

AMENDED SITE DEVELOPMENT SUBDIVISION PLAN

A COMPREHENSIVE PERMIT M.G.L. c. 40B

"UNION SQUARE VILLAGE"

WALPOLE, MASSACHUSETTS

DATE: APRIL 21, 2020
Revised: May 21, 2020
October 22, 2020
February 23, 2022
May 5, 2022
October 20, 2022
March 14, 2023
May 2, 2023
Sept. 14, 2023

ASSESSOR'S REFERENCE:
MAP 20, PARCEL 119
MAP 20, PARCEL 136
MAP 20, PARCEL 137
MAP 20, PARCEL 115

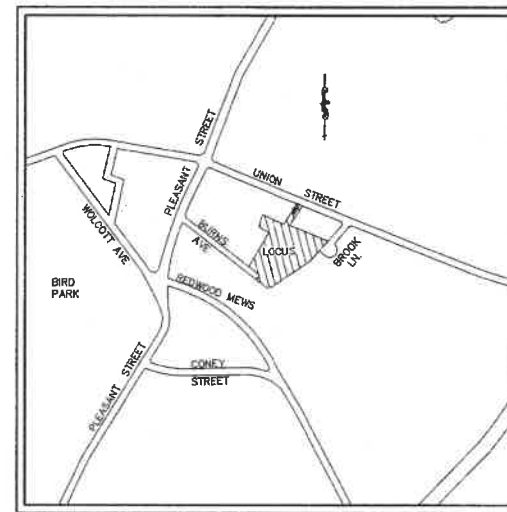
PLAN REFERENCE:
PLAN No. 959 OF 1980, BK. 5808, PG. 530
PLAN No. 1520 OF 1987, BK. 362
PLAN No. 990 OF 1954, BK. 3279, PG. 340
PLAN FILED AS PG. 99, PLBK. 672.

ZONING CLASSIFICATION:
GENERAL RESIDENCE - GR
FRONTAGE: 100 FT.
SETBACKS:
FRONT: 30'
SIDE: 10'
REAR: 30'

OWNERS OF RECORD:

1. MAP 20, PARCEL 119
DEED REF: BK. 34158, PG. 536
WALL STREET DEV. CORP.
P.O. BOX 272
WESTWOOD, MA 02090
2. MAP 20, PARCEL 136
DEED REF: BK. 36797, PG. 372
WALL STREET DEV. CORP.
P.O. BOX 272
WESTWOOD, MA 02090
3. MAP 20, PARCEL 137
DEED REF: BK. 35853, PG. 276
BURNS AVENUE DEVELOPMENT LLC
2 WARTHIN CIRCLE
NORWOOD, MA 02062
4. MAP 20, PARCEL 115
DEED REF: BK. 25238, PG. 585
BRIAN MARTIN
7 BROOK LANE
WALPOLE, MA 02081

ZONING TABLE:		
	REQUIRED	PROPOSED
LOT AREA:	15,000 S.F.	2,737 S.F. (Min)
LOT FRONTAGE:	100 FT.	38 FT. (Min)
YARD SETBACKS:		
FRONT:	30 FT.	10.0 FT. (Min)
SIDE:	10 FT.	5.0 FT. (Min)
REAR:	30 FT.	8.0 FT. (Min)
LOT COVERAGE	30 %	45 %
STRUCTURES:		
LOT COVERAGE	50 %	60 %
IMPERVIOUS:		
MAX BLDG HEIGHT:	35 FT.	35 FT.
MAX STORIES	2.5	2.5
PROPOSED: 20 LOTS		



LOCUS MAP
1"=600'

APPROVED BY
ZONING BOARD OF APPEALS
IN THE CAPACITY AS PLANNING BOARD
UNDER M.G.L. c. 40B

DATE APPROVED: _____
DATE ENDORSED: _____

APPROVAL _____ SUBJECT TO
A COVENANT CONDITIONS SET FORTH IN A
COVENANT EXECUTED BY _____
DATED _____ AND TO BE
RECORDED HERewith.

I TOWN CLERK OF THE TOWN OF WALPOLE
RECEIVED & RECORDED FROM THE ZONING
BOARD OF APPEALS. APPROVAL OF THIS PLAN
AND NO APPEAL HAS BEEN TAKEN FOR TWENTY
DAYS NEXT AFTER RECEIPT AND RECORDING OF
SAME.

TOWN CLERK _____ DATE _____



JOYCE E. HASTINGS
P.L.S.

9/14/23
DATE



ROBERT S. TRUAX, P.E.

9/14/23
DATE

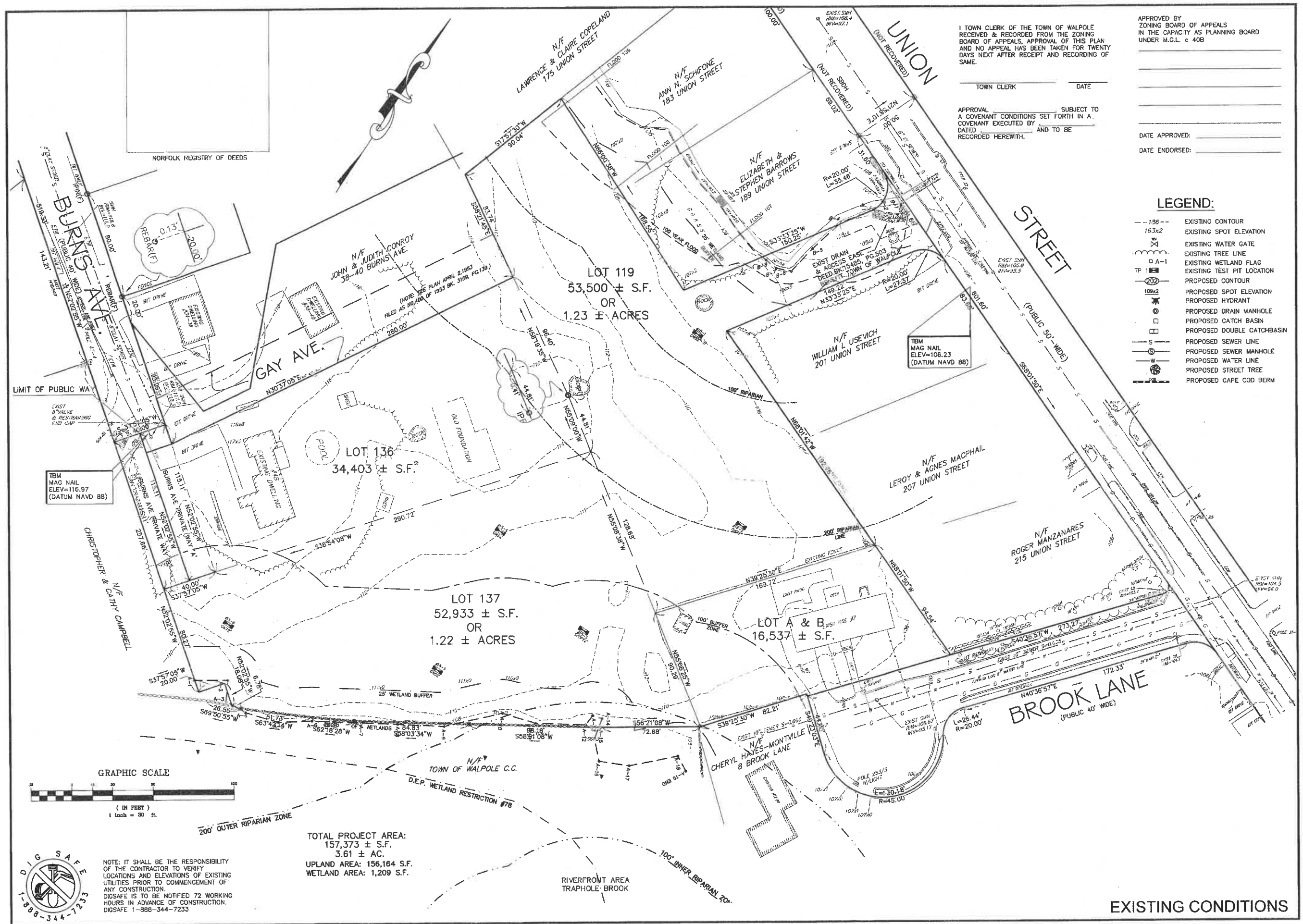
SHEET INDEX

- 1 COVER
- 2 EXISTING CONDITIONS
- 3 LOT LAYOUT
- 4 LAYOUT PLAN
- 5 GRADING, DRAINAGE & UTILITIES
- 6 PROFILES
- 7 EROSION CONTROL PLAN
- 8-13 DETAILS
- SUP-A RIVERFRONT EXISTING CONDITIONS
- SUP-B RIVERFRONT AREA DISTURBANCE
- SUP-C RESTORATION AND PLANTING

JOB No. 15588
SCALE: AS NOTED
DATE: APRIL 21, 2020
SHEET No. 1 of 13

Prepared By:
GLM ENGINEERING
CONSULTANTS, INC.
19 EXCHANGE STREET
HOLLISTON, MASSACHUSETTS 01746
(508)429-1100 fax:(508)429-7160

Applicant:
WALL STREET DEVELOPMENT CORP.
P.O. BOX 272
WESTWOOD, MASSACHUSETTS 02090



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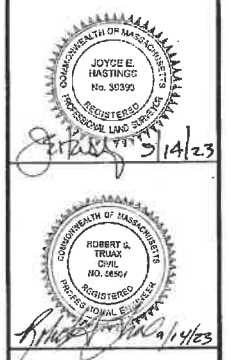
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LEGEND:

- 126 --- EXISTING CONTOUR
- 163x2 EXISTING SPOT ELEVATION
- EXISTING WATER GATE
- EXISTING TREE LINE
- EXISTING WETLAND FLAG
- EXISTING TEST PIT LOCATION
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED HYDRANT
- PROPOSED DRAIN MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED DOUBLE CATCHBASIN
- PROPOSED SEWER LINE
- PROPOSED SEWER MANHOLE
- PROPOSED WATER LINE
- PROPOSED STREET TREE
- PROPOSED CAPE COD BERM

REVISIONS		DESCRIPTION
No.	DATE	
1	05/21/20	DRAINAGE SYSTEM
2	10/22/20	CONSERVATION COMMENTS
3	02/23/22	ZBA COMMENTS, REDUCE TO 38 UNITS
4	05/05/22	20 LOT RESIDENTIAL SUBDIVISION
5	10/20/22	REVISED RIVERFRONT DISTURBANCE
6	03/14/23	REVISED PER ZBA REVIEW COMMENTS
7	05/02/23	REVISED PER ZBA REVIEW COMMENTS
8	09/14/23	REVISED PER ZBA REVIEW COMMENTS

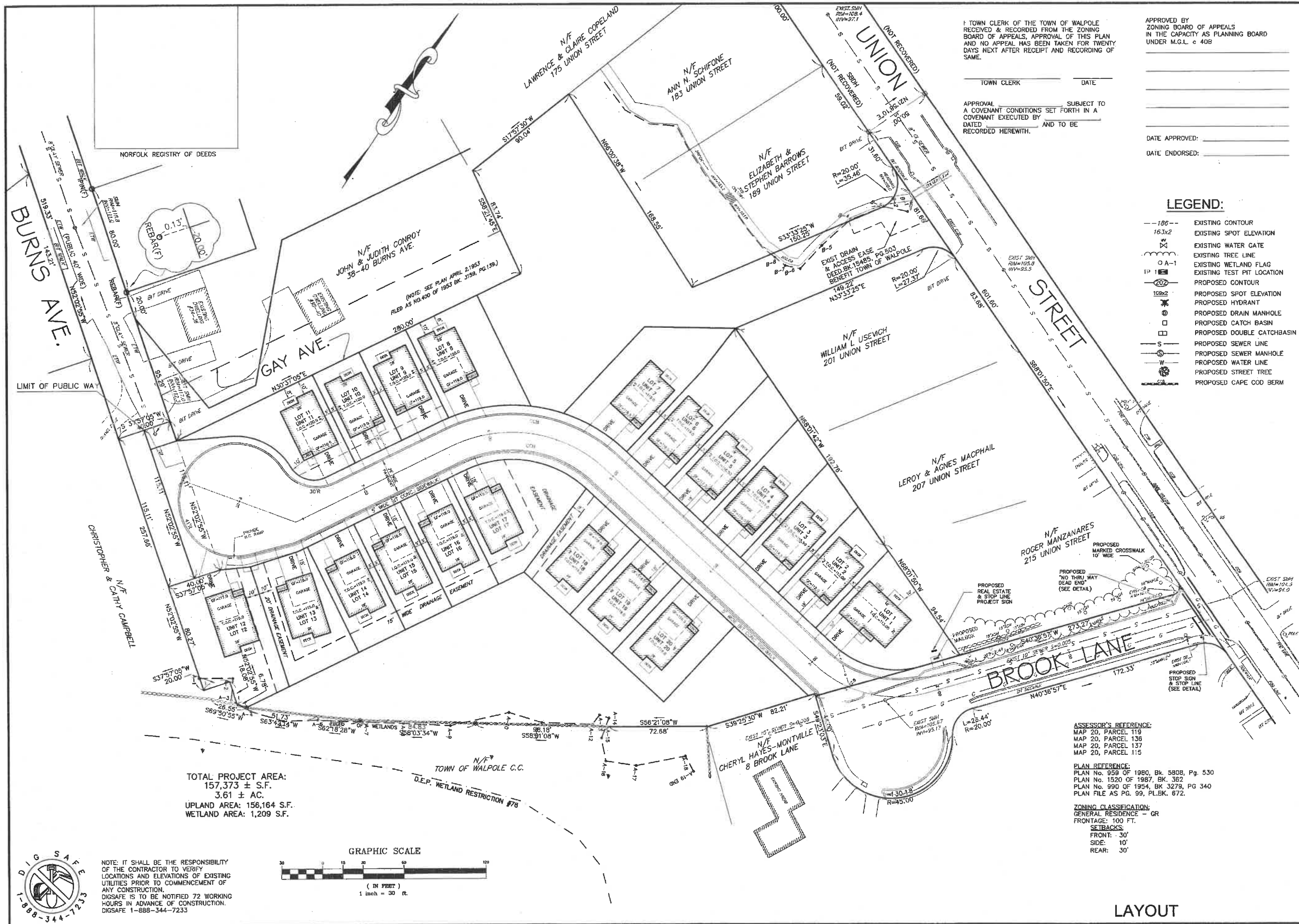


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JOB No.	15,588
DATE:	APRIL 21, 2020
SCALE:	1"= 30'
SHEET:	2 of 13
PLAN #:	27,096

