X 2 SPACES PER D.U.	
<b>TOTAL SPACES REQUIRED = 48 SPACES</b>	
<b>PROPOSED</b>	
REQUIRED PARKING SPACES DIMENSIONS: 10'x18.5' (PERPENDICULAR)	
53 STANDARD SPACES PROVIDED	
<b>TOTAL SPACES PROVIDED = 53</b>	



REVISIONS	
NO.	DATE

DR/CHK	
DESCRIPTION	
DATE	
NO.	

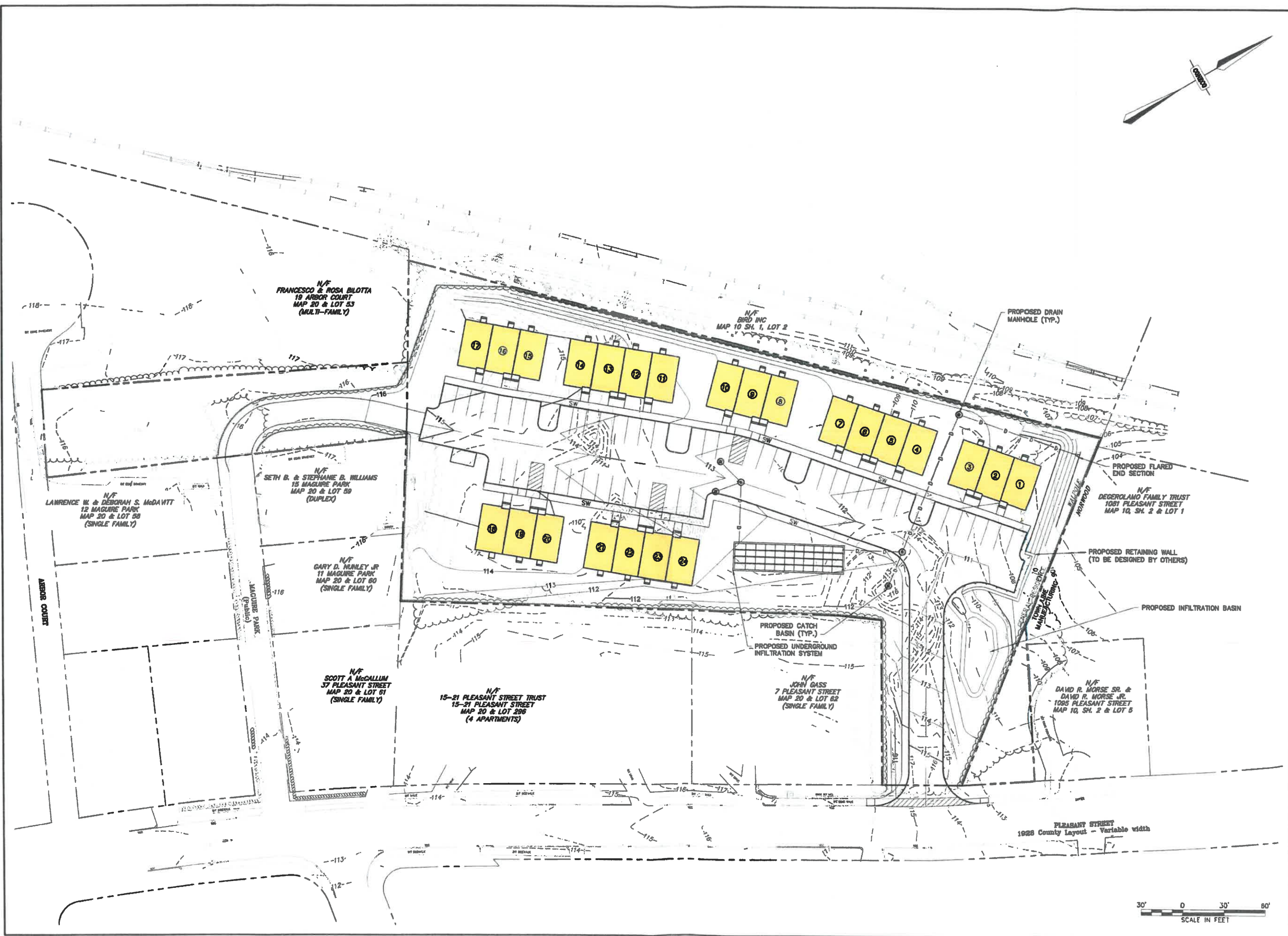
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DATE	08/02/2021
DESIGNED:	MVB
CHECKED:	DJD
DRAFTED:	MVB
IN CHARGE:	JEN
SCALE:	1" = 30'
SHEET NO.	5

PREPARED BY:	MCSHARRY BROS., INC. P.O. BOX 208 ABINGTON, MA 02561	SITE LAYOUT PLAN
PROJECT NO.:	NEPONSET VILLAGE 5 PLEASANT STREET WALPOLE, MASSACHUSETTS 02081	MASSHOUSING PLANS

**CONECO**  
 Engineers & Scientists  
 PHONE: 800-546-3355    WEBSITE: www.coneco.com



NO.	DATE	REVISIONS DESCRIPTION

DESIGNED BY: **MC SHARRY BROS., INC.**  
 P.O. BOX 306  
 ABRINGTON, MA 02951

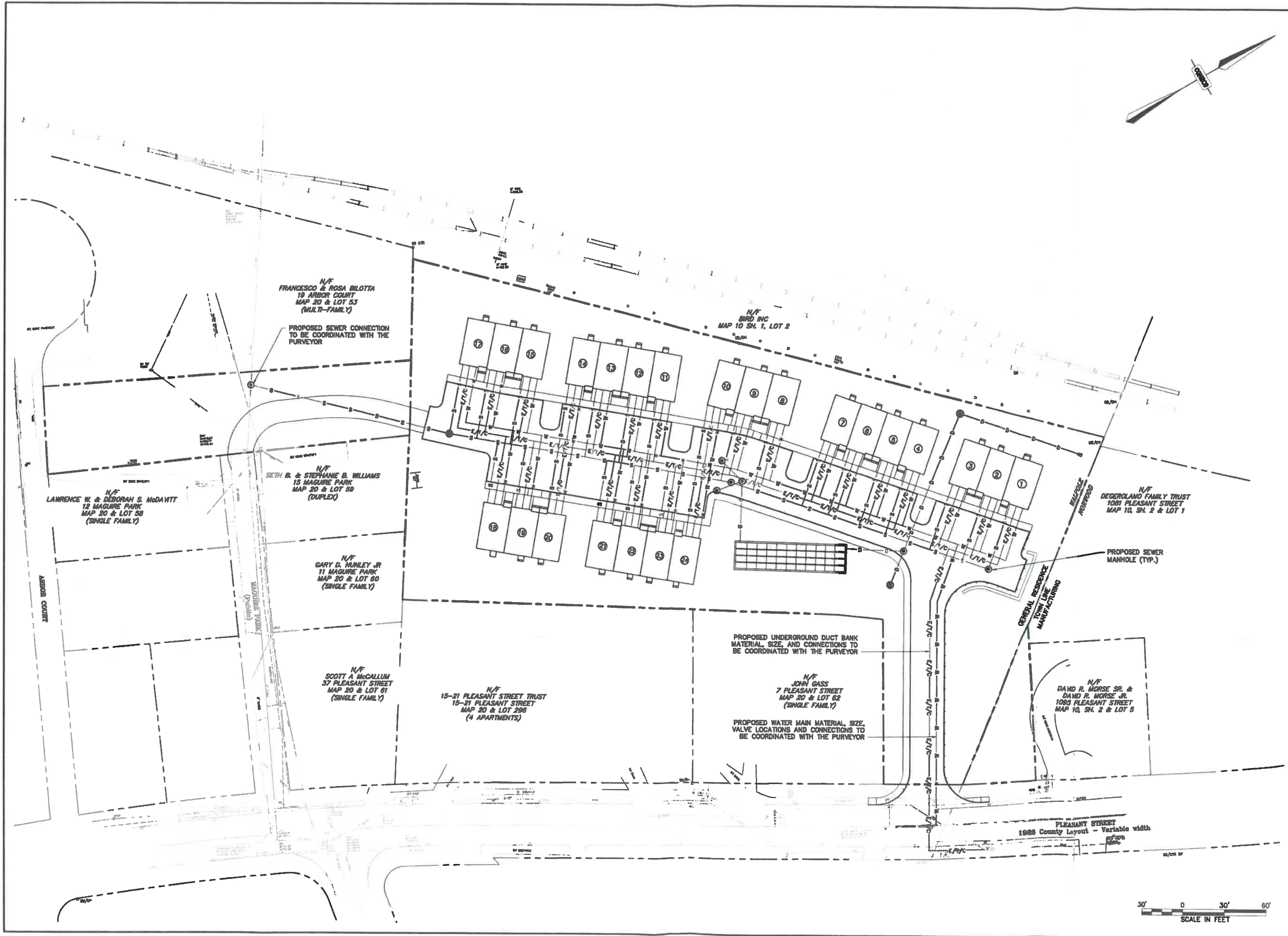
PROJECT NO.: **REFORMET VILLAGE**  
**5 PLEASANT STREET**  
**WALPOLE, MASSACHUSETTS 02081**

DATE: **06/02/2021**

**CONECO**  
 Engineers & Scientists  
 PHONE: 800-948-3385 WEBSITE: WWW.CONECO.COM

DESIGNED: MVB	CHECKED: DJD
DRAFTED: MVB	IN CHARGE: JEN
SCALE: 1" = 30'	
PROJECT NO. 10385.0	
SHEET NO. <b>6</b>	OF 12





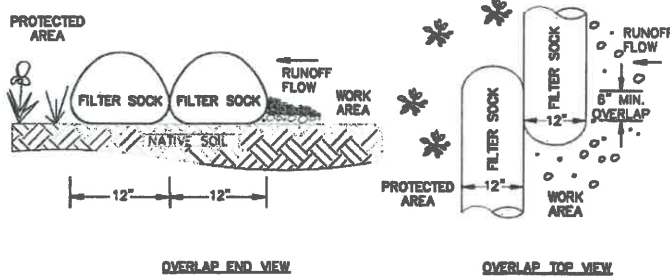
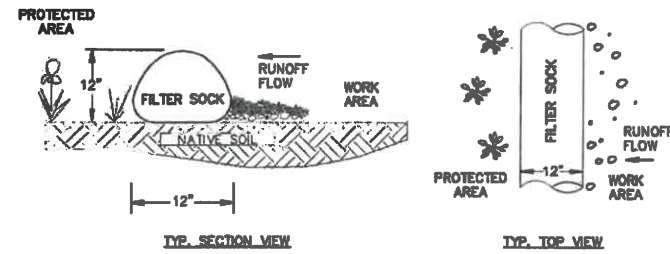
NO.	DATE	DESCRIPTION	BY/CHK

PREPARED BY: **MCHEARRE BROS., INC.**  
 P.O. BOX 2001  
 ABBINGTON, MA 02881

PROJECT NO: **NEPONSET VILLAGE**  
 5 PLEASANT STREET  
 WALPOLE, MASSACHUSETTS 02081

**CONECO**  
 Engineers & Scientists  
 PHONE: 508-946-3365 WEBSITE: WWW.CONECO.COM

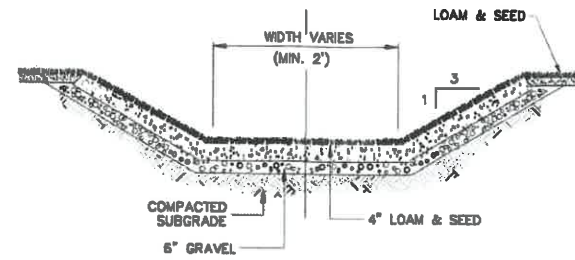
DATE: 06/02/2021  
 DESIGNED: MVB CHECKED: DJD  
 DRAFTED: MVB IN CHARGE: JEN  
 SCALE: 1" = 30'  
 PROJECT NO. 10388.0  
 SHEET NO. **7**  
 OF 12



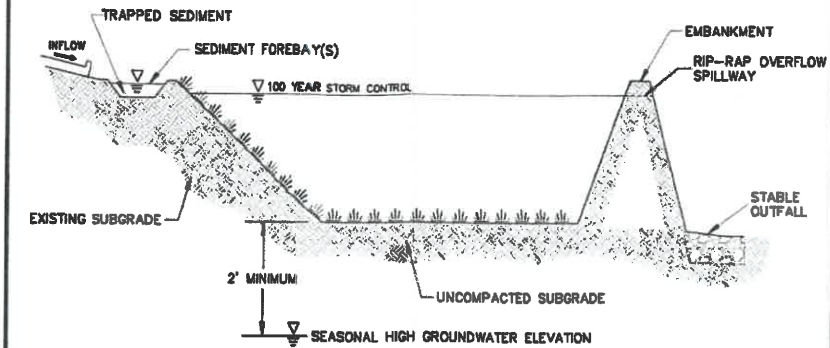
**NOTES:**

1. EACH FILTER SOCK SHALL CONSIST OF COMPOST MATERIAL WRAPPED IN BURLAP. COMPOST MATERIAL AND BURLAP CASING SHALL BE APPROVED BY ENGINEER PRIOR TO INSTALLATION.
2. CONTRACTOR SHALL PAY FOR COMPOST MATERIAL TESTING IF REQUIRED.
3. FILTER SOCKS SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. SEDIMENT SHALL BE REMOVED FROM FACE OF SOCK WHEN IT REACHES 1/3 HEIGHT OF SOCK.
4. COMPOST FILTER SOCK TO BE STAKED WITH A 4' BEANPOLE AT A MAXIMUM DISTANCE OF 10'. STAKE CLOSER AS NEEDED.

