



**HOWARD STEIN HUDSON**  
 114 Turnpike Road, Suite 2C  
 Chelmsford, MA 01824  
 www.hshassoc.com

PREPARED FOR:  
 FRH REALTY LLC  
 c/o FARFIELD RESIDENTIAL  
 5 BURLINGTON WOODS, SUITE 203  
 BURLINGTON, MA 01803

**PROPOSED MULTIFAMILY  
 DEVELOPMENT  
 SUMMER STREET  
 WALPOLE, MA**

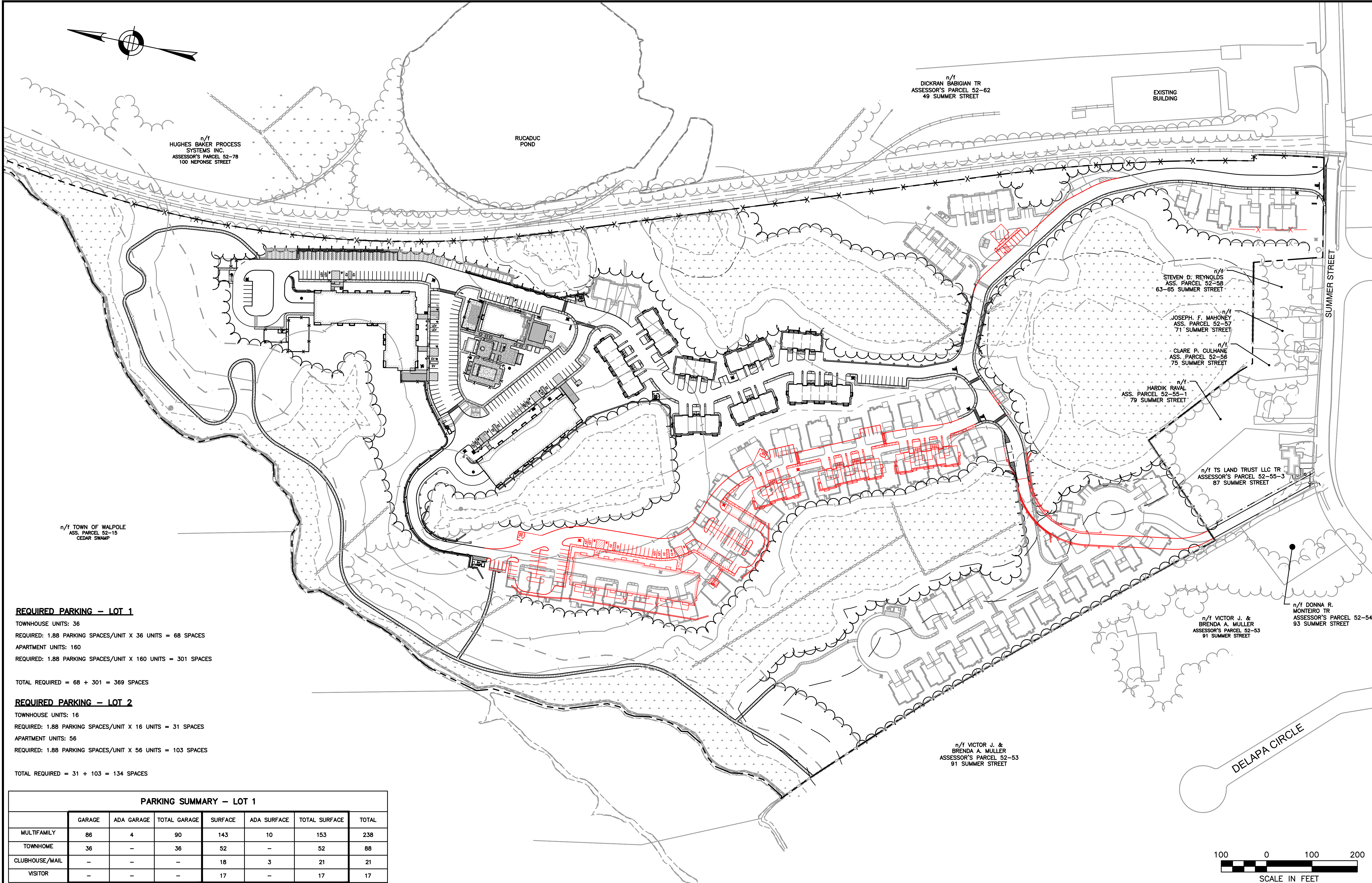
REVISIONS:

NO	BY	DATE	DESCRIPTION



**REVISED LAYOUT  
 (REDLINE)**

DATE: JUNE 6, 2023  
 PROJECT NUMBER: 19097  
 DESIGNED BY: PB/KE/KF  
 DRAWN BY: PB/MB/KF/KL  
 CHECKED BY: KE



**REQUIRED PARKING – LOT 1**

TOWNHOUSE UNITS: 36  
 REQUIRED: 1.88 PARKING SPACES/UNIT X 36 UNITS = 68 SPACES  
 APARTMENT UNITS: 160  
 REQUIRED: 1.88 PARKING SPACES/UNIT X 160 UNITS = 301 SPACES  
 TOTAL REQUIRED = 68 + 301 = 369 SPACES

**REQUIRED PARKING – LOT 2**

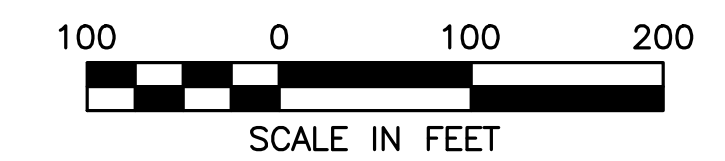
TOWNHOUSE UNITS: 16  
 REQUIRED: 1.88 PARKING SPACES/UNIT X 16 UNITS = 31 SPACES  
 APARTMENT UNITS: 56  
 REQUIRED: 1.88 PARKING SPACES/UNIT X 56 UNITS = 103 SPACES  
 TOTAL REQUIRED = 31 + 103 = 134 SPACES

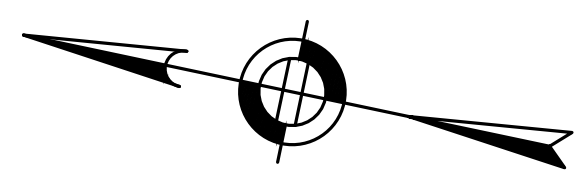
	GARAGE	ADA GARAGE	TOTAL GARAGE	SURFACE	ADA SURFACE	TOTAL SURFACE	TOTAL
MULTIFAMILY	86	4	90	143	10	153	238
TOWNHOME	36	–	36	52	–	52	88
CLUBHOUSE/MAIL	–	–	–	18	3	21	21
VISITOR	–	–	–	17	–	17	17
							369

	GARAGE	ADA GARAGE	TOTAL GARAGE	SURFACE	ADA SURFACE	TOTAL SURFACE	TOTAL
MULTIFAMILY	11	1	12	70	4	74	86
TOWNHOME	16	–	16	22	–	22	38
CLUBHOUSE/MAIL	–	–	–	2	–	2	2
VISITOR	–	–	–	11	–	11	11
							137

	AREA	ALLOWED IMPERVIOUS COVERAGE	PROPOSED IMPERVIOUS COVERAGE
LOT 1	1,188,281 SF	25%	297,070 SF
LOT 2	1,195,981 SF	20%	239,196 SF
LOT 1 + LOT 2	2,384,262 SF	22.5%	536,266 SF

UNIT TYPE	LOT 1 (CURRENT)		LOT 2 (CURRENT)		TOTAL UNIT TYPE (CURRENT)	LOT 1 (10/12)		LOT 2 (10/12)		TOTAL UNIT TYPE (10/12)
	LOT 1 (CURRENT)	LOT 2 (CURRENT)	LOT 1 (10/12)	LOT 2 (10/12)		LOT 1 (10/12)	LOT 2 (10/12)			
MULTIFAMILY	160	56	216	160	–	160	–	–	160	
TOWNHOUSE	36	16	52	52	–	52	–	–	52	
OWNERSHIP UNITS	–	–	–	–	–	–	–	56	–	56
LOT TOTAL	196	72	268	212	–	212	–	56	–	268