EXISTING CONDITIONS



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7	05/02/23	REVISED PER ZBA REVIEW COMMENTS
8	06/14/23	REVISED PER ZBA DECISION

JOYCE E. HASTINGS
No. 33993
REGISTERED PROFESSIONAL LAND SURVEYOR

9/14/23

ROBERT S. TRUXA
No. 56397
REGISTERED PROFESSIONAL LAND SURVEYOR

9/14/23

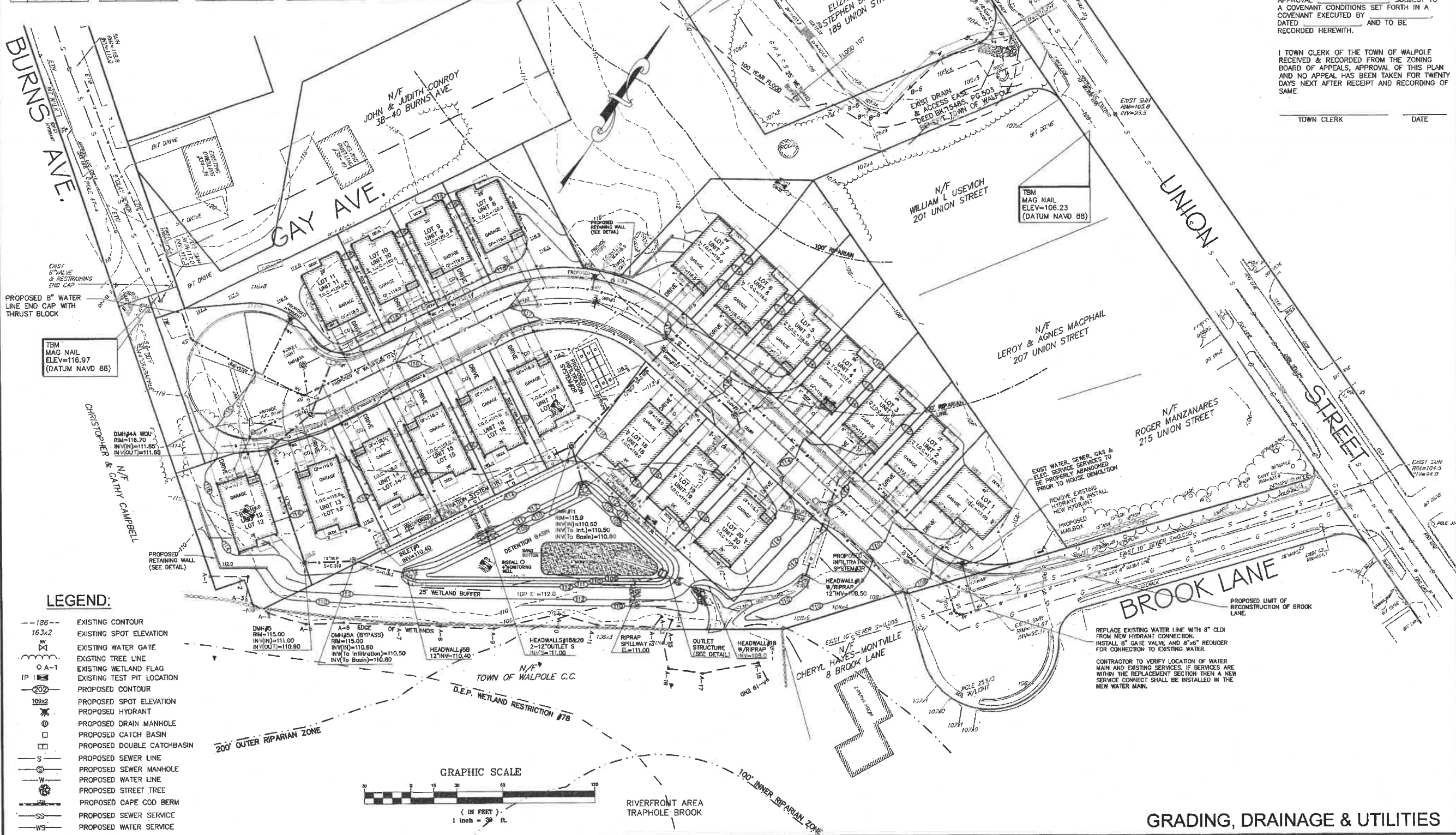
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DEEP OBSERVATION HOLE LOGS		
DEEP HOLE - 15-1	DEEP HOLE - 15-2	DEEP HOLE - 15-3
HORIZ. DATE: 6/18/18 SOIL DESCRIPTION: SANDY LOAM 1018.2 ELEV. 108.0	HORIZ. DATE: 6/18/18 SOIL DESCRIPTION: FILL ELEV. 111.0	HORIZ. DATE: 6/18/18 SOIL DESCRIPTION: FILL ELEV. 110.3
34" SANDY LOAM 1018.2 ELEV. 105.1	72" FILL 105.0	84" FILL 103.3
74" SANDY LOAM 2.915/4 ELEV. 101.8	118" SANDY LOAM 2.915/4 ELEV. 101.1	108" SANDY LOAM 2.915/4 ELEV. 101.3
CHROMIUM 101.8	CHROMIUM 101.1	CHROMIUM 101.3
34" SANDY LOAM 1018.2 ELEV. 105.1	72" FILL 105.0	84" FILL 103.3
74" SANDY LOAM 2.915/4 ELEV. 101.8	118" SANDY LOAM 2.915/4 ELEV. 101.1	108" SANDY LOAM 2.915/4 ELEV. 101.3
CHROMIUM 101.8	CHROMIUM 101.1	CHROMIUM 101.3
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CHROMIUM 101.8	CHROMIUM 101.1	CHROMIUM 101.3



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JOYCE E. HASTINGS
No. 35923
REGISTERED
PROFESSIONAL LAND SURVEYOR

ROBERT S. HAYES
No. 8657
REGISTERED
PROFESSIONAL ENGINEER

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SCALE: 1" = 30'
SHEET: 5 of 13
PLAN #: 27,096

GRADING, DRAINAGE & UTILITIES

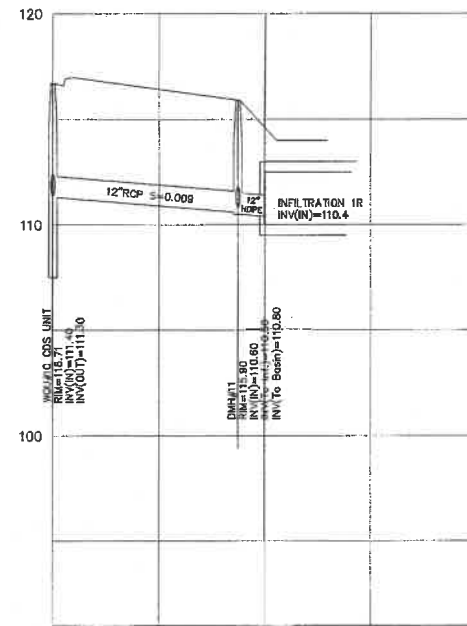
NORFOLK REGISTRY OF DEEDS

Drainage System Table:

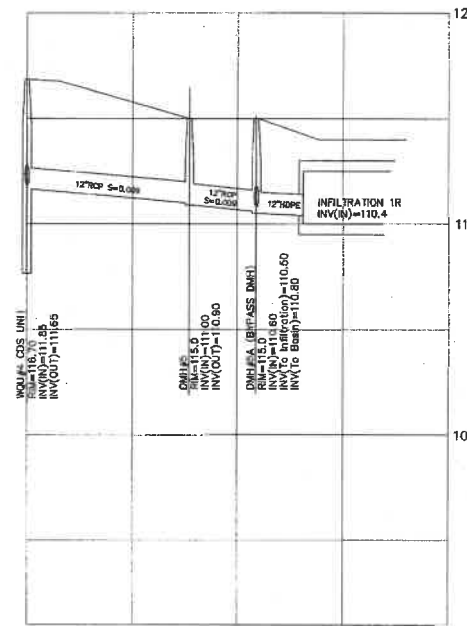
Structure	Rim	Invert (In)	Invert (Out)
CB#1	115.40		112.40
CB#2	115.40		112.40
DMH#3	115.65	112.25	112.15
WQU#4	116.70	111.85	111.65
DMH#5	115.00	111.00	110.90
DMH#5A	115.00	110.60	110.50
CB#7	115.10		112.20
CB#8	115.10		112.20
DMH#9	115.49	112.10	112.00
WQU#10	116.71	111.40	111.30
DMH#11	115.90	110.60	110.50
CB#12	112.37		109.20
CB#13	112.37		109.20
WQU#14	112.06	109.00	108.80
HW#15			108.50

Sewer System Table:

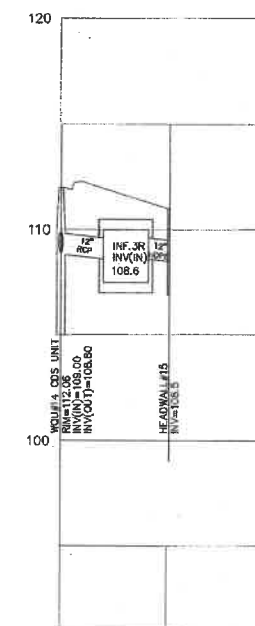
Structure	Rim	Invert (In)	Invert (Out)
SMH#1	116.00		108.50
SMH#2	117.05	106.60	106.50
SMH#3	117.47	105.97	105.87
SMH#4	117.03	105.35	105.25
SMH#5	108.96	98.60	98.40
EXIST#6	106.67	95.65	95.17