**12" DIA. COMPOST FILTER SOCK DETAIL**  
N.T.S.



**GRASS SWALE**  
N.T.S.

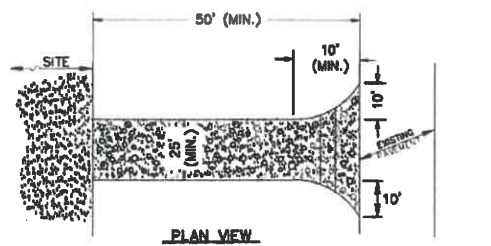


**PROFILE**

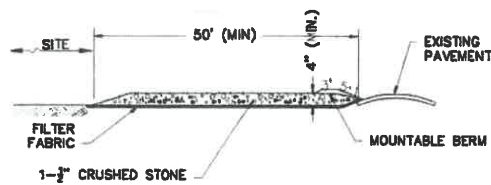
**NOTES:**

- MIX NATIVE SOILS AND COMPOST AGED TO KILL SEED STOCK FOR INFILTRATION BASIN BOTTOM. SEED INFILTRATION BASIN BOTTOM WITH LOW MAINTENANCE GRASSES.

**INFILTRATION BASIN DETAIL**  
N.T.S.



**PLAN VIEW**

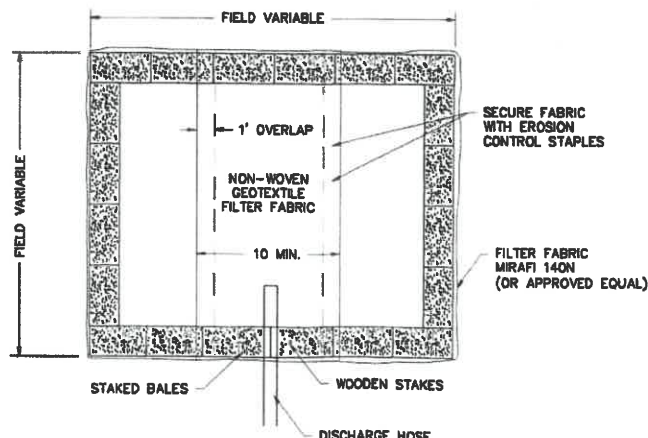


**CROSS-SECTION**

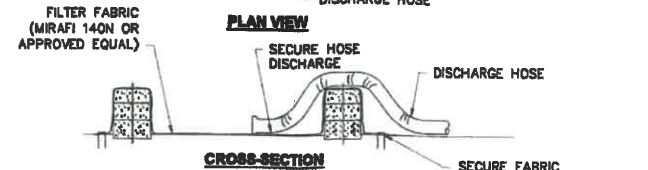
**NOTES:**

1. ENTRANCE WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO REAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED.
3. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.

**STABILIZED CONSTRUCTION EXIT**  
N.T.S.



**PLAN VIEW**

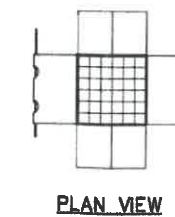


**CROSS-SECTION**

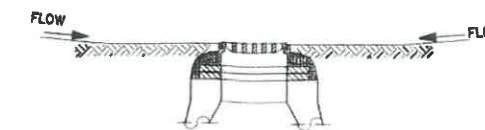
**NOTES:**

1. NUMBER OF BALES MAY VARY DEPENDING ON SITE CONDITIONS.
2. THE BASIN TO BE SIZED TO PREVENT DISCHARGE WATER FROM OVERTOPPING BASIN.
3. KEEP AS FAR FROM WETLANDS AS PRACTICAL.
4. CLEAN AND REMOVE AS SOON AS DEWATERING IS COMPLETE.

**TYPICAL DEWATERING HAYBALE BASIN**  
N.T.S.



**PLAN VIEW**



**SECTION VIEW**

**NOTES:**

1. INSTALL SILTSACK IN ALL PROPOSED CATCH BASINS UNTIL AFTER BINDER COURSE IS PLACED AND HAYBALES HAVE BEEN REMOVED.
2. INSTALL SILTSACK IN ALL EXISTING CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK. SILT SACKS TO REMAIN UNTIL BINDER COURSE HAS BEEN PLACED AND EROSION CONTROLS HAVE BEEN REMOVED.
3. GRATE TO BE PLACED OVER SILTSACK.
4. SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED.

**SILTSACK SEDIMENT TRAP**  
N.T.S.

NO.	DATE	DESCRIPTION	BY/CHK

MCNEAREY ERGOS, INC.  
P.O. BOX 206  
ABINGTON, MA 02861

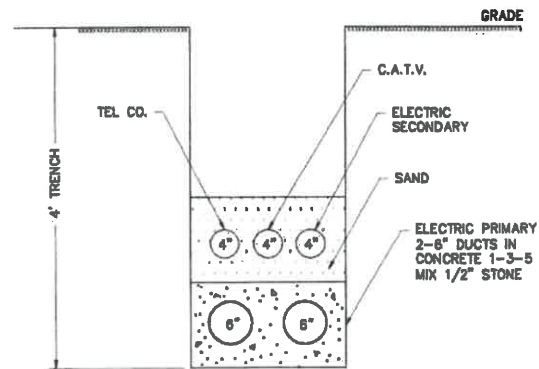
DETAILS  
SHEET 1 OF 5

REPOSIT VILLAGE  
5 PLEASANT STREET  
WALPOLE, MASSACHUSETTS 02081

MASSHOUSING PLANS

**CONECO**  
Engineers & Scientists  
PHONE: 800-548-3358 WEBSITE: www.coneco.com

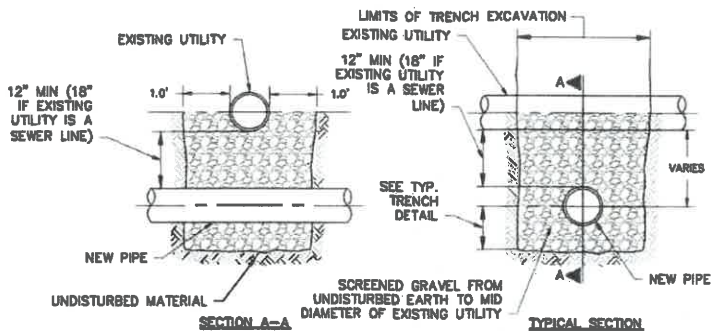
DATE	08/02/2021
DESIGNED: MVB	CHECKED: DJD
DRAFTED: MVB	IN CHARGE: JEN
SCALE:	N.T.S.
PROJECT NO.	10285.0
SHEET NO.	



**NOTES:**

1. ELECTRIC SECONDARY DUCT IN SAND.
2. ELECTRIC PRIMARY DUCT IN CONCRETE 1-3-5 MIX 1/2" STONE.
3. ALL PVC CONDUIT AND 36" RADIUS ELBOW 6" SCHEDULE #40.
4. RISER POLE - 6" PVC ELBOW 36" RADIUS - PULLING STRING INSTALLED IN ALL OUTLETS - 2 - SETS OF AS BUILT DRAWINGS
5. CONCRET SLAB FOR TRANSFORMERS SHALL BE 1-2-3 MIX 1" STONE WITH 1/2" RODS.
6. DUCT BANK TRENCH CONFIGURATION AND MATERIALS TO BE CONFIRMED WITH UTILITY PURVEYORS PRIOR TO CONSTRUCTION.
7. THIS DETAIL IS FOR ILLUSTRATION ONLY. ALL DUCT BANK DETAILS, TRENCHES AND MATERIALS MUST CONFORM TO THE CURRENT REQUIREMENTS OF EACH UTILITY COMPANY USED ON THIS PROJECT.
8. CONTRACTOR HAS TO COORDINATE WITH ELECTRICAL SITE PLANS.

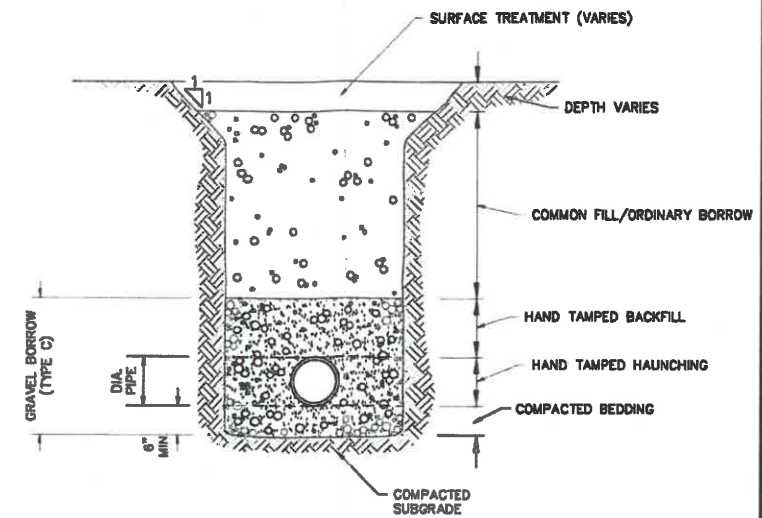
**DUCT BANK DETAIL**  
N.T.S.



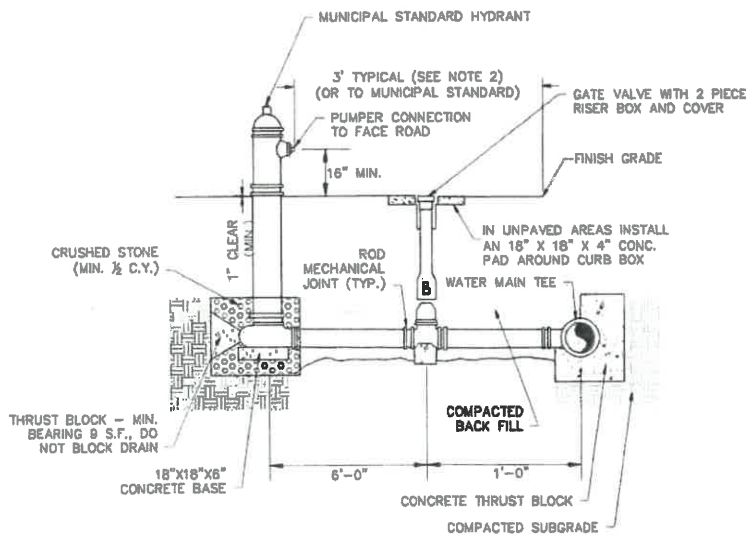
**NOTE:**

1. TO THE EXTENT POSSIBLE, NEW WATER MAINS SHALL CROSS OVER EXISTING SEWERS. WATER MAINS SHALL BE CONCRETE ENCASED IF THEY ARE INSTALLED UNDER AN EXISTING SEWER FOR A DISTANCE 10' PERPENDICULAR TO THE INTERSECTION. TO THE EXTENT POSSIBLE, ONE FULL LENGTH OF NEW MECHANICAL JOINT WATER PIPE SHALL BE INSTALLED UNDER THE SEWER CROSSING SO THAT THE WATER MAIN PIPE JOINTS WILL BE AS FAR AWAY FROM THE SEWER CROSSING AS POSSIBLE.

**UTILITY CROSSING DETAIL**  
N.T.S.



**UTILITY TRENCH**  
N.T.S.



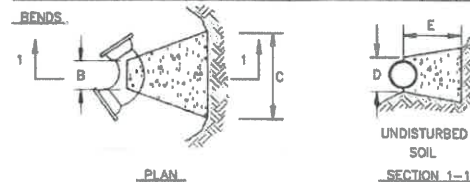
**NOTES:**

1. CONCRETE THRUST BLOCKS TO BE USED ONLY WHERE THEY CAN BEAR ON UNDISTURBED EARTH AS SHOWN. USE CLAMPS AND TIE RODS OR OTHER ACCEPTABLE METHOD OF JOINT RESTRAINT.
2. HYDRANT IN SIDEWALK AREAS TO BE LOCATED TO PROVIDE MINIMUM CLEAR SIDEWALK PASSAGE WIDTH OF 3 FEET AT HYDRANT.
3. HYDRANT TO MEET ALL TOWN STANDARD REQUIREMENTS. COORDINATION WITH FIRE DEPARTMENT PRIOR TO INSTALLATION TO ENSURE THAT MODEL IS CONSISTING WITH TOWNS SYSTEMS AND OPERATION.