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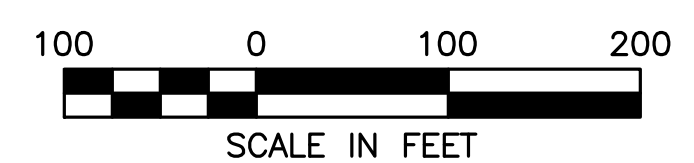
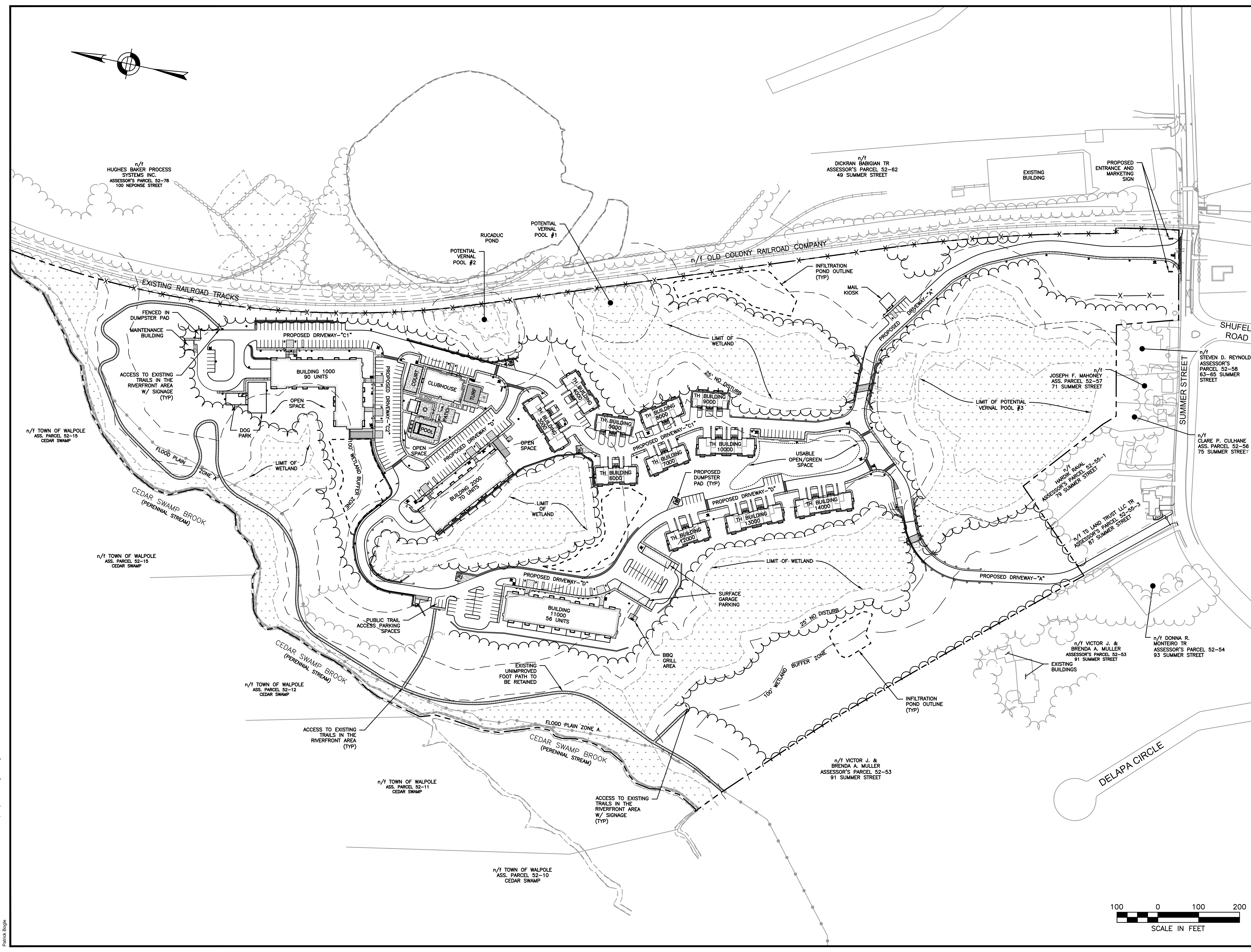
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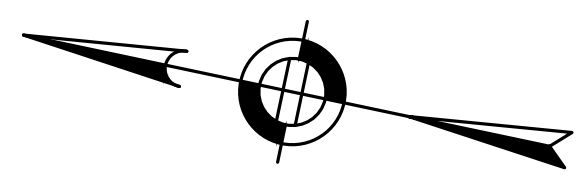