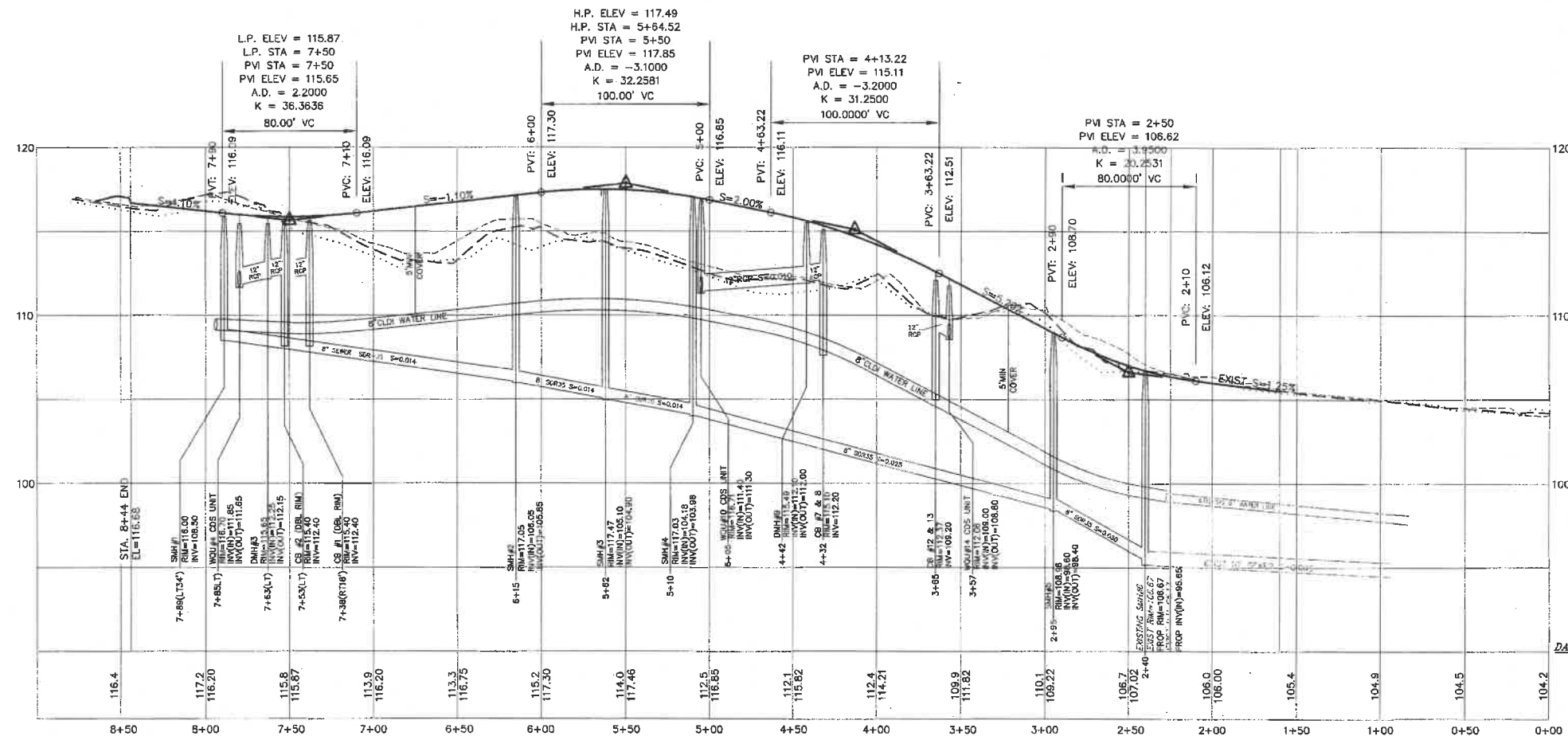
PROFILE DRAIN LINE
DMH#10 TO HEADWALL#11A
SCALE: Horiz: 1"=40'; Vert: 1"=4'



PROFILE DRAIN LINE
DMH#4 TO HEADWALL#6
SCALE: Horiz: 1"=40'; Vert: 1"=4'



PROFILE DRAIN LINE
DMH#14 TO HEADWALL#15
SCALE: Horiz: 1"=40'; Vert: 1"=4'



PROFILE DRIVE 'A'
SCALE: Horiz: 1"=40'; Vert: 1"=4'

PROFILE PLAN

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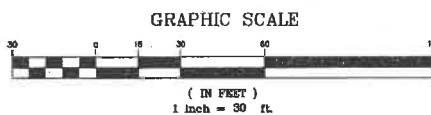
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JOB No. 15,588
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SCALE: 1"= 30'
SHEET: 6 of 13
PLAN #: 27,096



EROSION CONTROL MAINTENANCE:

THE CONTRACTOR SHALL HAVE ON THE SITE, AN ADEQUATE QUANTITY OF SUPPLEMENTAL HAYBALES, SILT FENCE AND STAKES TO BE USED FOR CONTROL OF EMERGENCY EROSION PROBLEMS. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER A STORM EVENT OF 1" INCH OR GREATER.

DEWATERING:

PUMPING AND DEWATERING SHALL BE DONE IN A MANNER WHICH WILL NOT DISCHARGE ANY SILT AND SEDIMENT INTO A RESOURCE AREA. DISCHARGES FROM A DEWATERING CONSTRUCTION PROCEDURE WILL BE FILTERED THROUGH A SALTATION BASIN CONSTRUCTED UPLAND FROM THE WORK SITE. THE SALTATION BASIN SHALL BE A DEPRESSION SURROUNDED BY A HAYBALE DIKE OR SILT FENCE. OVERFLOW FROM THE BASIN SHALL BE PLANNED TO BE LOCATED OVER THICKLY AND NATURALLY MULCHED UPLAND AREA. ALL BASINS SHALL BE LOCATED AT LEAST 100 FEET UPSLOPE FROM ANY WETLAND RESOURCE AREA.

STOCKPILING:

STOCKPILE MATERIAL SHALL STORED IN THE AREAS DESIGNATED. ALL STOCKPILES AREAS SHALL BE SECURED AROUND THE PERIMETER WITH HAYBALE DIKE OR SILT FENCE.

EROSION CONTROL NOTES

THE FOLLOWING EROSION CONTROL SPECIFICATIONS ARE IN EFFECT WHEN SITE ALTERATION WORK IS CONTEMPLATED TO PREVENT DOWN GRADIENT OR ADJACENT AREAS FROM BEING ADVERSELY IMPACTED.

1. PRIOR TO ANY DISTURBANCE OR ALTERATIONS ON ANY AREA ON THE SITE, THE FILTER MITT SEDIMENT BARRIER SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE SITE PLAN.
2. BARRIERS SHALL BE CONSTRUCTED AS SHOWN ON THE FILTER MITT WITH CONSTRUCTION FENCE DETAIL ABOVE.
3. ONCE INSTALLED, THE FILTER MITT SEDIMENT BARRIERS SHALL BE MAINTAINED IN PLACE UNTIL ALL AREAS UPGRADEMENT FROM THE BARRIERS HAVE BEEN STABILIZED AS SPECIFIED HEREIN. UPON COMPLETION AND STABILIZATION OF THE PROJECT, THE FILTER MITT AND CONSTRUCTION FENCE SHALL BE REMOVED.
4. THE ORANGE CONSTRUCTION IS INTENDED TO ACT AS A LIMIT OF DISTURBANCE. ANY LAND DOWN GRADIENT FROM THE FENCE ACCIDENTALLY DISTURBED SHALL BE IMMEDIATELY REPAIRED AND RESTORED TO ORIGINAL CONDITION.
5. ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED OR WHERE SPECIAL STABILIZATION MEASURES OR LANDSCAPE PLANTINGS ARE NOT PROPOSED SHALL BE LOADED AND SEEDED. NO LESS THAN FOUR INCHES OF LOAM TOPSOIL SHALL BE SPREAD AND THE AREA SEEDING WITH CONSERVATION MIX.
6. ALL AREAS OUTSIDE THE LIMIT OF WORK ARE TO BE LEFT UNDISTURBED. DURING SITE WORK ALL PERSONS AND EQUIPMENT SHALL STAY OUTSIDE THESE AREAS TO PRESERVE THE EXISTING VEGETATION.
7. ALL SLOPES CAUSED BY EXCAVATION OF EXISTING GROUND, OR FILL OVER EXISTING GROUND TO CREATE DEEMS OF EARTH MATERIALS OR RESULTING FROM RECONTOURING LAND FOR PROPOSED HOUSE LOCATIONS SHALL BE NO GREATER THAN 3:1. HORIZONTAL TO VERTICAL. THE TOE OF SLOPES IN FILL AREAS OR TOP OF SLOPE IN EXCAVATED AREAS SHALL BE NO CLOSER THAN 5 FEET FROM ADJACENT LOT LINES.
8. THE FIRST ONE-HUNDRED (100) FEET OF THE PROPOSED DRIVEWAY ENTRANCE AT BROOK LANE SHALL BE COVERED WITH TWELVE (12) INCHES OF 1 - 3 INCH CRUSHED STONE TO STABILIZE THE AREA (SEE DETAIL).

A MORE DETAILED SEDIMENT AND EROSION CONTROL PLAN WILL BE DEVELOPED AS PART OF THE NPDES STORMWATER POLLUTION PREVENTION PLAN.

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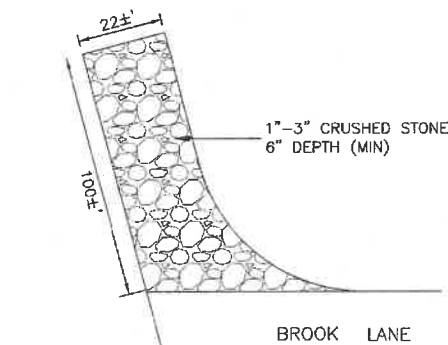
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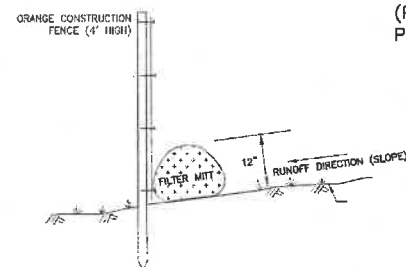
TOWN CLERK _____ DATE _____

DATE APPROVED: _____

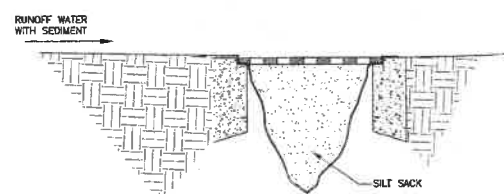
DATE ENDORSED: _____



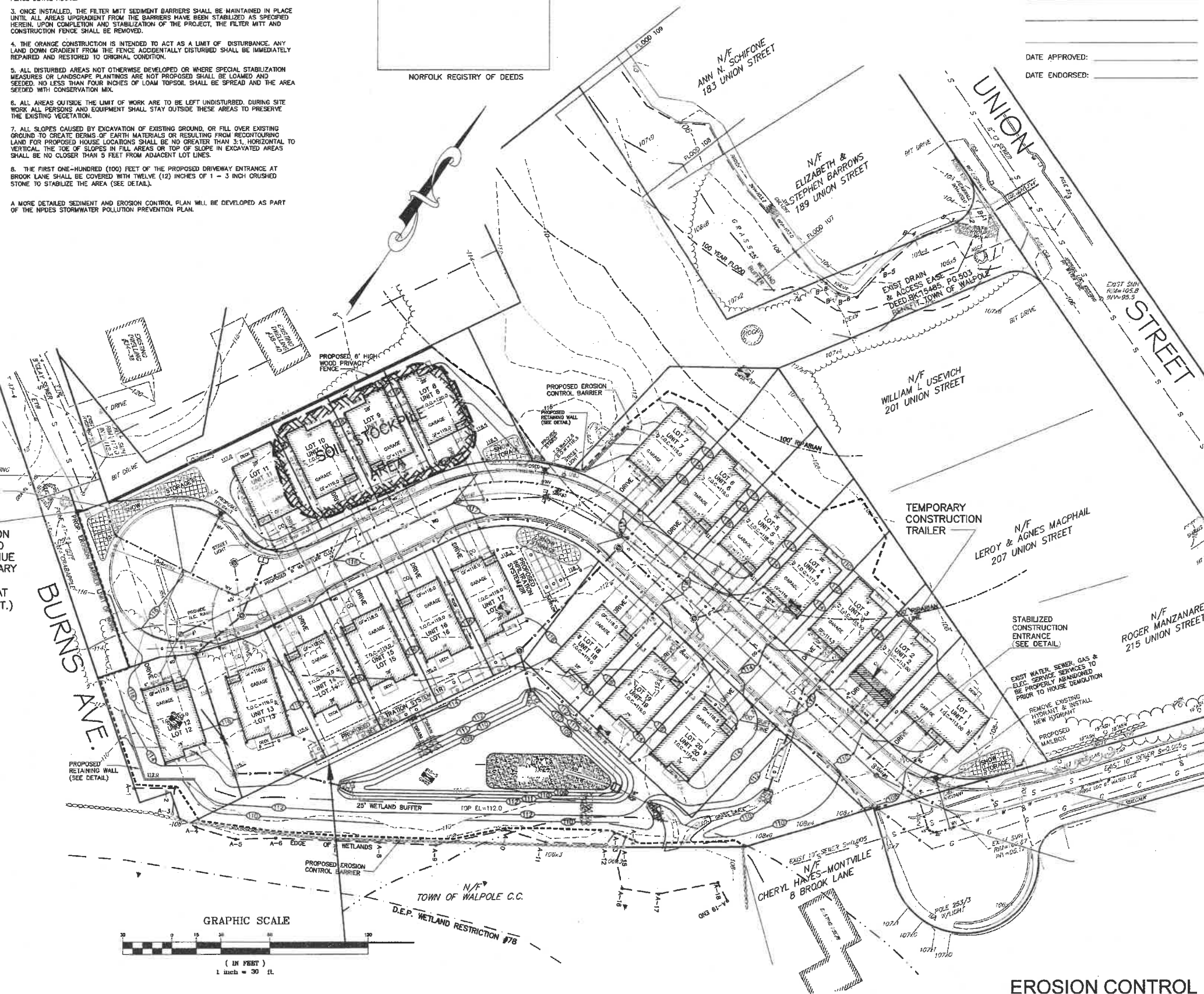
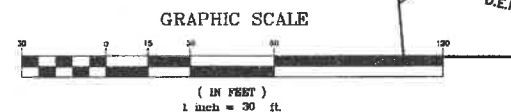
STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