**FIRE HYDRANT INSTALLATION**  
N.T.S.

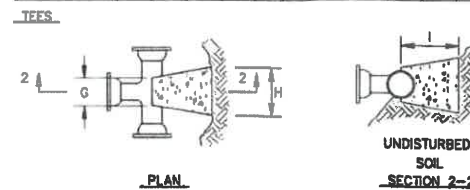
**TABLE OF DIMENSIONS**

BENDS	B	C	D	E	F	BENDS	B	C	D	E	F
6" 11-1/4"	8"	15"	12"	24"	12"	6" 45°	8"	30"	12"	24"	14"
6" 22-1/2"	"	18"	"	"	13"	6" 90°	"	30"	"	"	27"
8" 11-1/4"	"	20"	"	"	12"	8" 45°	"	30"	"	"	24"
8" 22-1/2"	"	22"	"	"	17"	8" 90°	"	36"	"	"	36"
12" 11-1/4"	"	30"	"	"	15"	12" 45°	"	40"	"	"	40"
12" 22-1/2"	"	35"	"	"	25"	12" 90°	"	60"	"	"	52"



**TABLE OF DIMENSIONS**

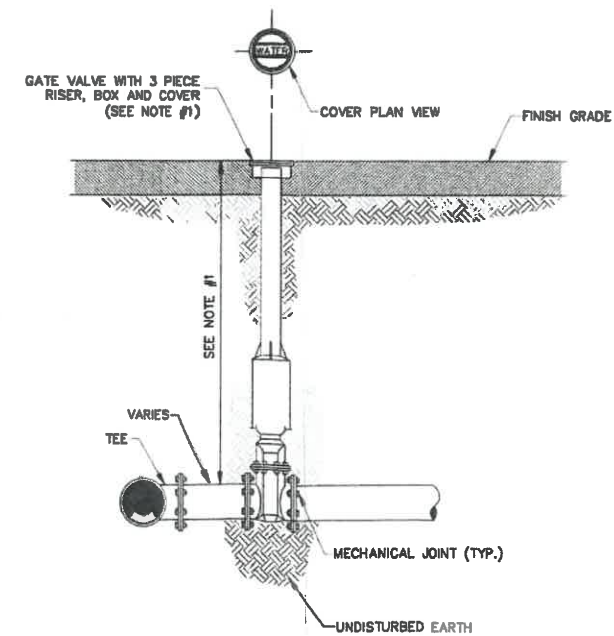
TEES	G	H	I	J	TEES	G	H	I	J
6"x6"x6"	12"	24"	24"	18"	12"x12"x6"	12"	24"	24"	18"
8"x8"x8"	"	"	"	"	12"x12"x8"	"	"	"	24"
8"x8"x8"	"	"	"	24"	12"x12"x12"	"	36"	"	36"



**NOTES:**

1. PROVIDE BLOCKS FOR TAPPING SLEEVES, DEAD ENDS, GATE VALVES, ELBOWS, AND VERTICAL BENDS (SAME SIZE AS REQUIRED FOR TEES). PROVIDE ANCHOR RODS AT VERTICAL BENDS AND GATE VALVES.
2. CONCRETE SHALL NOT BE PLACED AGAINST PIPE BEYOND FITTING.

**CONCRETE THRUST BLOCK**  
N.T.S.



**NOTE:**

1. DEPTH OF BURIAL, GATE VALVE, ROAD BOX & CONNECTION SHALL BE DETERMINED BY THE ONSET WATER DEPARTMENT.
2. CONCRETE THRUST BLOCKS TO BE USED ONLY WHERE THEY CAN BEAR ON UNDISTURBED EARTH. USE CLAMPS AND TIE RODS OR OTHER ACCEPTABLE METHOD OF JOINT RESTRAINT WHERE SOIL CONDITIONS PROHIBIT THE USE OF THRUST BLOCKS.

**WATER GATE**  
N.T.S.

NO.	DATE	DESCRIPTION	BY/CHK

MCSEARREY BROS., INC.  
P.O. BOX 206  
ARLINGTON, MA 02361

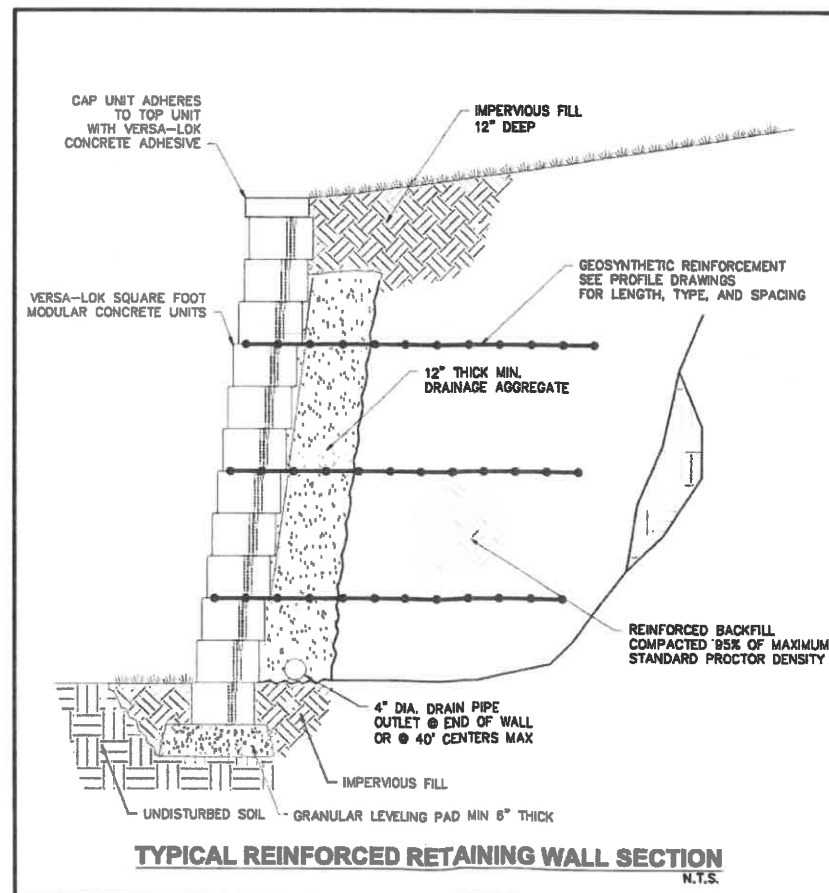
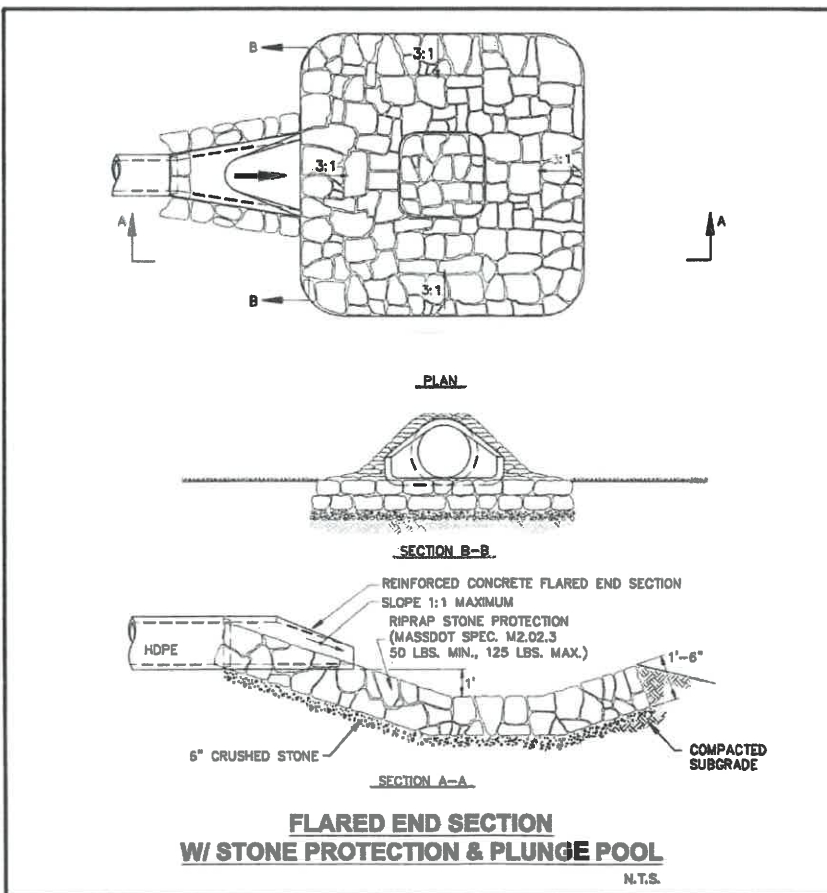
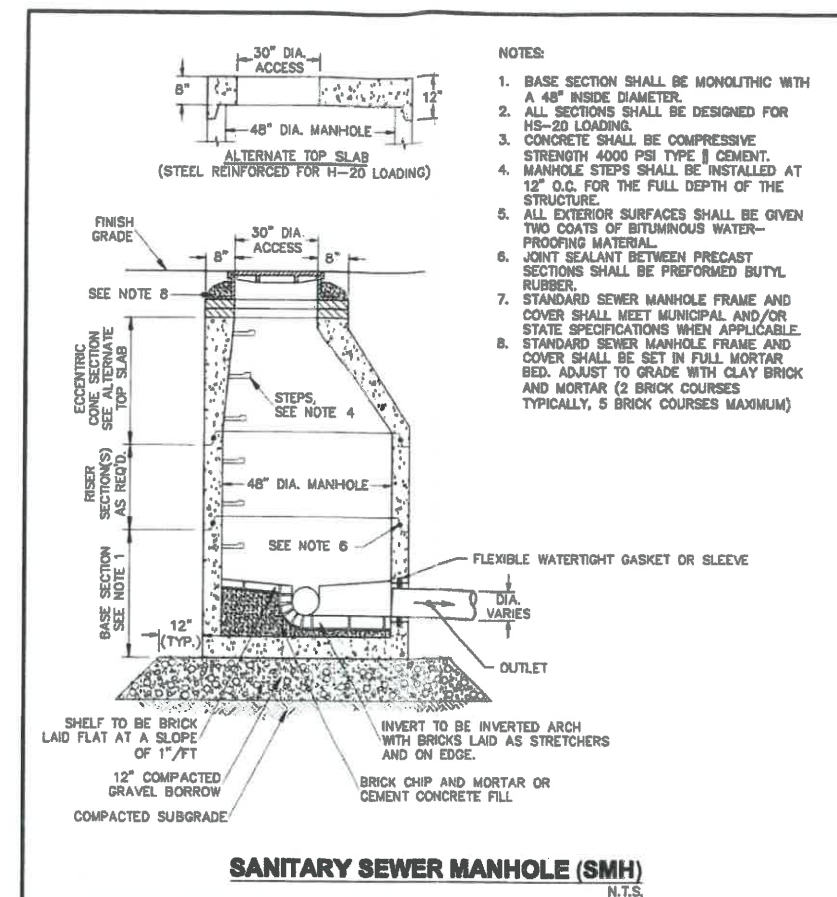
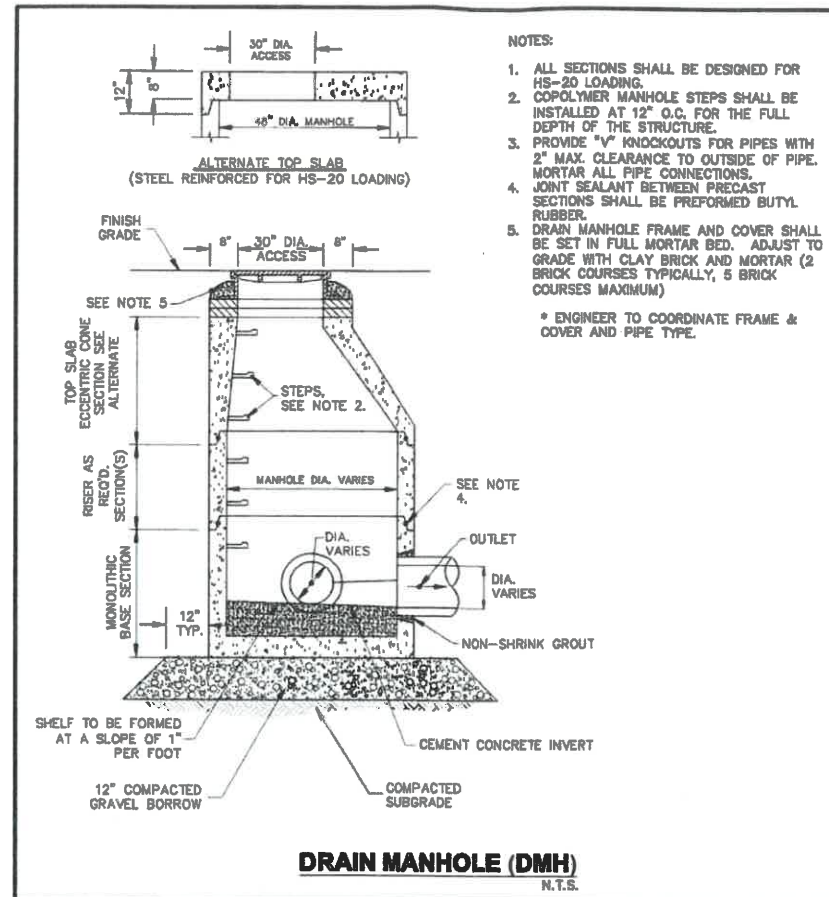
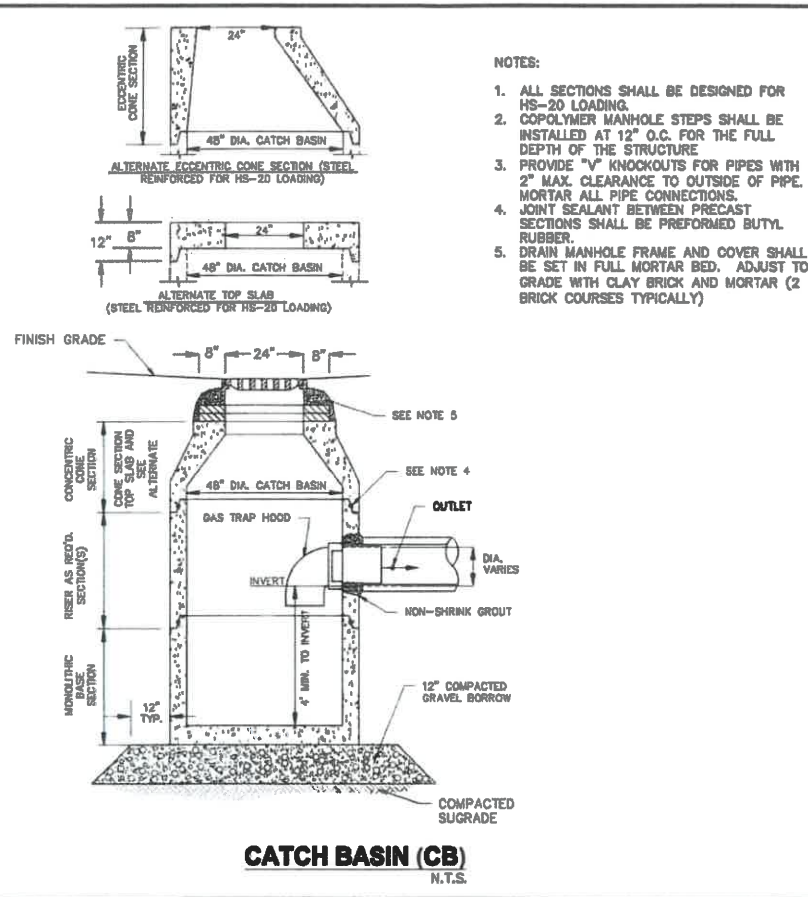
DETAILS  
SHEET 2 OF 6