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6/6/2023 L:\19097\19097\_04 - Lot 2\CURRENT\119097 - Concept Layout - Planting Plan.dwg  
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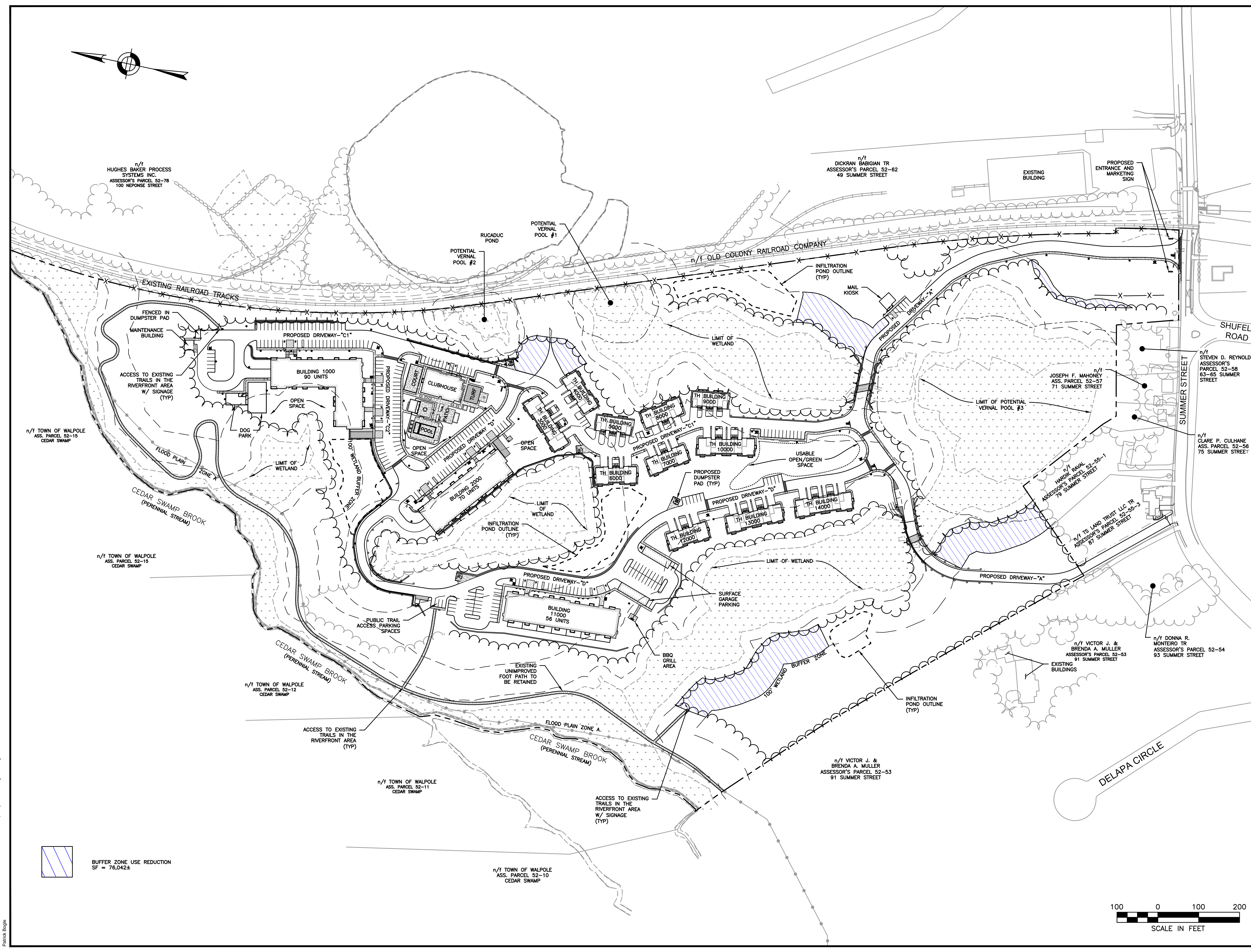
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**BUFFER ZONE  
 USE REDUCTION**

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