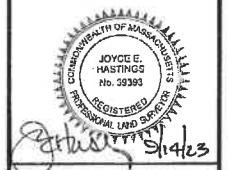
FILTER MITT WITH ORANGE CONSTRUCTION FENCE DETAIL
NOT TO SCALE



SILT SACK CATCH BASIN INLET
NOT TO SCALE



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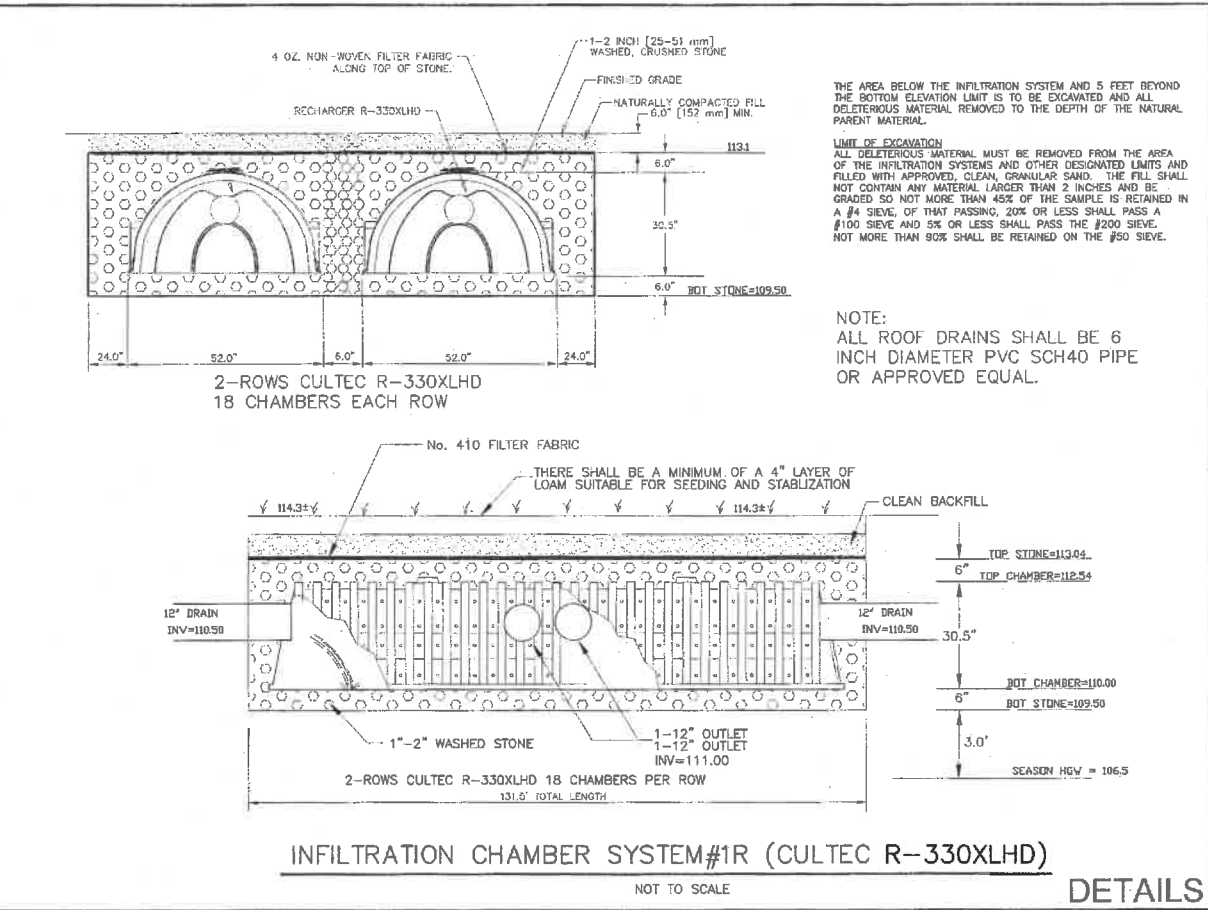
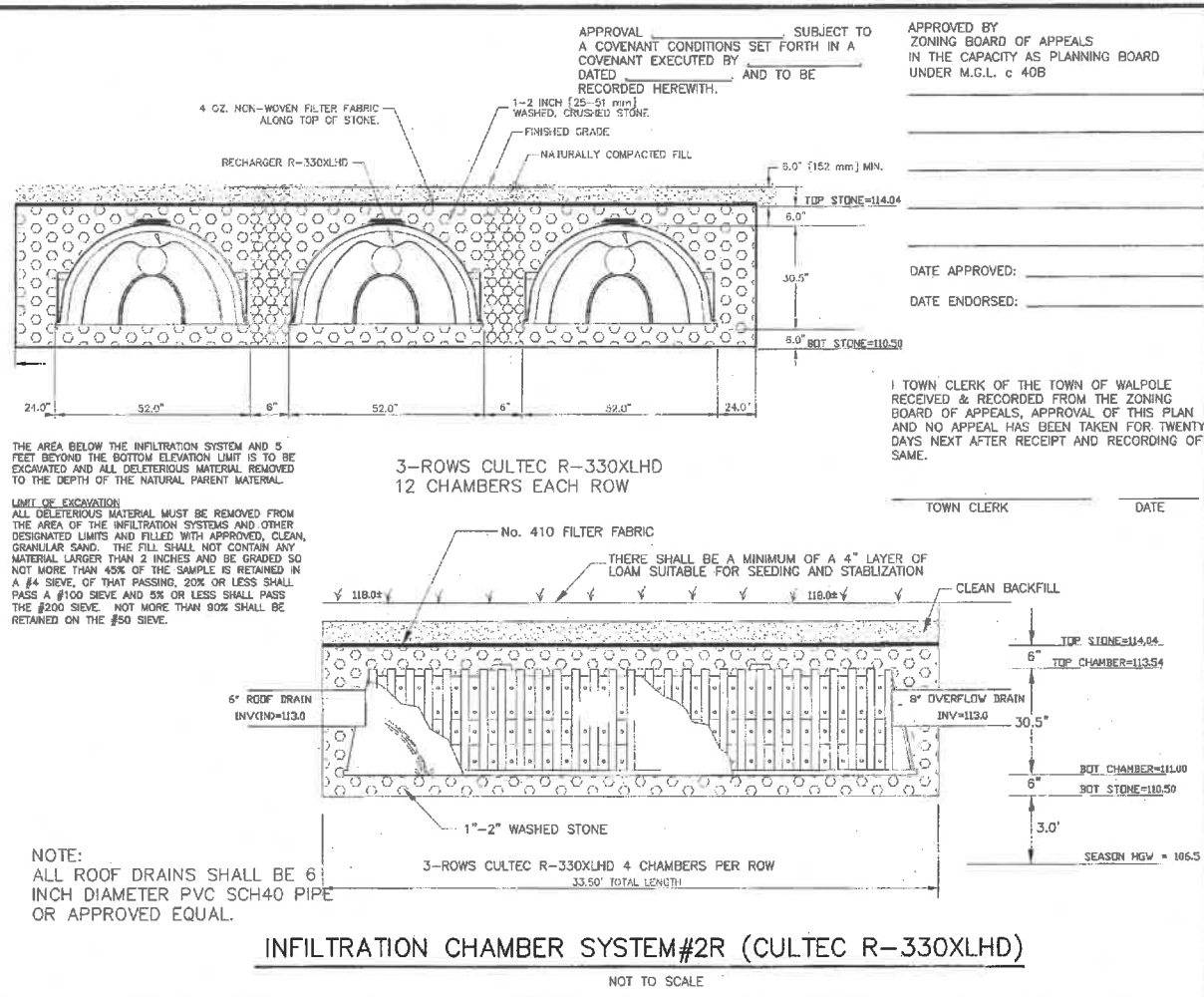
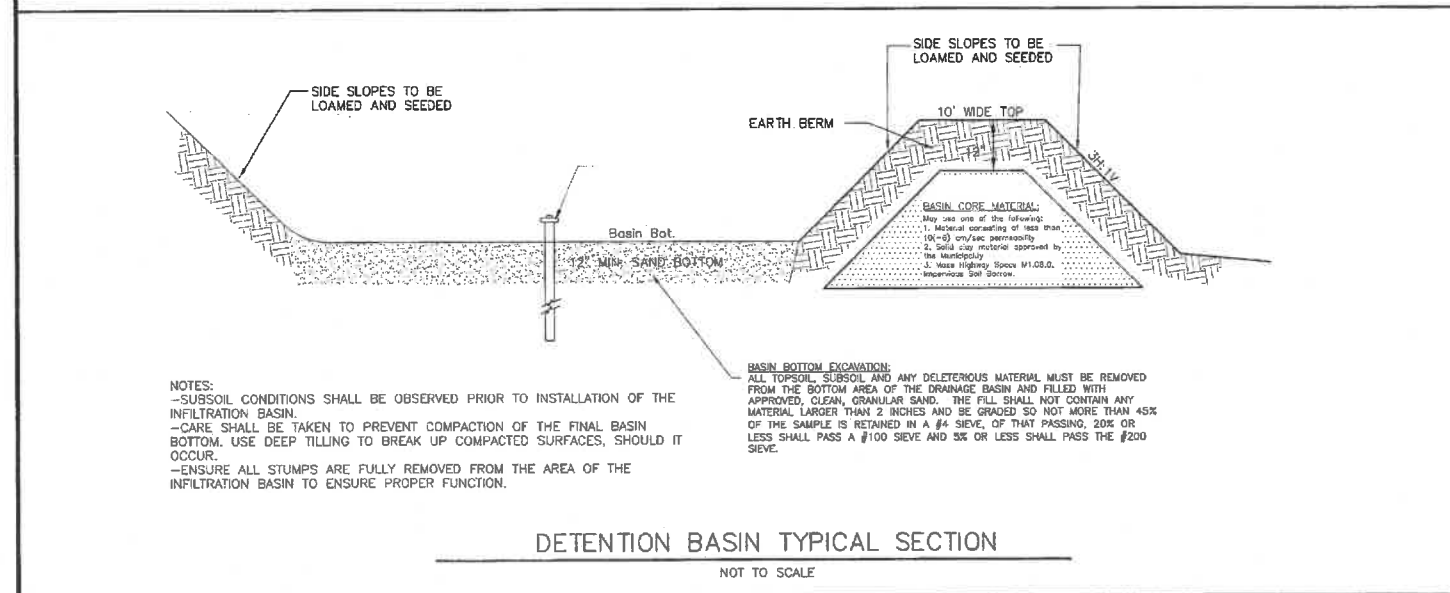
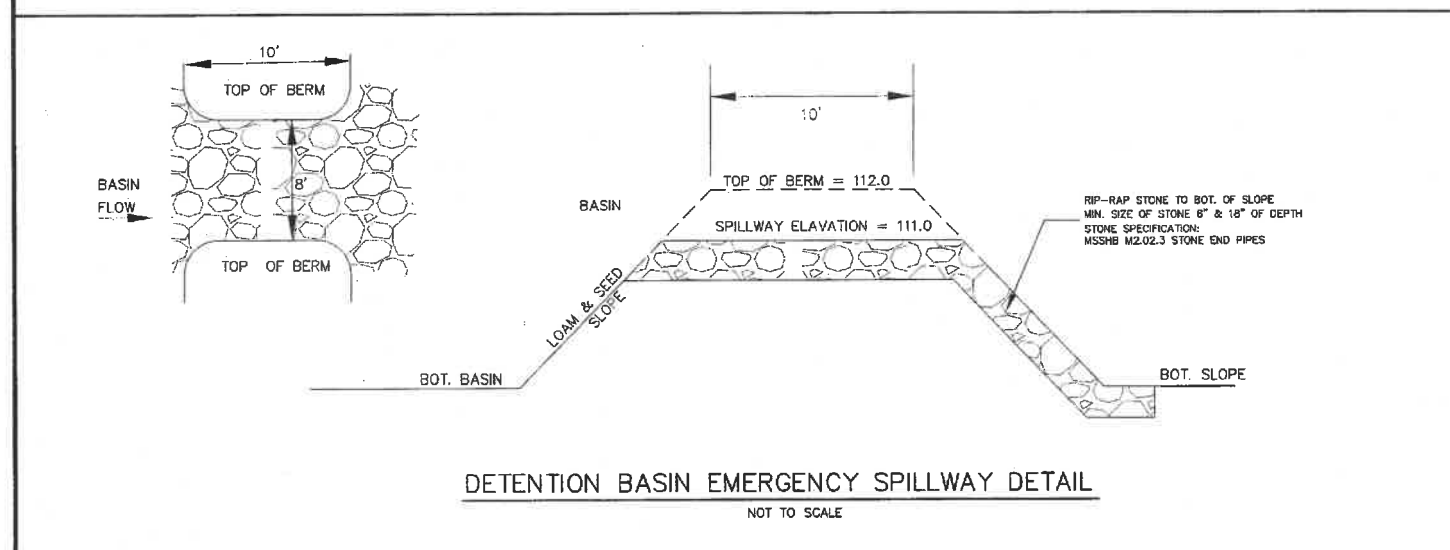
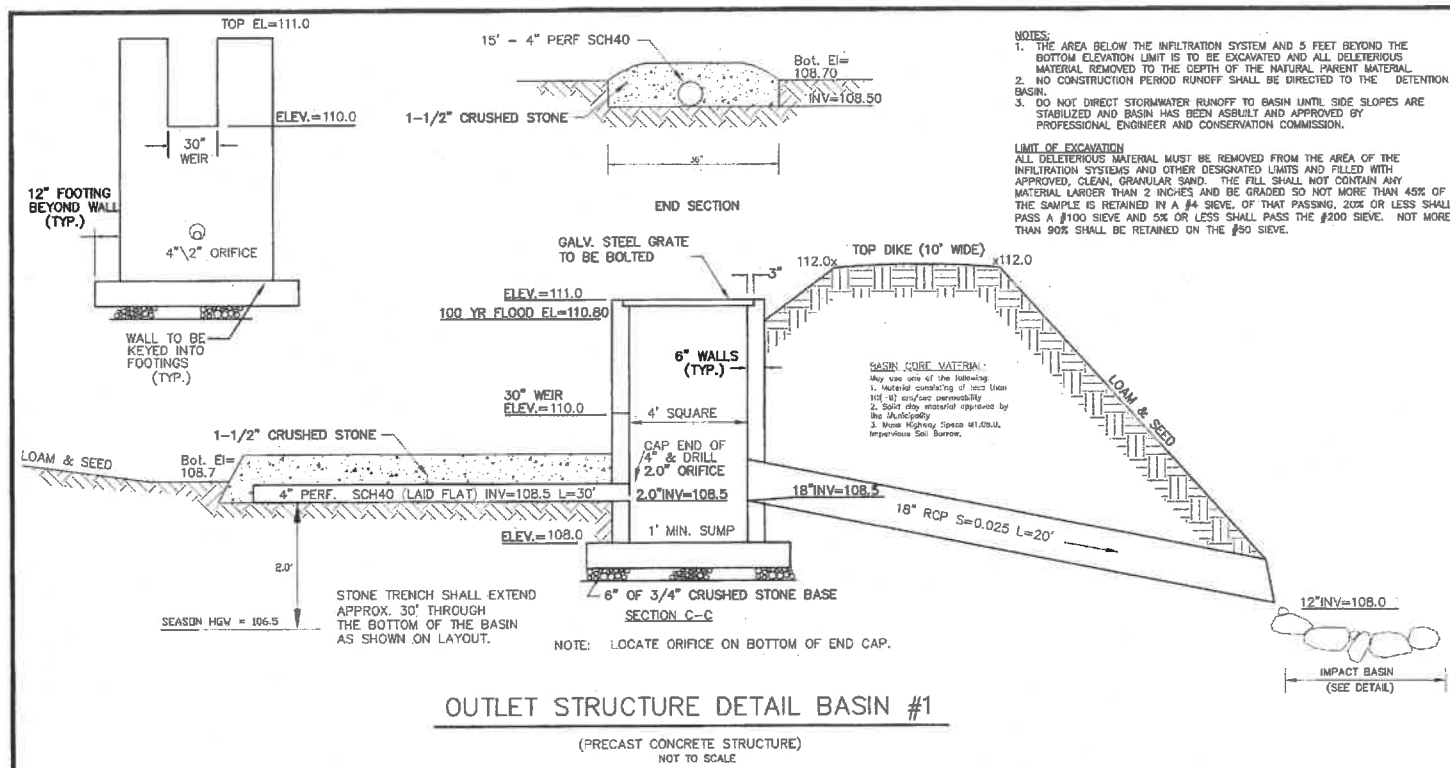