NEPONSET VILLAGE  
5 PLEASANT STREET  
WALPOLE, MASSACHUSETTS 02081

MASSHOUSING PLANS

**CONECO**  
Engineers & Scientists  
PHONE: 800-508-3325  
WEBSITE: www.coneco.com

DATE	06/02/2021
DESIGNED: MVB	CHECKED: DJD
DRAFTED: MVB	IN CHARGE: JEN
SCALE	N.T.S.
PROJECT NO.	10365.0
SHEET NO.	9



NO.	DATE	DESCRIPTION	DR/CK

MC SHERRY BROS., INC.  
P.O. BOX 208  
ABINGTON, MA 06851

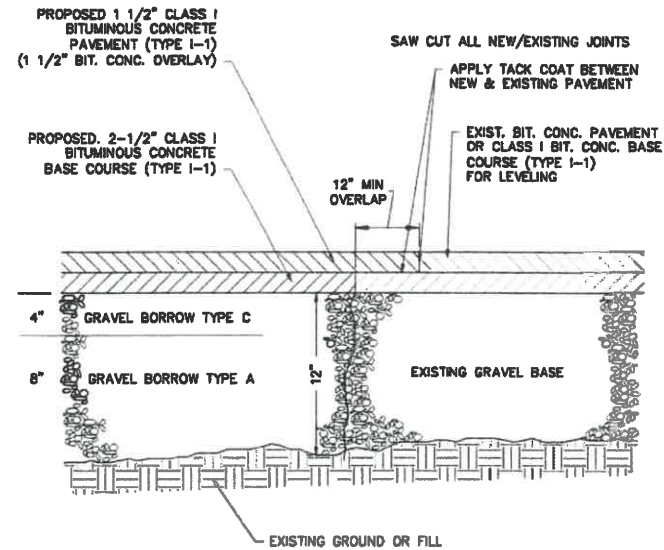
**DETAILS SHEET 3 OF 6**

NEPONSETT VILLAGE  
5 PIPASANT STREET  
WALPOLE, MASSACHUSETTS 06061

**MASSHOUSING PLANS**

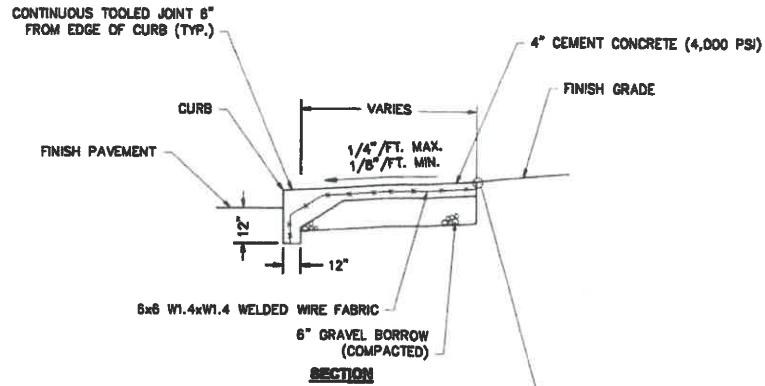
**CONECO**  
Engineers & Scientists  
PHONE: 508-648-3335  
WEBSITE: www.coneco.com

DATE	06/02/2021
DESIGNED: MVB	CHECKED: DJD
DRAFTED: MVB	IN CHARGE: JEN
SCALE:	N.T.S.
PROJECT NO.	10365.0
SHEET NO.	10



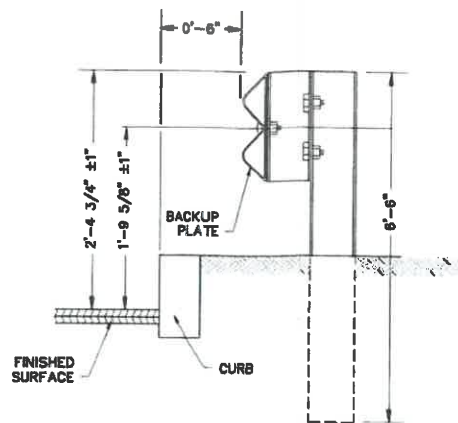
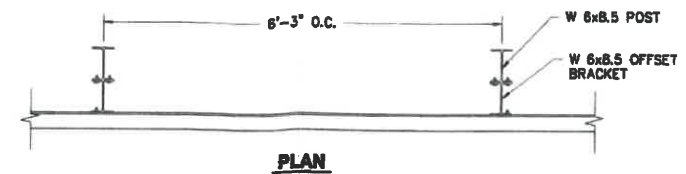
- NOTES:
1. GRAVEL BORROW TYPE C IS MASS HIGHWAY SECTION M1.03.0, 2 INCHES LARGEST DIMENSION.
  2. GRAVEL BORROW TYPE A IS MASS HIGHWAY SECTION M1.03.0, 8 INCHES LARGEST DIMENSION.
  3. GRAVEL BORROW SHALL BE COMPACTED TO 95% PROCTOR DENSITY.

**TYPICAL PAVEMENT SECTION**  
N.T.S.

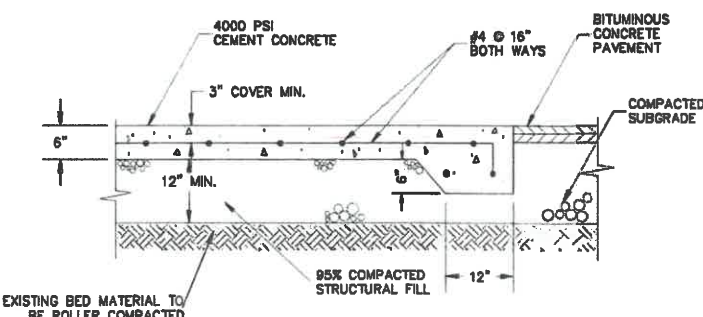


- NOTES:
1. PROVIDE EXPANSION JOINTS AT MIN. 18 FT. O.C. WITH PRE-MOLDED JOINT FILLER.
  2. PROVIDE TOOLED CONTROL JOINTS AT 4' O.C.
  3. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.

**MONOLITHIC CONCRETE SIDEWALK & CURB**  
N.T.S.

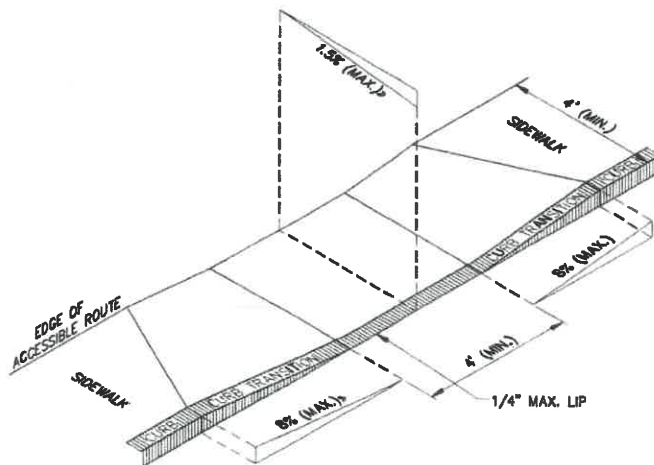


**STEEL BEAM GUARDRAIL**  
N.T.S.



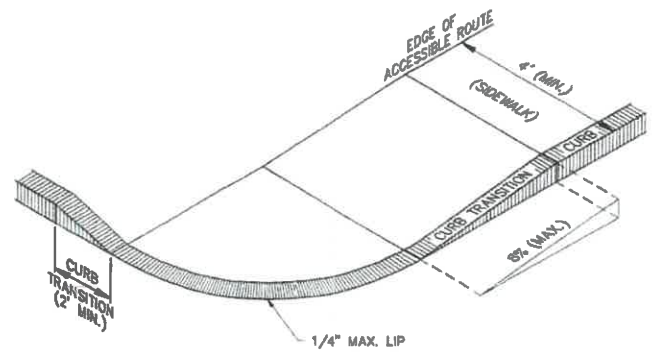
EXISTING BED MATERIAL TO BE ROLLER COMPACTED

**CONCRETE DUMPSTER PAD**  
N.T.S.



- NOTES:
1. THE MAXIMUM ALLOWABLE ROUTE (SIDEWALK) AND CURB RAMP CROSS SLOPES SHALL BE 1.5%.
  2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 8%.
  3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMPS SHALL BE 8%.
  4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
  5. CURB TREATMENT VARIES. SEE PLANS FOR CURB TYPE.
  6. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
  7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
  8. ALL WHEELCHAIR RAMPS SHALL BE EQUIPPED WITH TRUNCATED DOME DETECTABLE WARNING SURFACE.

**ACCESSIBLE CURB RAMP - TYPE 'A'**  
N.T.S.



- NOTES:
1. THE MAXIMUM ALLOWABLE ROUTE (SIDEWALK) AND CURB RAMP CROSS SLOPES SHALL BE 1.5%.
  2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 8%.
  3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMPS SHALL BE 8%.
  4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
  5. CURB TREATMENT VARIES. SEE PLANS FOR CURB TYPE.
  6. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
  7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
  8. ALL WHEELCHAIR RAMPS SHALL BE EQUIPPED WITH TRUNCATED DOME DETECTABLE WARNING SURFACE.

**ACCESSIBLE CURB RAMP - TYPE 'B'**  
N.T.S.

NO.	DATE	DESCRIPTION	BY/CHK

MC SHARRY BROS., INC.  
P.O. BOX 206  
ABINGTON, MA 02351

DETAILS  
SHEET 4 OF 6

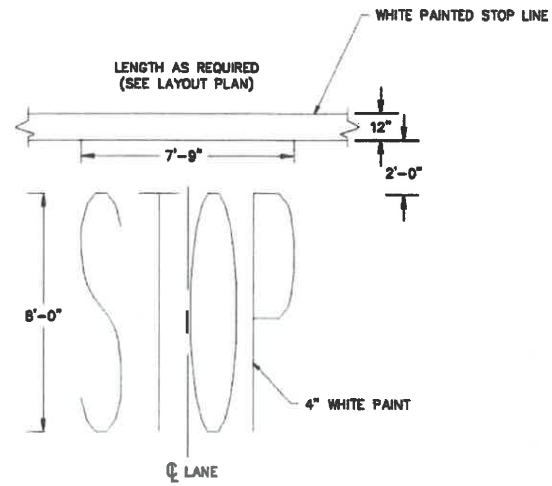
NEPONSET VILLAGE  
6 PLEASANT STREET  
WALPOLE, MASSACHUSETTS 02081

MASSHOUSING PLANS

**CONECO**  
Engineers & Scientists  
PHONE: 508-462-3335  
WEBSITE: WWW.CONECO.COM

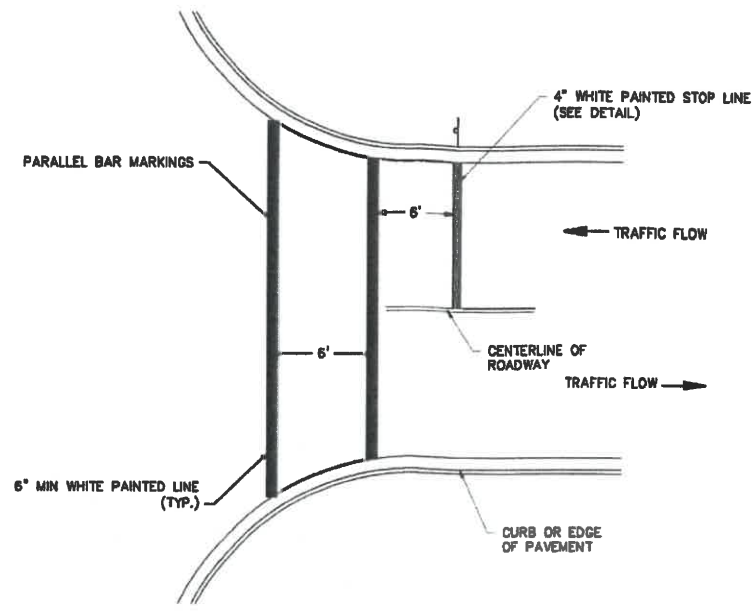
DATE:	06/02/2021
DESIGNED: MVB	CHECKED: DJD
DRAFTED: MVB	IN CHARGE: JSH
SCALE:	N.T.S.
PROJECT NO.:	10385.0
SHEET NO.:	11





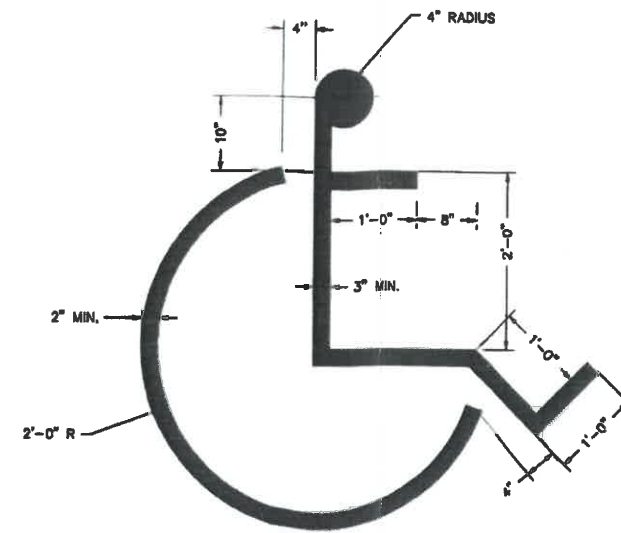
NOTE:  
PAVEMENT MARKINGS TO BE INSTALLED IN  
LOCATIONS SHOWN ON THE PLANS

**PAINTED PAVEMENT MARKINGS**  
N.T.S.



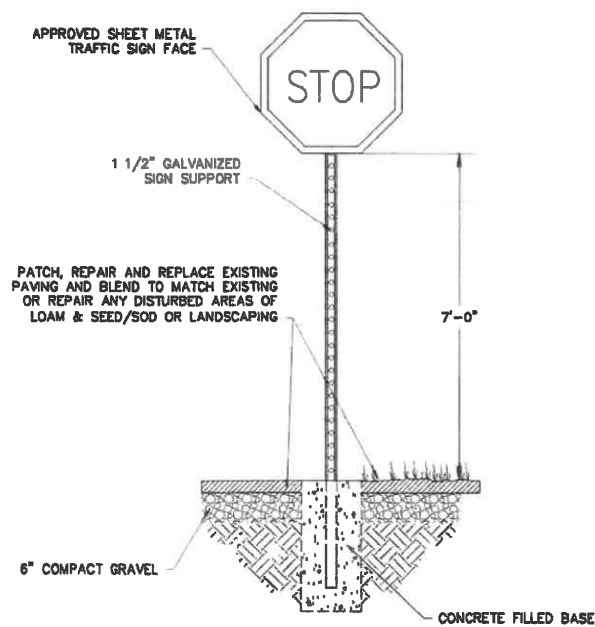
NOTE:  
PAVEMENT MARKINGS TO BE INSTALLED IN  
LOCATIONS SHOWN ON THE PLANS.

**PAINTED PAVEMENT MARKING**  
N.T.S.



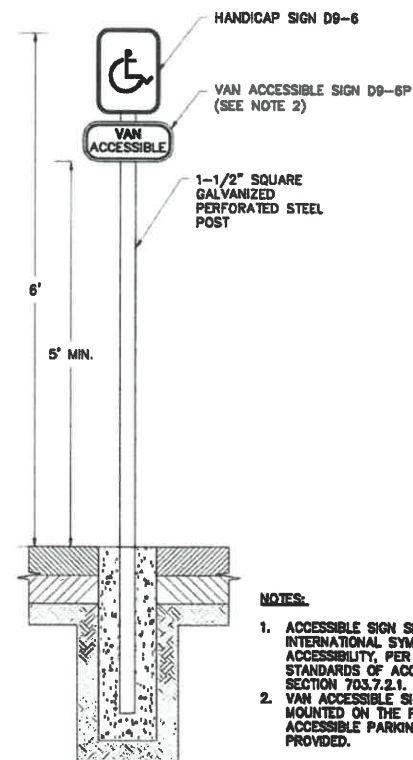
NOTE:  
1. SYMBOL SHALL BE CENTERED  
IN THE PARKING STALL.  
2. SYMBOL SHALL BE BLUE.

**ACCESSIBLE PARKING STALL SYMBOL**  
N.T.S.



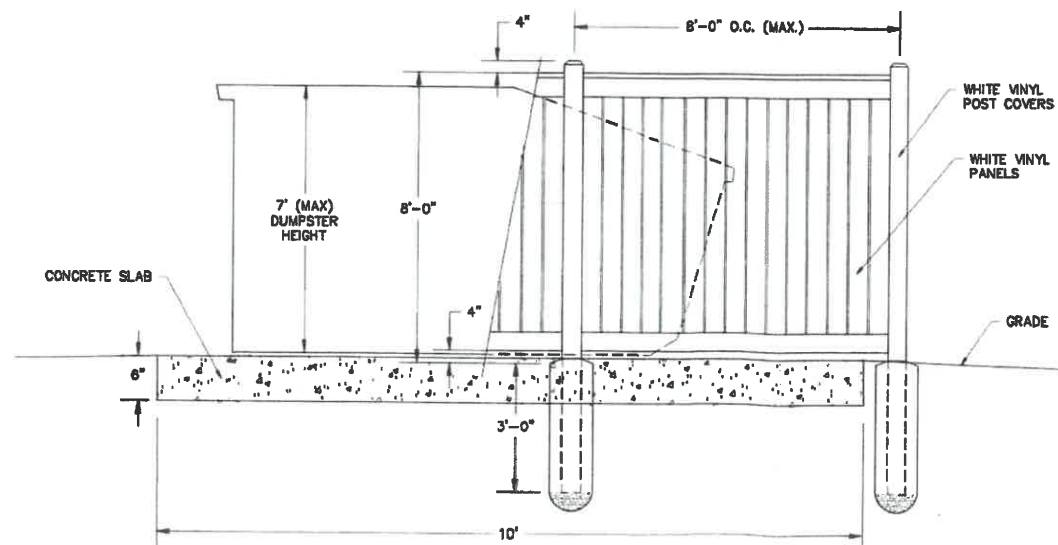
PATCH, REPAIR AND REPLACE EXISTING  
PAVING AND BLEND TO MATCH EXISTING  
OR REPAIR ANY DISTURBED AREAS OF  
LOAM & SEED/SOD OR LANDSCAPING

**STOP SIGN (R1-1)**  
N.T.S.



NOTES:  
1. ACCESSIBLE SIGN SHALL INCLUDE THE  
INTERNATIONAL SYMBOL OF  
ACCESSIBILITY, PER THE ADA  
STANDARDS OF ACCESSIBLE DESIGN,  
SECTION 703.7.2.1.  
2. VAN ACCESSIBLE SIGN SHALL BE  
MOUNTED ON THE POST WHERE VAN  
ACCESSIBLE PARKING SPACES ARE  
PROVIDED.

**ACCESSIBLE PARKING SIGN (D9-6)&(D9-6P)**  
N.T.S.



NOTES:

1. ALL WOOD TO BE NO. 1 GRADE CEDAR AND FREE OF EXCESSIVE CHIPS, CRACKS, WARPS OR  
KNOTS, UNLESS NOTED OTHERWISE ON DRAWING.  
2. ALL FASTENERS TO BE HOT DIPPED GALVANIZED

**DUMPSTER ENCLOSURE**  
N.T.S.

NO.	DATE	DESCRIPTION	BY/CHK

MC SHARRY BROS., INC.  
P.O. BOX 208  
ABINGTON, MA 02381

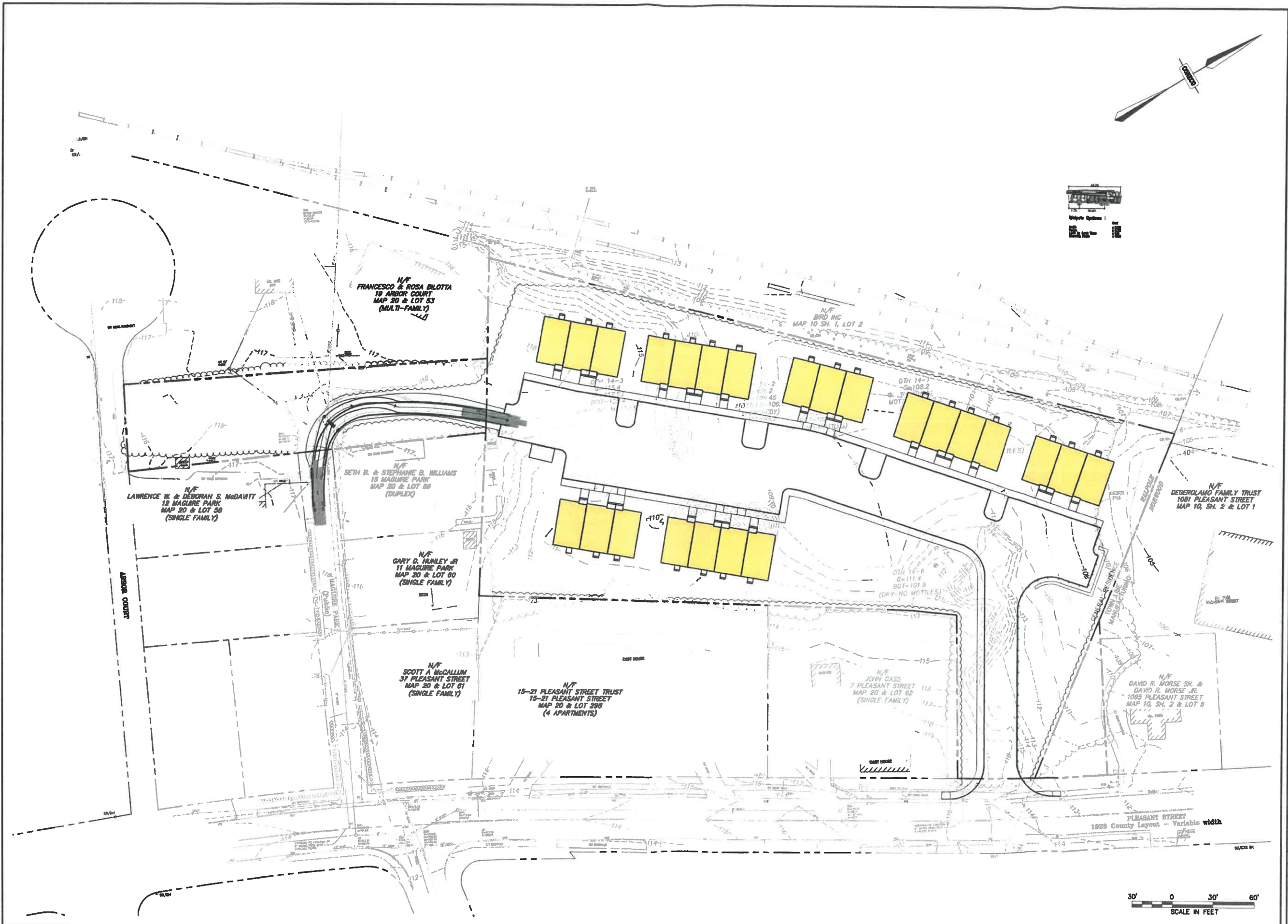
DETAILS  
SHEET 6 OF 6

NEPONSET VILLAGE  
6 PLEASANT STREET  
WALPOLE, MASSACHUSETTS 02081

MASSHOUSING PLANS

**CONECO**  
Engineers & Scientists  
PHONE: 800-946-3265  
WEBSITE: WWW.CONECO.COM

DATE: 06/02/2021  
DESIGNED: MVB CHECKED: DJD  
DRAFTED: MVB IN CHARGE: JEN  
SCALE: N.T.S.  
PROJECT NO. 10385.0  
SHEET NO.