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EROSION CONTROL



REVISIONS		DESCRIPTION
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3	02/23/22	ZBA COMMENTS: REDUCE TO 38 UNITS
4	05/05/22	20 LOT RESIDENTIAL SUBDIVISION
5	10/20/22	REVISED RIVERFRONT DISTURBANCE
6	03/14/23	REVISED PER ZBA REVIEW COMMENTS
7	05/02/23	REVISED PER ZBA REVIEW COMMENTS
8	09/14/23	REVISED PER ZBA DECISION

APPROVED BY	SUBJECT TO
ZONING BOARD OF APPEALS	A COVENANT CONDITIONS SET FORTH IN A
IN THE CAPACITY AS PLANNING BOARD	COVENANT EXECUTED BY
UNDER M.G.L. c 40B	DATED AND TO BE
	RECORDED HEREWITH.

TOWN CLERK	DATE
------------	------

I, TOWN CLERK OF THE TOWN OF WALPOLE, RECEIVED & RECORDED FROM THE ZONING BOARD OF APPEALS, APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

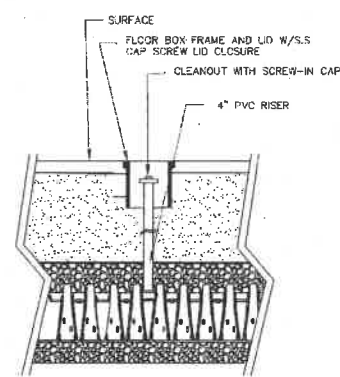
AMENDED SITE DEVELOPMENT SUBDIVISION PLAN
A COMPREHENSIVE PERMIT M.G.L. c. 40B
"UNION SQUARE VILLAGE"
WALPOLE, MASSACHUSETTS

APPLICANT:
WALL STREET DEVELOPMENT CORP.
P.O. BOX 272
WESTWOOD, MA 02090

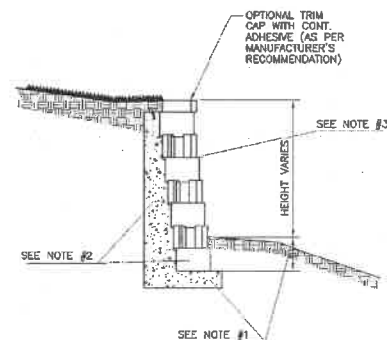
GLM Engineering Consultants, Inc.	19 EXCHANGE STREET HOLLISTON, MA 01746 P: 508-429-1100 F: 508-429-7160 www.GLMengineering.com
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JOB No.	15,588
DATE:	APRIL 21, 2020
SCALE:	1" = 30'
SHEET:	8 of 13
PLAN #:	27,096

DETAILS



INSPECTION PORT DETAIL
NOT TO SCALE

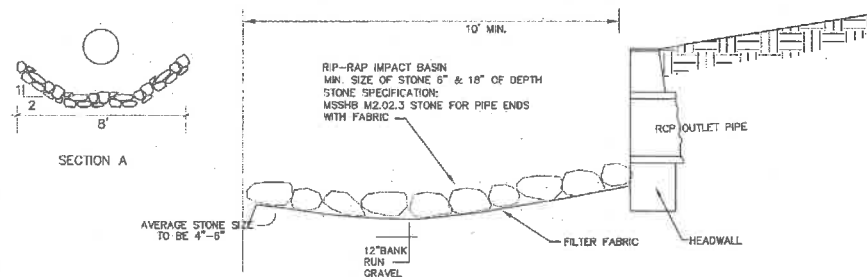


TYPICAL CROSS SECTION
SCALE: NONE

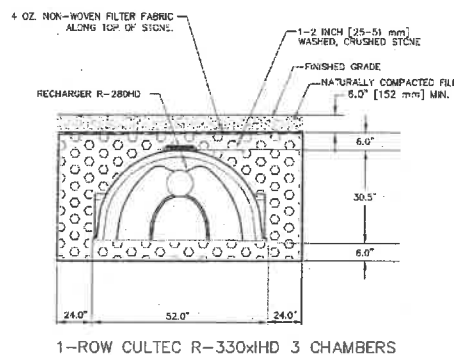
ALL STONES
-DIMENSIONS: 8" H x 12" D x 18" L
-12" SETBACK FROM VERTICLE
-TYPICAL WEIGHT = 75 lbs.

ALLAN BLOCK RETAINING WALL OR APPROVED EQUAL

NOT TO SCALE

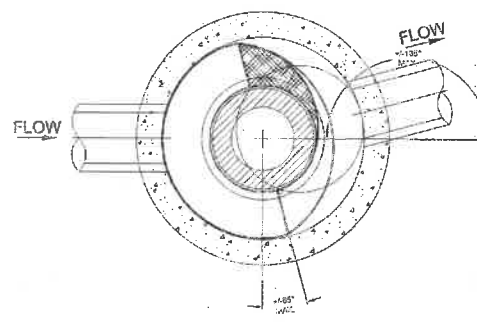
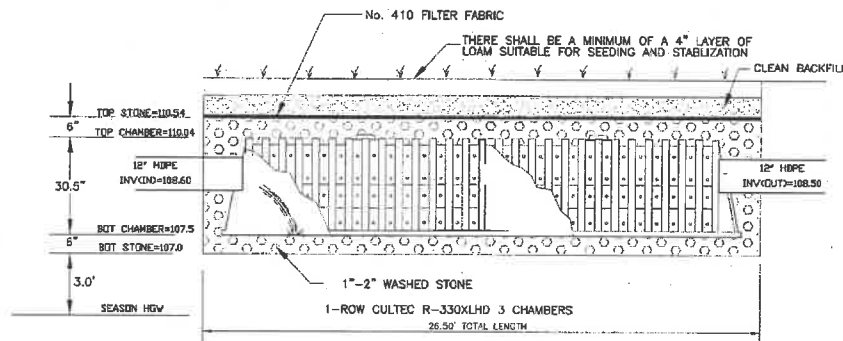


RIP-RAP DETAIL HEADWALLS
NOT TO SCALE

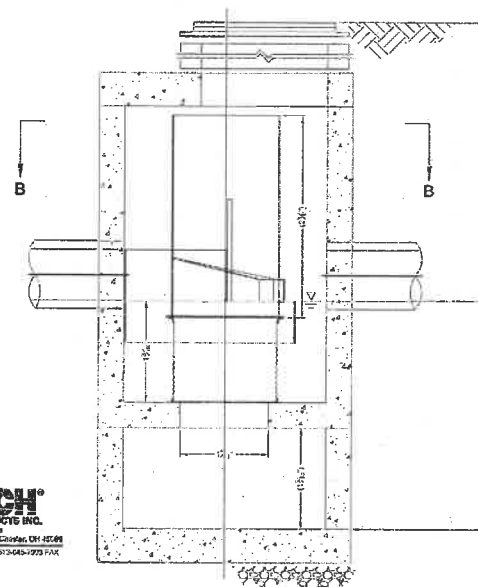


INFILTRATION CHAMBER SYSTEM#3R (CULTEC R-330XLHD)

NOT TO SCALE



PLAN VIEW B-B
N.T.S.



ELEVATION A-A
N.T.S.

CONTECH
CONSTRUCTION PRODUCTS INC.
www.contech-cpi.com
4550 Cedar Point Circle, Suite 400, Westborough, MA 01581
508-338-1122 508-338-7200 508-338-7277 FAX

- GENERAL NOTES**
1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 2. DIMENSIONS MARKED WITH () ARE RETROFITTE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
 3. FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH CONSTRUCTION PRODUCTS REPRESENTATIVE. www.contech-cpi.com
 4. CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
 5. STRUCTURE SHALL MEET ASHOTO H220 AND CASTINGS SHALL MEET ASHOTO H208 LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
 6. PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

- INSTALLATION NOTES**
1. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 2. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND HOIST CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLIFFONES PROVIDED).
 3. CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
 4. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
 5. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

WATER QUALITY UNIT DETAIL
CDS1515-3-C CDS INLINE STANDARD DETAIL
NOT TO SCALE

APPROVAL _____ SUBJECT TO
A COVENANT CONDITIONS SET FORTH IN A
COVENANT EXECUTED BY _____
DATED _____ AND TO BE
RECORDED HERewith.

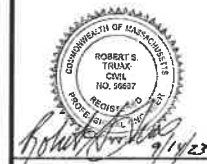
APPROVED BY
ZONING BOARD OF APPEALS
IN THE CAPACITY AS PLANNING BOARD
UNDER M.G.L. c 40B

DATE APPROVED: _____
DATE ENDORSED: _____

I TOWN CLERK OF THE TOWN OF WALPOLE
RECEIVED & RECORDED FROM THE ZONING
BOARD OF APPEALS, APPROVAL OF THIS PLAN
AND NO APPEAL HAS BEEN TAKEN FOR TWENTY
DAYS NEXT AFTER RECEIPT AND RECORDING OF
SAME.