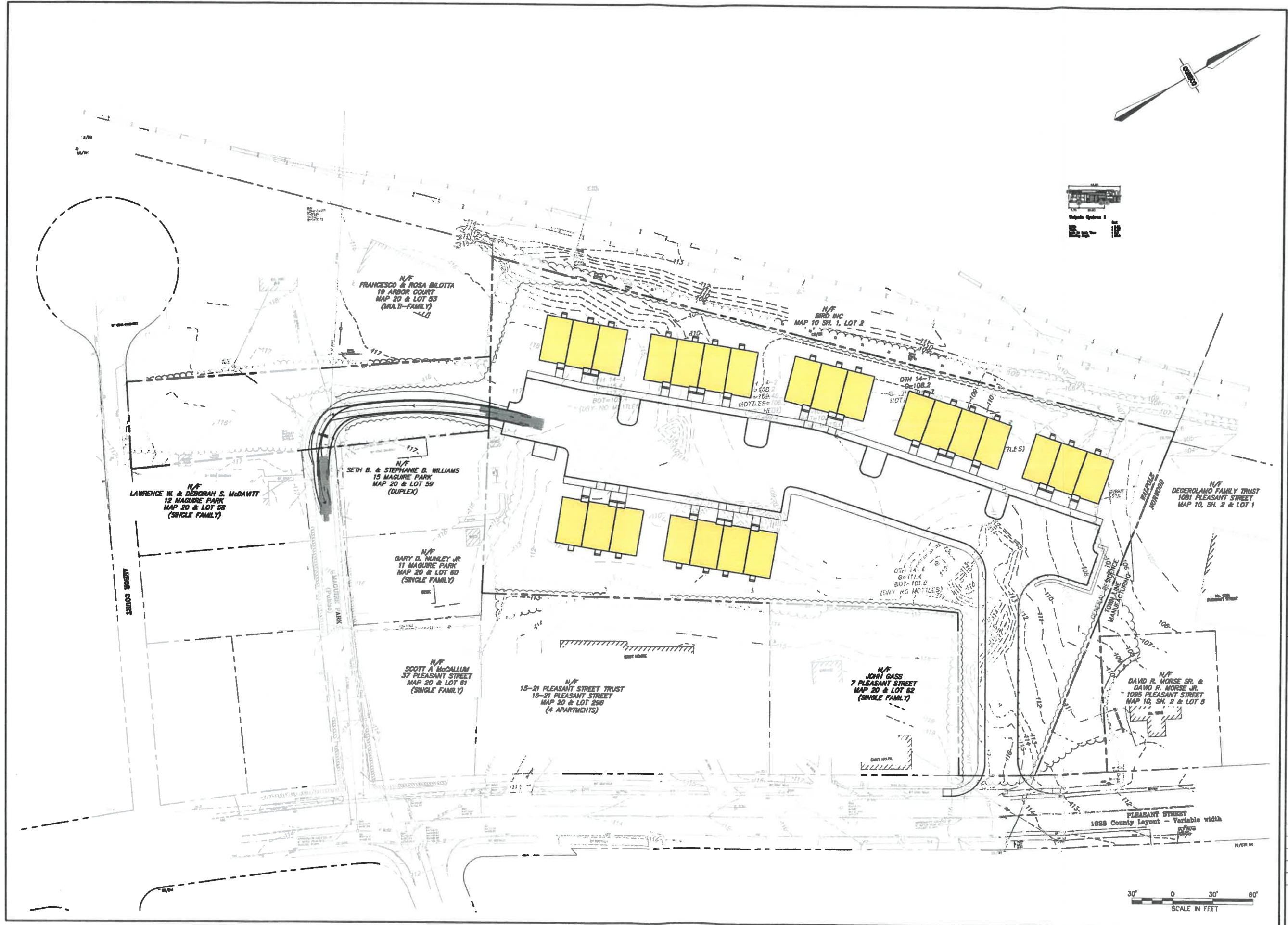
REVISIONS		NO.	DATE	DESCRIPTION	DR/CK

PROJECT NO. <b>MC SHARRY BROS., INC.</b> P.O. BOX 206 ABRINGTON, MA 02861	DRAWING NO. <b>WALPOLE TOWER TRUCK</b> ENTERING EMERGENCY ACCESS
PROJECT NO. <b>WEPONSET VILLAGE</b> 6 PLEASANT STREET WALPOLE, MASSACHUSETTS 02861	DRAWING NO. <b>MASSHOUSING PLANS</b>

 <b>CONECO</b> Engineers & Scientists PHONE: 508-546-3355 WEBSITE: www.coneco.com	DATE: 08/02/2021 DESIGNED: DJD CHECKED: JEN DRAFTED: DJD IN CHARGE: JEN SCALE: 1" = 30' PROJECT NO.: 10368.0 SHEET NO.: <b>1</b>
--	---



NO.	DATE	DESCRIPTION	BY/CR

**MCNEAREY BROS., INC.**  
 P.O. BOX 208  
 ABINGTON, MA 02651

**WALPOLE TOWER TRUCK**  
 EXITING EMERGENCY ACCESS

**RECONSET VILLAGE**  
 6 PLEASANT STREET  
 WALPOLE, MASSACHUSETTS 02601

**CONECO**  
**Engineers & Scientists**  
 PHONE: 603-946-3355    WEBSITE: www.coneco.com

DATE	06/02/2021
DESIGNED: DJD	CHECKED: JEN
DRAWN: DJD	IN CHARGE: JEN
SCALE:	1" = 30'
PROJECT NO.	10388.0
SHEET NO.	<b>2</b>



NEPONSET VILLAGE  
1 PLEASANT ST, E. WALPOLE MASSACHUSETTS 02032



TYPICAL 4 UNIT BUILDING FRONT ELEVATION  
1/4" = 1'-0"



TYPICAL 4 UNIT BUILDING LEFT ELEVATION  
1/4" = 1'-0"

# Pleasant Street Townhomes

Walpole, MA 12/29/20

**The MZO GROUP**  
DESIGNERS ■ ARCHITECTS ■ PLANNERS  
IN THE *MIQUELLE* TRADITION

335 Main Street, Suite 201 ■ Stoughton, Massachusetts 02180  
Voice 781-279-4446 ■ Fax 781-279-4448 ■ E-Mail: mzo@mzogroup.com ■ www.mzogroup.com

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TYPICAL 4 UNIT BUILDING REAR ELEVATION  
 1/4" = 1'-0"



TYPICAL 4 UNIT BUILDING RIGHT ELEVATION  
 1/4" = 1'-0"

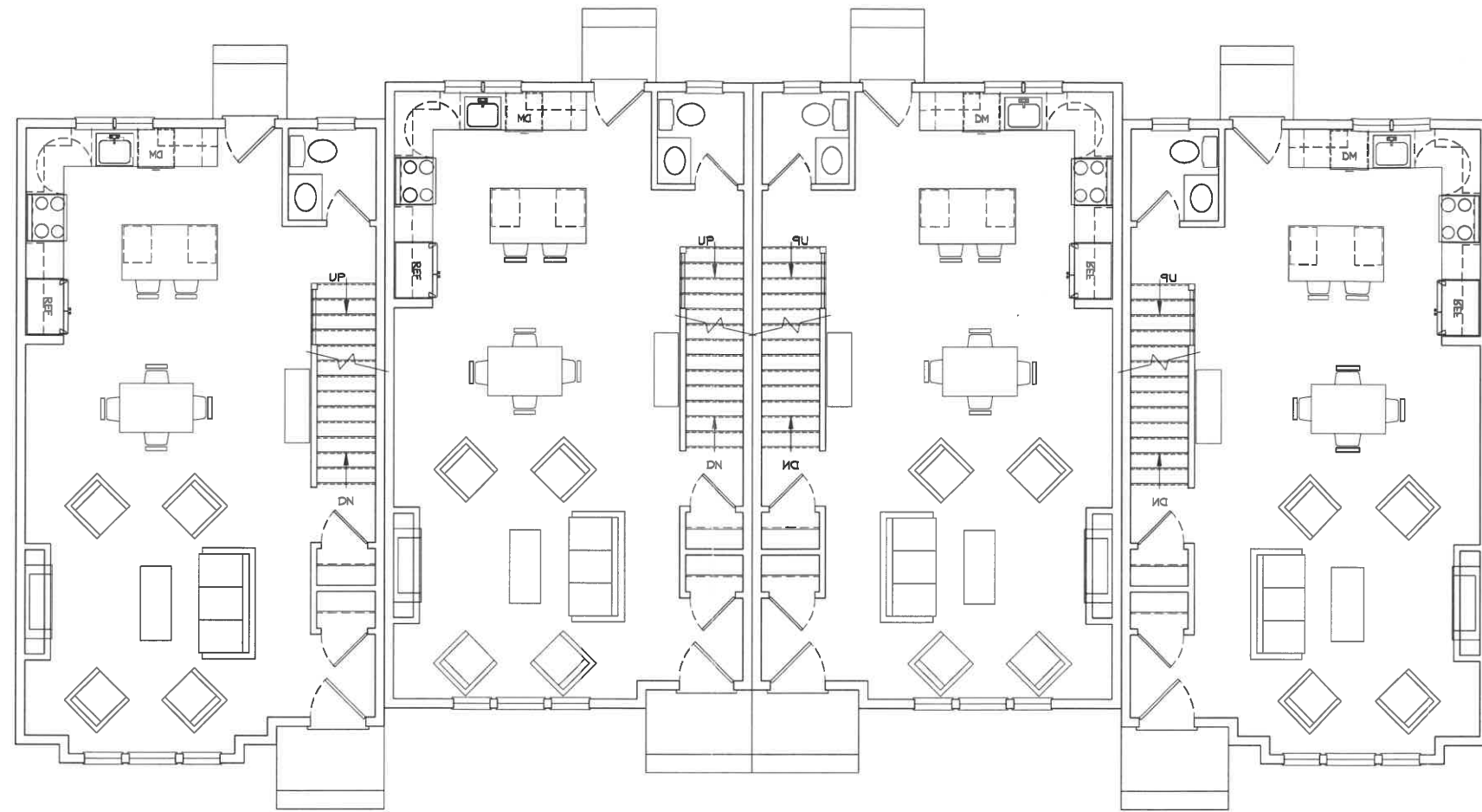
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Walpole, MA 12/29/20

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4 UNIT BUILDING FIRST FLOOR PLAN  
 1/4" = 1'-0"

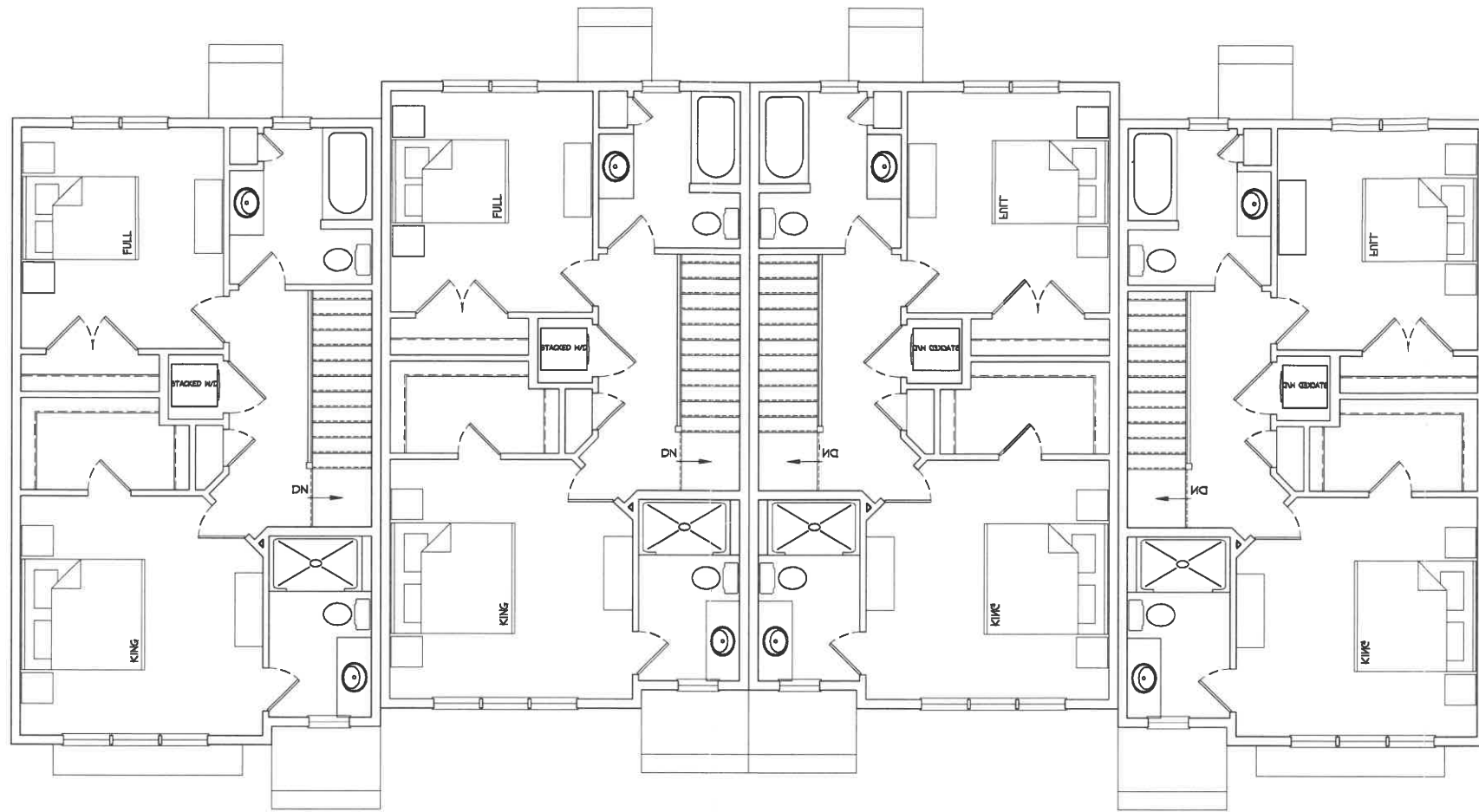
# Pleasant Street Townhomes

Walpole, MA 03-06-20

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4 UNIT BUILDING SECOND FLOOR PLAN  
 1/4" = 1'-0"

# Pleasant Street Townhomes

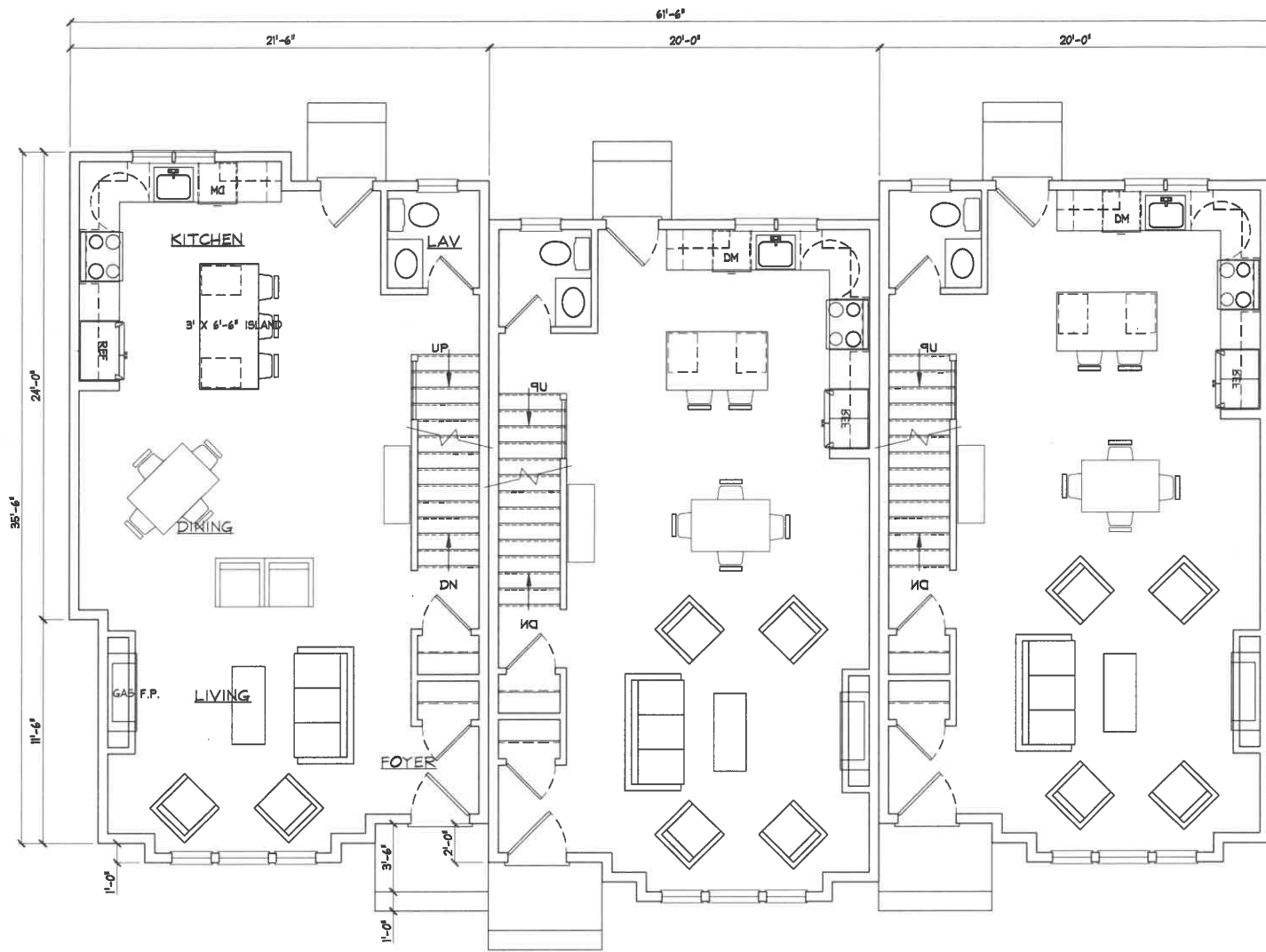
Walpole, MA 03-06-20

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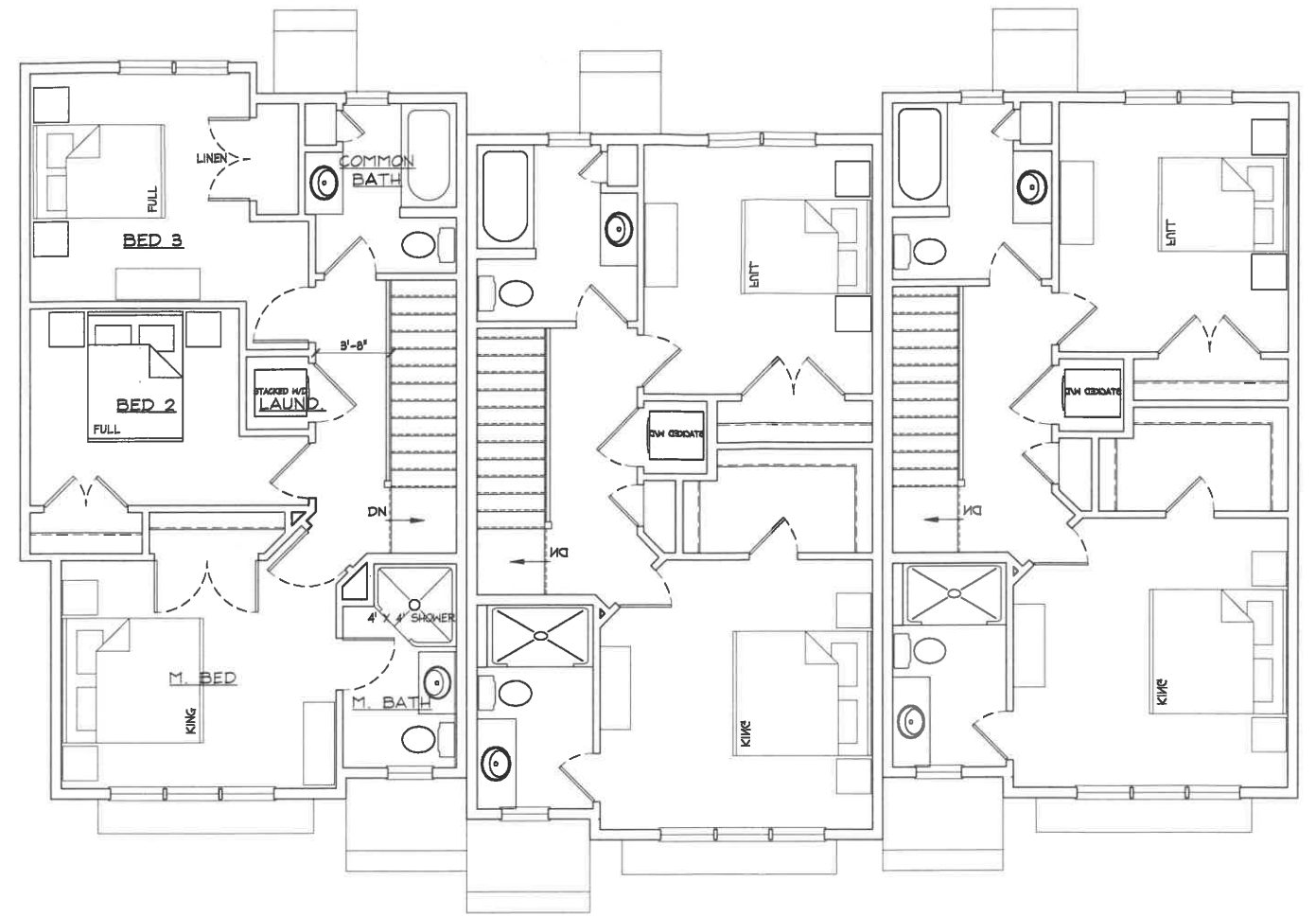
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TYPICAL 3 UNIT BUILDING WITH 3 BED UNIT FIRST FLOOR PLAN  
 1/4" = 1'-0"



TYPICAL 3 UNIT BUILDING WITH 3 BED UNIT SECOND FLOOR PLAN  
 1/4" = 1'-0"

# Pleasant Street Townhomes

Walpole, MA 08/30/21

**The MZO GROUP**  
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## **Design Narrative**

The Neponset Village site plan and architectural design is the culmination of discussions with our civil, landscape architectural and architectural team members, as well as preliminary discussions with the Town of Walpole.

Four (4) triple and three (3) quadruple colonial style townhome buildings, all 2-story with surface parking, with pitched roofs have been placed on the site so that 17 of the units are located at the far rear of the site. The homes are approximately 280 feet from the entrance, abutting the railroad line. The remaining 7 units are on the front side of the site, to the rear of the existing multi-family building on Pleasant Street. To create more useable green space in the gazebo area the landscape architects and civil engineers have designed the stormwater to be below ground. There is one detention pond near the entrance, abutting the Norwood commercial/industrial zone.

The buildings will utilize earth tone colors, a variety of exterior materials and white trim. Multiple colors will be selected to create textural interest and multiple building jogs have been incorporated to break up the building lengths and provide visual interest.