TOWN CLERK _____ DATE _____

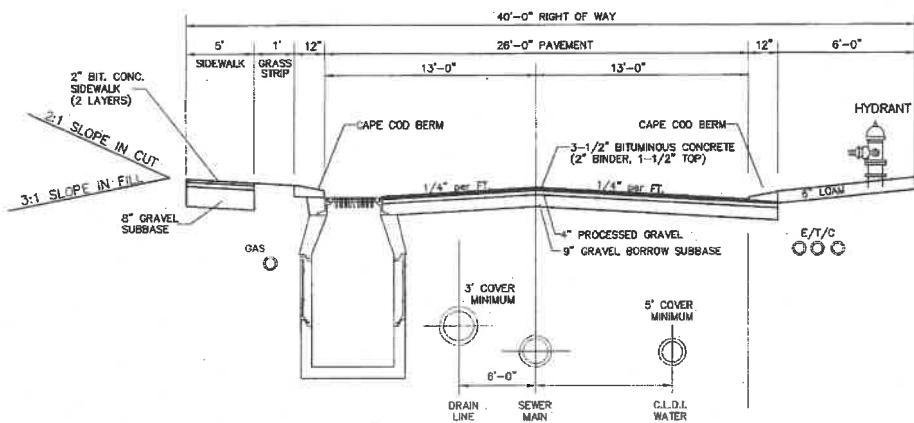
REVISIONS	DATE	DESCRIPTION
1	05/21/20	DRAINAGE SYSTEM
2	10/22/20	CONSERVATION COMMENTS
3	02/23/22	ZBA COMMENTS, REDUCE TO 38 UNITS
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AMENDED SITE DEVELOPMENT SUBDIVISION PLAN
A COMPREHENSIVE PERMIT M.G.L.C. 40B
"UNION SQUARE VILLAGE"
WALPOLE, MASSACHUSETTS
APPLICANT:
WALL STREET DEVELOPMENT CORP.
P.O. BOX 272
WESTWOOD, MA 02090

GLM Engineering
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19 EXCHANGE STREET
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F: 508-429-7160
www.GLMengineering.com

JOB No. 15.588
DATE: APRIL 21, 2020
SCALE: 1"= 30'
SHEET: 9 of 13
PLAN #: 27,096

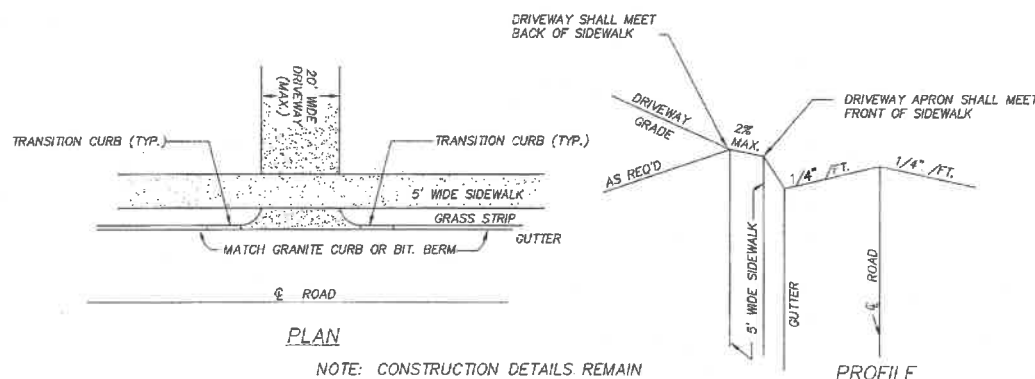


TYPICAL CROSS SECTION
(NO SCALE)

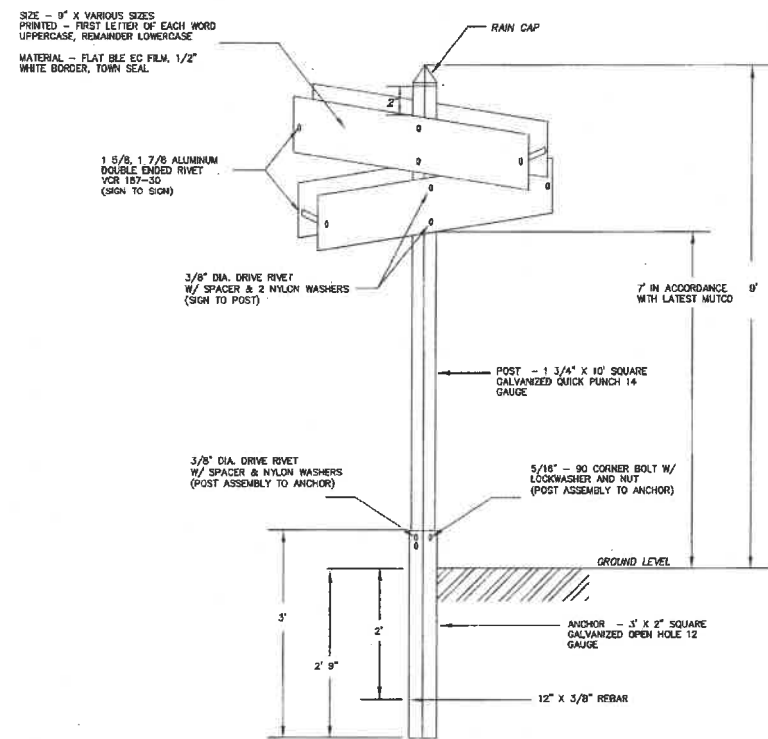
- NOTES:
- GRAVEL BORROW SUBBASE SHALL CONFORM TO SECTION M1.03.0 TYPE B, THREE INCHES LARGEST DIMENSION OF THE LATEST EDITION OF THE MASSACHUSETTS HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES (STANDARD SPECIFICATIONS).
 - GRAVEL BORROW SUBBASE SHALL BE COMPACTED TO NOT LESS THAN 95 PERCENT OF MAXIMUM DRY DENSITY OF THE MATERIAL AS DETERMINED BY THE STANDARD AASHTO TEST DESIGNATION T99 COMPACTION TEST METHOD C AT OPTIMUM MOISTURE CONTENT AS DETERMINED BY THE ENGINEER.
 - "TAC COAT" AS SPECIFIED IN SECTION 488.61 OF THE STANDARD SPECIFICATIONS SHALL BE APPLIED BY "TAC TRUCK" BETWEEN ASPHALT LAYERS OR AS DETERMINED BY THE ENGINEER.
 - SOILS TESTING INCLUDING SIEVE ANALYSIS, PROCTOR TESTING AND COMPACTION TESTING SHALL BE PERFORMED ONCE EVERY 100 FEET OF PAVED ROADWAY ALONG THE CENTERLINE OF THE ROADWAY OR AS DIRECTED BY THE ENGINEER.
 - SIDEWALK RAMPS MUST MEET CURRENT APPLICABLE ADA / AAB STANDARDS.



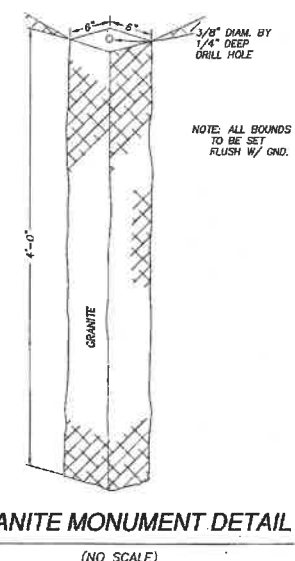
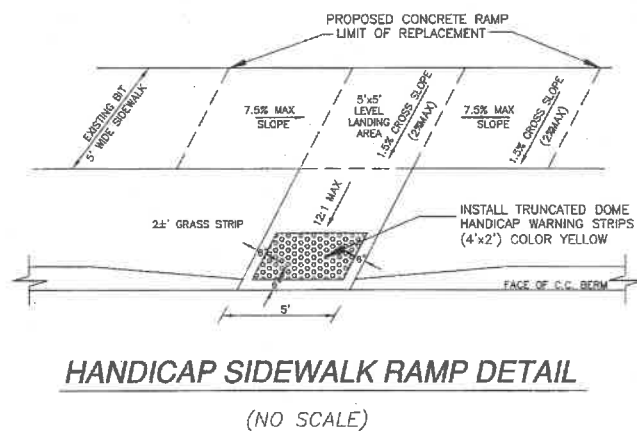
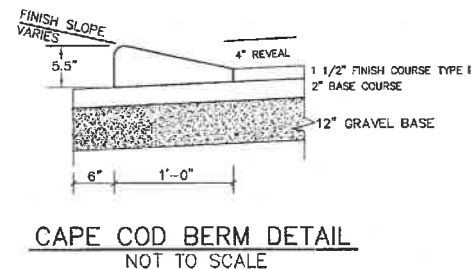
TYPICAL STREET SIGN NAME PLATE DETAIL
N.T.S.



TYPICAL MINOR DRIVEWAY DETAIL
(NO SCALE)



TYPICAL STREET SIGN DETAIL
(NO SCALE)



I TOWN CLERK OF THE TOWN OF WALPOLE RECEIVED & RECORDED FROM THE ZONING BOARD OF APPEALS, APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

TOWN CLERK _____ DATE _____

APPROVAL _____ SUBJECT TO A COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY _____ DATED _____ AND TO BE RECORDED HEREWITH.

APPROVED BY _____ ZONING BOARD OF APPEALS IN THE CAPACITY AS PLANNING BOARD UNDER M.G.L. c 40B

DATE APPROVED: _____

DATE ENDORSED: _____

PROJECT PATH			
REV. #	DESCRIPTION	DATE	BY

**TOWN OF WALPOLE, MASSACHUSETTS
DEPARTMENT OF PUBLIC WORKS
PLAN SHOWING TYPICAL
ROADWAY DETAILS**

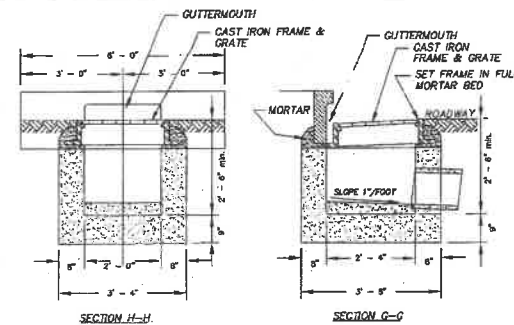
DETAIL SHEET NOTE:
1. ALL DETAILS ARE SUBJECT TO CHANGE WITHOUT NOTICE. CHECK WITH THE TOWN OF WALPOLE PRIOR TO USING THESE DETAILS FOR THE MOST UP TO DATE REVISIONS.
2. IT IS THE DESIGNERS SOLE RESPONSIBILITY TO DETERMINE THE SUITABILITY OF A PARTICULAR DETAIL.

**AMENDED SITE DEVELOPMENT SUBDIVISION PLAN
A COMPREHENSIVE PERMIT M.G.L.c. 40B
"UNION SQUARE VILLAGE"
WALPOLE, MASSACHUSETTS**
APPLICANT:
WALL STREET DEVELOPMENT CORP.
P.O. BOX 272
WESTWOOD, MA 02090

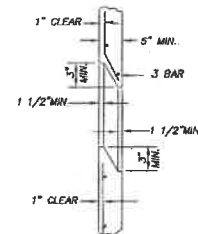
Town of Walpole
Date: 3-28-19
Scale: AS SHOWN
Drawn By: R. ROSA
Checked By: C. JOHNSON
Appr. By: M. WALKER

DIAL	W	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	R1	R2	S	C	Slope
12°	2"	4"	2°-3°	2°-10°	4°-14°	4°-14°	20°	4°-10°	4°-10°	4°-10°	4°-10°	13°	10°	9°	4°	2°	10°	3-1						
15°	2 1/4"	6"	2°-3°	3°-16°	4°-12°	4°-2°	24°	4°-10°	4°-10°	4°-10°	4°-10°	16°	12°	11°	4°	2°	12°	3-1						
18°	2 1/2"	9"	2°-3°	3°-16°	4°-10°	4°-2°	28°	4°-10°	4°-10°	4°-10°	4°-10°	18°	15°	17°	4°	2°	14°	3-1						
21°	2 3/4"	9"	3°-11°	3°-2°	3°-2°	3°-2°	32°	3°-4°	3°-4°	3°-4°	3°-4°	22°	18°	13°	4°	3°	16°	3-1						
24°	3"	9 1/2"	2°-12°	2°-6°	6°-1°	4°-1°	36°	3°-4°	3°-4°	3°-4°	3°-4°	24°	20°	14°	4°	3°	18°	3-1						

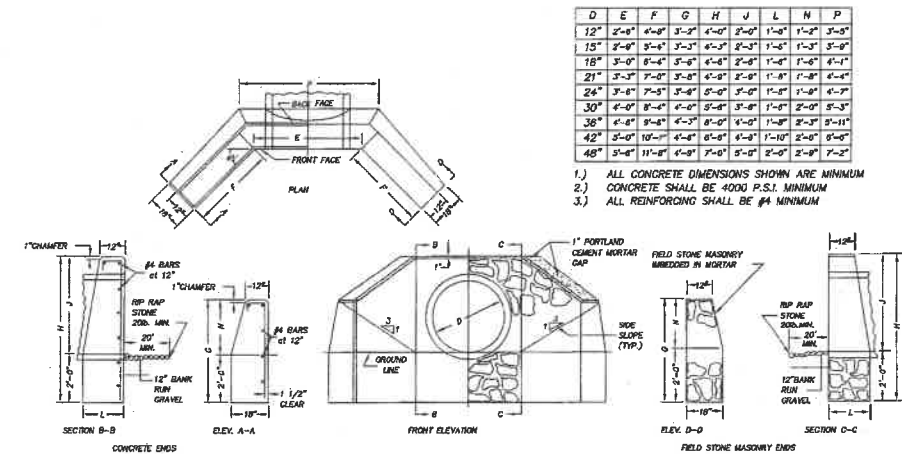
R.C.P. FLARED END SECTION DETAILS
E206.8.0 NOT TO SCALE



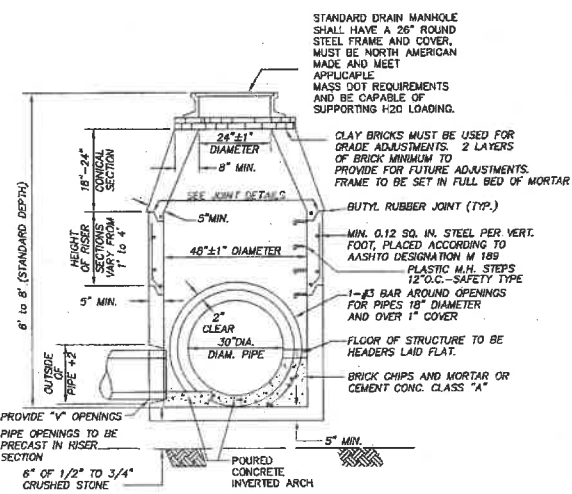
GUTTER INLET DETAIL
NOT TO SCALE



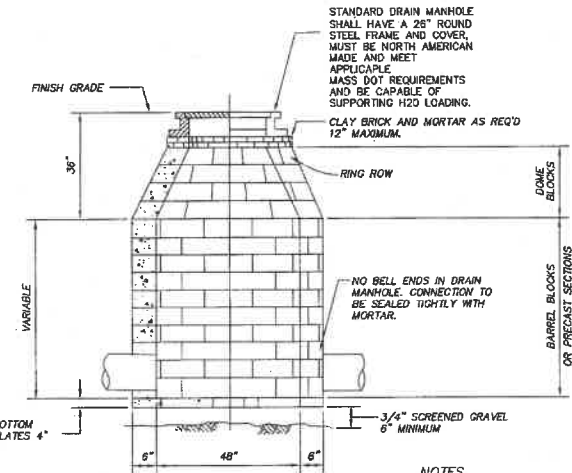
**PRECAST STRUCTURE
JOINT DETAILS**
NOT TO SCALE



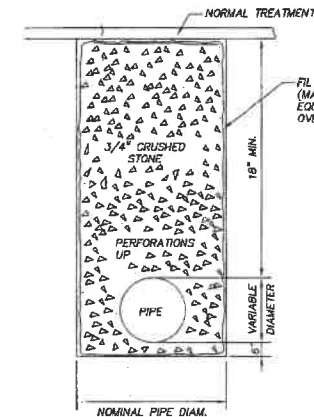
CONCRETE AND FIELD STONE MASONRY HEADWALL / WINGWALL DETAILS



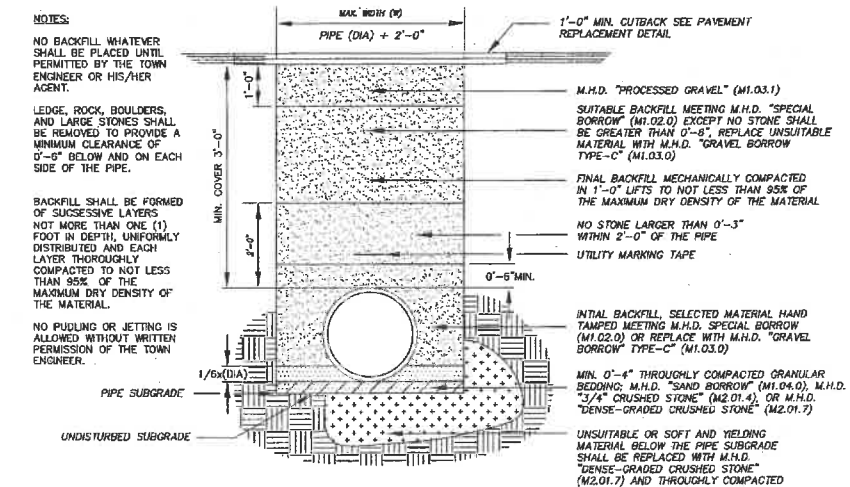
PRECAST CONCRETE MANHOLE DETAILS
E202.4.0 NOT TO SCALE



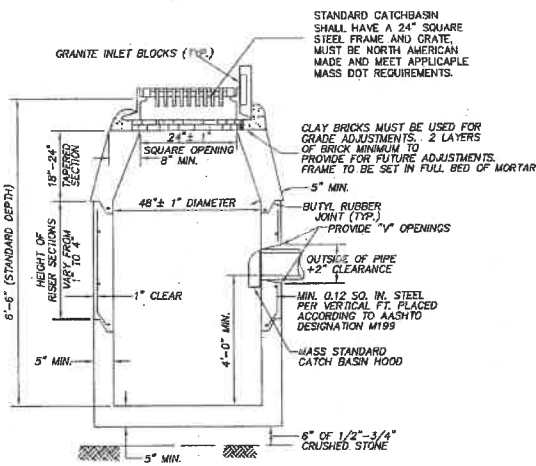
BLOCK DRAIN MANHOLE DETAILS
NOT TO SCALE



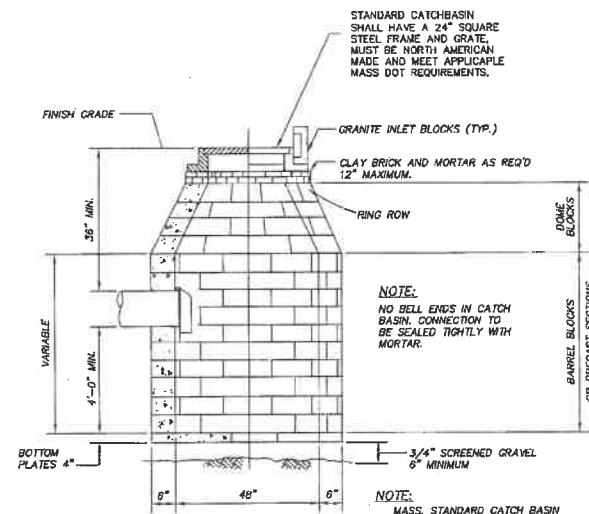
SUBDRAIN DETAIL
NOT TO SCALE



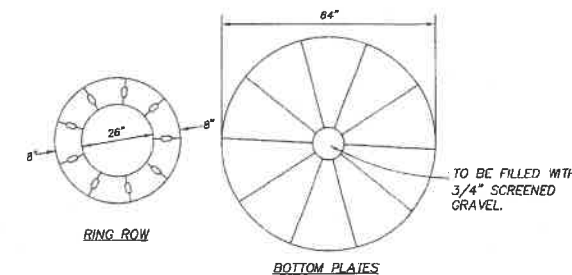
TYPICAL DRAIN TRENCH DETAIL
NOT TO SCALE



PRECAST CONCRETE CATCH BASIN DETAILS
NOT TO SCALE



BLOCK CATCH BASIN DETAILS
NOT TO SCALE



BLOCK CATCH BASIN & MANHOLE BOTTOM DETAILS
NOT TO SCALE

AMENDED SITE DEVELOPMENT SUBDIVISION PLAN
A COMPREHENSIVE PERMIT M.G.L.c. 40B
"UNION SQUARE VILLAGE"
WALPOLE, MASSACHUSETTS

APPLICANT:
WALL STREET DEVELOPMENT CORP.
P.O. BOX 272
WESTWOOD, MA 02090

SHEET: 11 of 13



Town of Walpole

Date:	3-28-19
Scale:	AS SHOWN
Drawn By:	R. ROSA
Checked By:	C. JOHNSON
Appr. By:	M. WALKER

[illegible]

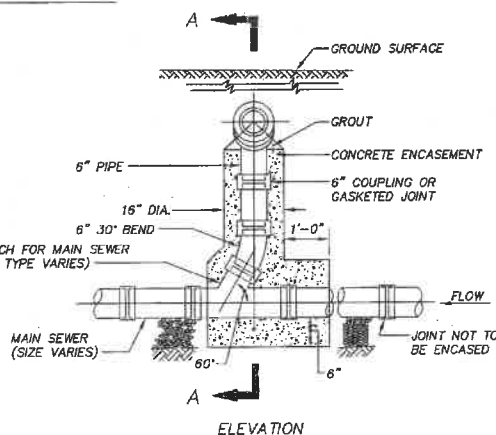
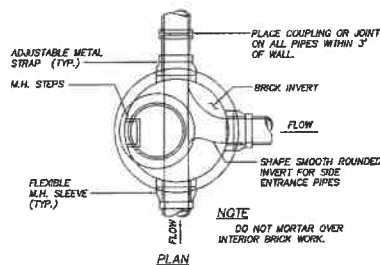
TOWN OF WALPOLE, MASSACHUSETTS
DEPARTMENT OF PUBLIC WORKS
PLAN SHOWING TYPICAL
DRAINAGE CONSTRUCTION DETAILS

DETAIL SHEET NOTE:

1. ALL DETAILS ARE SUBJECT TO CHANGE WITHOUT NOTICE. CHECK WITH THE TOWN OF WALPOLE PRIOR TO USING THESE DETAILS FOR THE MOST UP TO DATE REVISIONS.
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TYPICAL PRECAST CONCRETE SEWER MANHOLE DETAILS
NOT TO SCALE

TYPICAL INSIDE DROP INLET MANHOLE DETAILS
NOT TO SCALE



TYPICAL HOUSE SERVICE CONNECTION & CHIMNEY DETAIL
(FOR MAIN SEWER OVER 8'-0" DEEP)
NOT TO SCALE

Diagram illustrating a typical outside drop inlet manhole detail. The diagram shows a cross-section of the manhole structure, including the inlet pipe, riser pipe, and manhole body. Key components and dimensions are labeled:

- PLACE COUPLING OR JOINT ON PIPE WITHIN 3' OF WYE BRANCH
- WYE BRANCH
- FLEXIBLE SLEEVE AND / OR GASKET
- CLAY BRICK INVERT TO PIPE
- UNDISTURBED MATERIAL
- TYPICAL PRECAST CONCRETE MANHOLE
- 30° BEND
- 6" MIN. CONC. ENCASEMENT CLASS 2000
- RISER PIPE
- 90° BEND
- FLEXIBLE SLEEVE AND/OR GASKET
- 1/2" - 3/4" GRUSHED STONE BEDDING
- DETAIL NOT USED

TYPICAL OUTSIDE DROP INLET MANHOLE DETAILS

NOT TO SCALE

The diagram illustrates the installation of a Y-branch into an existing pipe. The top portion is a plan view showing a vertical pipe with a horizontal Y-branch. A dimension line at the top indicates the length of the branch as directed or specified. Arrows labeled 'B' indicate the branch can be bent or rotated as required. The end of the branch is capped with an 'END PLUG'. A label 'Y-BRANCH - AS REQUIRED' points to the branch connection. The bottom portion is a cross-section labeled 'SECTION B-B', showing the Y-branch embedded in a trench. The trench is filled with '1/2"-3/4" COMPACTED CRUSHED STONE' around the branch. The area above the stone is labeled 'SELECTED MATERIAL COMPACTED THOROUGHLY'. A '4" MINIMUM' dimension is shown for the depth of the stone bed. The existing pipe is labeled 'UNDISTURBED MATERIAL'. A 'FLOW' arrow points downwards in the main vertical pipe.

LENGTH AS DIRECTED OR SPECIFIED

B

B

END PLUG

BEND OR ROTATE, AS REQUIRED.

Y-BRANCH - AS REQUIRED

PLAN

SECTION B-B

SELECTED MATERIAL COMPACTED THOROUGHLY

1/2"-3/4" COMPACTED CRUSHED STONE

UNDISTURBED MATERIAL

4" MINIMUM

FLOW

GROUND SURFACE

HOUSE CONNECTION MARKER (TYP.)

4'-0" MIN.