SECTION	DESCRIPTION	WAIVER	NOTES
Town of Walpole Zoning Bylaw Section 2.2.A	Special Permits	Waive all provisions	The Applicant will submit all relevant materials and the Board will make its Decision in accordance with its Comprehensive Permit Rules and Regulations.
Table 5-B.1 3. Residential: d i, - iii	<p>Dwelling for occupancy by more than three (3) families provided that;</p> <ul style="list-style-type: none"> <li>i. such dwelling is connected or is to be connected with the public sewer system at the time of construction;</li> <li>ii. such dwelling is located on a lot having an area of at least thirty thousand (30,000) square feet with an additional ten thousand (10,000) square feet for each dwelling unit in excess of three (3) to be accommodated;</li> <li>dwelling or is a vacant lot;</li> <li>iii. a fifty (50) foot buffer zone shall be required where the adjacent lot has a single family</li> <li>iiii. if there is to be more than one (1) principle building on a lot, there shall be minimum of 10,000 square feet of lot area per</li> </ul>	<p>Waiver of Special Permit</p> <p>Waiver of 10,000 s.f. per unit, and waiver of 50 ft. buffer.</p>	<p>The Applicant will provide all information as part of the Comprehensive Permit, which will control this matter in lieu of a Special Permit.</p> <p>The plan shows 24 units on 121,579 +/- s.f. and a driveway, landscaped common area and units in the fifty-foot buffer.</p>

SECTION	DESCRIPTION	WAIVER	NOTES
Section 5-D.3.E.	<p>dwelling unit, regardless of how many buildings are on the lot or how many units are in a building.</p> <p>Activities approved as part of any Site Plan Review Process.</p>	Requirement for Site Plan Review.	The Applicant will submit all materials otherwise required for Site Plan Review as part of the Comprehensive Permit. Accordingly, these activities should be allowed as part of the Comprehensive Permit instead of Site Plan Review.
Section 6-B-1	In all districts no building shall be constructed on any part of a lot which does not have an area in which a circle, the diameter of which is not less than 80% of the minimum required lot frontage, tangent to the exterior street line from which the required frontage and minimum setback are derived and within all other lot lines, may be located.	Request Waiver to construct the Project as shown on the plans. If necessary.	Town Counsel has previously given an opinion that the land in Norwood may be used to satisfy frontage and circle requirements as long as the same is not used in any way. If there is a change to this opinion this waiver would be required.
Section 6-B-1. A	In all districts no building shall be constructed on a lot having less than the required lot frontage.	Request Waiver to allow frontage of 56.88 feet, if necessary.	Town Counsel has previously given an opinion that the land in Norwood may be used to satisfy frontage and circle requirements as long as the same is not used in

SECTION	DESCRIPTION	WAIVER	NOTES
Table 6-B.1 and Section 6-C.3.A	Required Lot Frontage for a lot in the General Residence Zone.	Lot frontage required in GR zone is 100 feet. Request waiver to allow creation of a lot with 56.88 feet, if necessary.	any way. If there is a change to this opinion this waiver would be required. Town Counsel has previously given an opinion that the land in Norwood may be used to satisfy frontage and circle requirements as long as the same is not used in any way. If there is a change to this opinion this waiver would be required.
Table 6-B.1.	Required Minimum Rear Yard Setback for a lot in the General Residence Zone.	Rear yard setback requirement is thirty (30) feet. Request waiver to allow rear yard setback as shown on the attached setback plan.	Buildings are set within 16.6 ft. of the railroad where a 30 ft. rear setback is required.
6-C.4.B.	Number of Buildings per lot. In General Residence (GR) Districts, the Board of Appeals may by Special Permit allow more than one principal building on a lot	Waiver of Special Permit	A waiver is requested as there will be more than one building per lot and there are dimensional waivers required. The Applicant will provide all necessary information in accordance with the Comprehensive Permit Rules and Regulations and standards for the issuance thereof.
Section 6-C-11	Projections (roof, eave, chimney or cornice) - no more than 18 inches into setbacks.	Buildings as shown on the plan are within the setback, if needed.	

SECTION	DESCRIPTION	WAIVER	NOTES
Section 13	Uncovered/Unenclosed (porches, decks, platforms, landings or stoops) which are part of egress shall not encroach more than 48 inches into setbacks. Uncovered steps that are part of any required egress shall not come within five (5) feet of any lot line. Site Plan Review.	Waiver of Site Plan Review.	The Board will be acting in the capacity of the Planning Board and Site Plan Approval is part of the Comprehensive Permit.
Section 7.c	One (1) free standing sign.	One identification sign as shown on the plan.	
<b>Stormwater Management &amp; Erosion Control Bylaw</b>			
Land Disturbance Permit	Land disturbance of greater than 40,000 square feet, associated with construction or reconstruction of structures.	Waiver of Land Disturbance Permit.	The Board will be acting in the capacity of the Conservation Commission and will receive all materials associated with a Land Disturbance Permit as part of the Comprehensive Permit.

## SUSTAINABLE DEVELOPMENT CRITERIA SCORECARD

Project Name: Neponset Village  
Project Number: \_\_\_\_\_  
Program Name: \_\_\_\_\_  
Date: \_\_\_\_\_

MassHousing encourages housing development that is consistent with sustainable development designs and green building practices. Prior to completing this form, please refer to the Commonwealth's Sustainable Development Principles (adopted May 2007) available at: [Sustainable Development Principles](#)

### DEVELOPER SELF-ASSESSMENT

(for consistency with the Sustainable Development Principles)

#### Redevelop First

Check "X" below if applicable

*If Rehabilitation:*

- Rehabilitation/Redevelopment/Improvements to Structure
- Rehabilitation/Redevelopment/Improvements to Infrastructure

*If New Construction:*

- Contributes to revitalization of town center or neighborhood
- Walkable to: 
  - (a) transit
  - (b) downtown or village center
  - (c) school
  - (d) library
  - (e) retail, services or employment center
- Located in municipally-approved growth center

Explanation (Required)

**Optional – Demonstration of Municipal Support:**

Check "X" below if applicable

- Letter of Support from the Chief Elected Official of the municipality\*
- Housing development involves municipal funding
- Housing development involves land owned or donated by the municipality

*\*Other acceptable evidence: Zoning variance issued by ZBA for project; Minutes from Board of Selectman meeting showing that project was discussed and approved, etc.*

**Explanation (Required)**

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**Method 2:** Development meets a minimum of **five (5)** of the Commonwealth's *Sustainable Development Principles*, as shown in the next section below.

If the development involves strong **municipal support** (evidence of such support must be submitted as an attachment), the development need only meet **four (4)** of the *Sustainable Development Principles*. However, one (1) of the Principles met must be **Protect Land and Ecosystems**.

Please explain at the end of each category how the development follows the relevant *Sustainable Development Principle(s)* and explain how the development demonstrates each of the checked "X" statements listed under the *Sustainable Development Principle(s)*.

**(1) Concentrate Development and Mix Uses**

Support the revitalization of city and town centers and neighborhoods by promoting development that is compact, conserves land, protects historic resources, and integrates uses. Encourage remediation and reuse of existing sites, structures, and infrastructure rather than new construction in undeveloped areas. Create pedestrian friendly districts and neighborhoods that mix commercial, civic, cultural, educational, and recreational activities with open spaces and homes.

Check "X" below if applicable

- Higher density than surrounding area
- Mixes uses or adds new uses to an existing neighborhood
- Includes multi-family housing
- Utilizes existing water/sewer infrastructure
- Compact and/or clustered so as to preserve undeveloped land
- Reuse existing sites, structures, or infrastructure
- Pedestrian friendly
- Other (discuss below)

**Explanation (Required)**

Development is located in Walpole directly abutting the Town of Norwood commercial/industrial district. The Walpole side is all residential with sidewalks. The rear abutter is Hollingsworth & Vose, a large manufacturer. Area consists of mostly single family with a 6 unit apartment development directly in front the proposed development.



## (2) Advance Equity & Make Efficient Decisions

Promote equitable sharing of the benefits and burdens of development. Provide technical and strategic support for inclusive community planning and decision making to ensure social, economic, and environmental justice. Ensure that the interests of future generations are not compromised by today's decisions.

Promote development in accordance with smart growth and environmental stewardship.

*Check "X" below if applicable*

- Concerted public participation effort (beyond the minimally required public hearings)
- Streamlined permitting process, such as 40B or 40R
- Universal Design and/or visitability
- Creates affordable housing in middle to upper income area and/or meets regional need
- Creates affordable housing in high poverty area
- Promotes diversity and social equity and improves the neighborhood
- Includes environmental cleanup and/or neighborhood improvement in an Environmental Justice Community
- Other (discuss below)

### Explanation (Required)

As a 40(b) project the development will contain 25% affordable units (80% of the HUD median income). As well, the market rate units will be 2 bedroom and will likely sell at a price point less than the surrounding single family housing units.

## (3) Protect Land and Ecosystems

Protect and restore environmentally sensitive lands, natural resources, agricultural lands, critical habitats, wetlands and water resources, and cultural and historic landscapes. Increase the quantity, quality and accessibility of open spaces and recreational opportunities.

*Check "X" below if applicable*

- Creation or preservation of open space or passive recreational facilities
- Protection of sensitive land, including prime agricultural land, critical habitats, and wetlands
- Environmental remediation or clean up
- Responds to state or federal mandate (e.g., clean drinking water, drainage, etc.)
- Eliminates or reduces neighborhood blight
- Addresses public health and safety risk
- Cultural or Historic landscape/existing neighborhood enhancement
- Other (discuss below)

**Explanation (Required)**

**(4) Use Natural Resources Wisely**

Construct and promote developments, buildings, and infrastructure that conserve natural resources by reducing waste and pollution through efficient use of land, energy, water and materials.

Check "X" below *if applicable*

- Uses alternative technologies for water and/or wastewater treatment
- Uses low impact development (LID) or other innovative techniques
- Other (discuss below)

**Explanation (Required)**

Site stormwater technologies include Stormceptor units, subsurface storage for better aesthetics.

**(5) Expand Housing Opportunities**

Support the construction and rehabilitation of homes to meet the needs of people of all abilities, income levels and household types. Build homes near jobs, transit, and where services are available. Foster the development of housing, particularly multifamily and single-family homes, in a way that is compatible with a community's character and vision and with providing new housing choices for people of all means.

Check "X" below *if applicable*

- Includes rental units, including for low/mod households
- Includes homeownership units, including for low/mod households
- Includes housing options for special needs and disabled population
- Expands the term of affordability
- Homes are near jobs, transit and other services
- Other (discuss below)

**Explanation (Required)**

Development includes 25% affordable units. Site is less than a mile to the Route 1 corridor and a multitude of shops, restaurants and commercial businesses.

**(6) Provide Transportation Choice**

Maintain and expand transportation options that maximize mobility, reduce congestion, conserve fuel and improve air quality. Prioritize rail, bus, boat, rapid and surface transit, shared-vehicle and shared-ride services, bicycling and walking. Invest strategically in existing and new passenger and freight transportation infrastructure that supports sound economic development consistent with smart growth objectives.

*Check "X" below if applicable*

- Walkable to public transportation
- Reduces dependence on private automobiles (e.g., provides previously unavailable shared transportation, such as Zip Car or shuttle buses)
- Increased bike and ped access
- For rural areas, located in close proximity (i.e., approximately one mile) to a transportation corridor that provides access to employment centers, retail/commercial centers, civic or cultural destinations
- Other (discuss below)

**Explanation (Required)**

Site is less than a mile to Route 1, Norwood, MA.

**(7) Increase Job and Business Opportunities**

Attract businesses and jobs to locations near housing, infrastructure, and transportation options. Promote economic development in industry clusters. Expand access to education, training and entrepreneurial opportunities. Support growth of local businesses, including sustainable natural resource-based businesses, such as agriculture, forestry, clean energy technology and fisheries.

*Check "X" below if applicable*

- Permanent jobs
- Permanent jobs for low- or moderate-income persons
- Jobs near housing, service or transit
- Housing near an employment center
- Expand access to education, training or entrepreneurial opportunities
- Support local businesses
- Support natural resource-based businesses (i.e., farming, forestry or aquaculture)
- Re-uses or recycles materials from a local or regional industry's waste stream
- Support manufacture of resource-efficient materials, such as recycled or low-toxicity materials
- Support businesses that utilize locally produced resources such as locally harvested wood or agricultural products
- Other (discuss below)

**Explanation (Required)**

Development is close to Main Street, Walpole and the Route 1 corridor in Norwood.

**(8) Promote Clean Energy**

Maximize energy efficiency and renewable energy opportunities. Support energy conservation strategies, local clean power generation, distributed generation technologies, and innovative industries. Reduce greenhouse gas emissions and consumption of fossil fuels.

*Check "X" below if applicable*

- Energy Star or equivalent\*
- Uses renewable energy source, recycled and/or non-/low-toxic materials, exceeds the state energy code, is configured to optimize solar access, and/or otherwise results in waste reduction and conservation of resources
- Other (discuss below)

\*All units are required by MassHousing to be Energy Star Efficient. Please include in your explanation a description of how the development will meet Energy Star criteria.

**Explanation (Required)**

New construction will include Energy Star rated windows, building envelope efficiency including framing techniques and 100% foam insulation, on-demand hot water heaters, high efficiency appliances.

**(9) Plan Regionally**

Support the development and implementation of local and regional, state and interstate plans that have broad public support and are consistent with these principles. Foster development projects, land and water conservation, transportation and housing that have a regional or multi-community benefit. Consider the long term costs and benefits to the Commonwealth.

*Check "X" below if applicable*

- Consistent with a municipally supported regional plan
- Addresses barriers identified in a Regional Analysis of Impediments to Fair Housing
- Measurable public benefit beyond the applicant community
- Other (discuss below)

**Explanation (Required)**

Public benefit includes both affordable and modestly priced market rate homes.

*For further information regarding 40B applications, please contact Greg Watson, Manager, Comprehensive Permit Programs, at (617) 854.1880 or gwatson@masshousing.com*