FLOW

6"

EDGE OF PAVEMENT OR CURBLINE

6" END PLUG

6" END PLUG FLOW

1/2"-3/4" CRUSHED STONE (SEE TYPICAL TRENCH DETAIL)

6" PIPE (SEE NOTE 2)

6"- 30" BEND

6"- DOUBLE WYE (SEE NOTE 1)

CONC. CHIMNEY ENCASUREMENT

6" PIPE PLUG

6" PIPE

SECTION A-A

STREETLINE OR R.O.W.

NOTES

- USE 6" PIPE WYE FOR SINGLE HOUSE CONNECTION.
- MIN. SLOPE FOR HOUSE SERVICES = 1/4" PER FT.

PLAN

NOTE
FOR USE WHERE SHALLOW
INSTALLATION DOES NOT
PERMIT THE USE OF A CONE
MORTAR INSTALLATION OR A REINFORCED

SECTION B-B

STANDARD SEWER MANHOLE SHALL HAVE A 24" ROUND STEEL FRAME AND COVER, MUST BE NORTH AMERICAN MADE AND MUST READ "SEWER".

6" 24" DIA. 6" BERM IN UNDEVELOPED LOCATION

MORTAR GROUT

EXISTING GRADE

PRECAST MANHOLE FLAT SLAB TOP, MIN. THICKNESS TO BE 6"

PRECAST MANHOLE RISER SECTIONS 2', 3' OR 4' LONG

12" O.C.

PLASTIC M.H. STEPS

ADJUST TO GRADE WITH COURSES OF CLAY BRICK

PRECAST MANHOLE FLAT SLAB TOP

5/8" BARS

FLAT TOP SECTION
NOT TO SCALE

STANDARD SEWER MANHOLE SHALL HAVE A 24" ROUNDED STEEL FRAME AND COVER AND MUST BE NORTH AMERICAN MADE.

EXTRA HEAVY C.I. INLET FROM WASH STAND OR FLOOR DRAIN

WROUGHT IRON STEPS.

8" POURED IN PLACE CONCRETE: 8" SOLID CONCRETE BLOCKS W/ FULL MORTARED JOINTS; PLASTERED INSIDE AND OUTSIDE OR APPROVED PRE-CAST SECTIONS.

8" PORTLAND CONCRETE OR APPROVED EQUAL PRE-CAST BASE.

GRADE

24"

18"

4" VENT TO ROOF

2" MAX.

1/8" LONG BEND C.I. LINE

4" VENT TO ROOF

18"

3'-0"

C.I. TEE

OUTLET TO SANITARY SEWER

EXTRA HEAVY C.I. PIPE

12"

A

B (MIN.)

D (MIN.)

NOTES

1. BASIN TO BE FILLED W/ CLEAN WATER BEFORE USING AND AFTER BEING SHUT FOR PERIODIC CLEANING
2. ALL OIL AND GASOLINE MUST BE REMOVED BEFORE CLEANING AND MUST NOT BE DISCHARGED INTO SEWER SYSTEM.
3. BASIN AND APPURTENANCES MUST MEET M.D.C. AND TOWN OF WALPOLE PLUMBING INSPECTOR APPROVAL.

INLET	D	A	B
4"	4'-0"	2'-3"	1'-11"
	3'-6"	3'-0"	4'-0"
5"	5'-6"x3'-6"	4'-0"	3'-0"
	4'-0"	3'-6"	3'-0"
	4'-0"x6'-0"	3'-0"	2'-6"
	4'-6"	3'-0"	2'-6"
6"	4'-0"	5'-0"	4'-6"
	4'-0"	4'-0"	3'-6"
	4'-6"	4'-0"	3'-6"
	4'-6"x4'-6"	4'-0"	3'-0"
	5'-0"x5'-0"	3'-6"	2'-6"
8"	5'-0"	4'-6"	5'-0"
	5'-6"x5'-8"	4'-6"	4'-0"
	6'-0"	4'-6"	4'-0"
	4'-0"x6'-0"	3'-0"	2'-6"
	8'-6"	3'-6"	3'-0"
	8'-6"x6'-6"	3'-0"	2'-6"

NOTE: FOR INLETS LARGER THAN 8", THE DESIGN AND DIMENSIONS WILL BE DETERMINED FOR EACH PARTICULAR CASE.

CIRCULAR BASINS ARE RECOMMENDED.

SECTION UNDER GRASS

SECTION UNDER PAVEMENT

OMIT TOPSOIL WHERE NO GRASS OCCURS, USE 6" SELECT GRAVEL

1" TOPSOIL

6" GRAVEL BORROW

RESURFACING AS REQUIRED

12" SELECT GRAVEL

VARIES

COMPACTED BACKFILL (EXCAVATED MATERIAL OR BORROW AS SPECIFIED)

PIPE DIA. + 2'-0" MAX.
(AT TOP OF PIPE)

6" MIN

6" MIN

6" MIN

6"

1/2" - 3/4" CRUSHED STONE

THOROUGHLY COMPACTED WITH RAM OR PNEUMATIC TAMPER

SHEETING AS REQUIRED

1. SEWER SERVICES SHALL BE LAID AT LEAST 10'-0" HORIZONTALLY FROM WATER LINES AND SERVICES OR FOLLOW THE DEP 2001 GUIDELINES AND POLICIES DUE PUBLIC WATER SYSTEMS' REGARDING VERTICAL SEPARATION. WATER PIPE CROSSINGS MUST PROVIDE A 0'-10" VERTICAL SEPARATION AND FOLLOW DEP 2001 GUIDELINES AND POLICIES FOR PUBLIC WATER SYSTEMS".
2. NO BACKFILL WHAT-SO-EVER SHALL BE PLACED UNTIL PERMITTED BY THE TOWN ENGINEER OR HIS/HER AGENT.
3. MAXIMUM TRENCH WIDTH SHALL BE THE PIPE DIAMETER PLUS 2'-0".
4. LEDGE, ROCK, Boulders and LARGE STONES SHALL BE REMOVED TO PROVIDE A MINIMUM CLEARANCE OF 0'-6" BELOW AND ON EACH SIDE OF THE PIPE.
5. SEWER SERVICES SHALL BE BEDDED ON A MINIMUM OF 0'-4" THOROUGHLY COMPACTED GRANULAR BEDDING CONSISTING OF 3/4" CRUSHED STONE M.H.D. (M2.01.4).
6. SEWER SERVICES SHALL HAVE A MINIMUM DIAMETER OF 0'-6" AND A MINIMUM SLOPE OF 2.0% (FT/FT).
7. THE SIDES OF THE SERVICES SHALL BE BACKFILLED AND HAND TAMPED. INITIAL BACKFILL MATERIAL SHALL CONTAIN NO STONES LARGER THAN 0'-3".
8. DEBRIS, FROZEN MATERIAL, LARGE CLOUDS OR STONES, ORGANIC MATTER, OR OTHER MATERIAL DEEMED UNSUITABLE BY THE ENGINEER SHALL NOT BE USED AS BACKFILL WITHIN TWO (2) FEET OF THE PIPE.
9. SEWER SERVICES SHALL HAVE A MINIMUM COVER OF 4'-0" FROM THE TOP OF THE PIPE. SERVICES UNDER PAVED SURFACES OR SIDEWALKS SHALL BE FORMED OF SUCCESSIVE LAYERS NOT MORE THAN 12 (12) INCHES DEPTH UNEVENLY DISTRIBUTED AND EACH LAYER THOROUGHLY COMPACTED TO NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY OF THE MATERIAL. JACKING IS NOT ALLOWED.
10. NO PUDDLING OR JETTING IS ALLOWED WITHIN THE PUBLIC UTOBUT WITHOUT WRITTEN PERMISSION OF THE TOWN ENGINEER.

FORCE MAIN SPECIFICATIONS

FORCE MAIN SPECIFICATIONS
FOR ≤ 2" COMMON FORCE MAIN C.O. @ 200'

FORCE MAIN SHALL BE MADE OF BLACK OR BLUES HDPE SDR 11 FOR LINES ≤ 2". SINGLE SERVICE LINES SHALL BE 1.5" C.T.S. (COPPER TUBING SIZE).

TRACKER PIPE SHALL BE 10GA SOLID COPPER.

USE OF REDUNDANT SWING CHECK VALVES REQUIRED. BALL CHECK VALVES SHALL BE PROHIBITED.

ALL FITTINGS SHALL BE MADE OF STAINLESS STEEL.

CORROSION OR COMMON USE MAINS SHALL BE REQUIRED.

APPROVED BY
ZONING BOARD OF APPEALS
IN THE CAPACITY AS PLANNING BOARD
UNDER M.G.L. c 40B

DATE APPROVED: _____

DATE ENDORSED: _____

I TOWN CLERK OF THE TOWN OF WALPOLE
RECEIVED & RECORDED FROM THE ZONING
BOARD OF APPEALS, APPROVAL OF THIS PLAN
AND NO APPEAL HAS BEEN TAKEN FOR TWENTY
DAYS NEXT AFTER RECEIPT AND RECORDING OF
SAME.

TOWN CLERK DATE

APPROVAL _____, SUBJECT TO
A COVENANT CONDITIONS SET FORTH IN A
COVENANT EXECUTED BY _____
DATED _____ AND TO BE
RECORDED HEREWITH.



Town of Walpole

Date:	3-28-19
Scale:	AS SHOWN
Brown By:	R. ROSA
Checked By:	C. JOHNSON
Appr. By:	M. WALKER

[illegible]

TOWN OF WALPOLE, MASSACHUSETTS
DEPARTMENT OF PUBLIC WORKS
PLAN SHOWING TYPICAL
SEWERAGE CONSTRUCTION DETAILS

TYPICAL SEWER TRENCH DETAIL
NOT TO SCALE

DETAIL SHEET NOTE:
1. ALL DETAILS ARE SUBJECT TO CHANGE WITHOUT NOTICE. CHECK WITH THE TOWN OF WALPOLE PRIOR TO USING THESE DETAILS FOR THE MOST UP TO DATE REVISIONS.
2. IT IS THE DESIGNERS SOLE RESPONSIBILITY TO DETERMINE THE SUITABILITY OF A PARTICULAR DETAIL.

AMENDED SITE DEVELOPMENT SUBDIVISION PLAN
A COMPREHENSIVE PERMIT M.G.L.c. 40B
"UNION SQUARE VILLAGE"
WALPOLE, MASSACHUSETTS

APPLICANT:
WALL STREET DEVELOPMENT CORP.
P.O. BOX 272
WESTWOOD, MA 02090 S

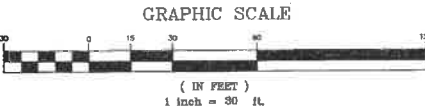
SHEET: 12 of 13

Proposed 25' Buffer Zone Restoration Area Protocol

- (9,200 ± sf)
1. All metal and other solid waste debris will be removed from the area and properly disposed off-site;
 2. The area will be graded to a stable slope;
 3. The area will be covered with a minimum of 6 inches of high quality topsoil;
 4. The area will be planted with native shrubs, minimum 1 gallon, container grown, as shown. Plant species will be from the following list (or other species as approved by WCC Staff prior to installation):
 - Highbush Blueberry *Vaccinium corymbosum*
 - Witch Hazel *Hamamelis virginiana*
 - Hazelnut *Corylus americana*
 - Maple-leaved viburnum *Viburnum acerifolium*
 - Flowering dogwood *Cornus florida*
 - Serviceberry *Amelanchier canadensis*
 5. The area will be planted with New England wetland plants conservation/wildlife mix at 1750 sf/lb or approved substitute; and
 6. The area will be watered as necessary during the first six weeks after planting.

Riverfront Restoration Area (RFA) Protocol

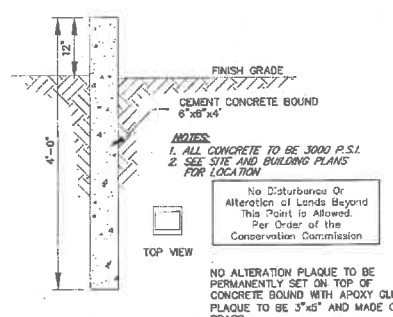
1. Remove and replace surficial degraded soils while retaining the extant trees to the degree feasible.
2. Upon removal of surficial soils, clean topsoil will be placed and spread with maximal care to minimize root damage and compression. A small rubber track vehicle will be used, with hand raking to finish the soil addition.
3. Disperse the area with approximately six (6) inches of clean, native leaf litter, either freshly gathered or moderately composted, to mimic the forest floor cover among the extant trees.



PLANTING LEGEND

- - Highbush Blueberry *Vaccinium corymbosum*
- - Witch Hazel *Hamamelis virginiana*
- - Hazelnut *Corylus americana*
- - Maple-leaved viburnum *Viburnum acerifolium*
- - Flowering dogwood *Cornus florida*
- - Serviceberry *Amelanchier canadensis*

Note:
Shrubs will be planted in clusters of three (3) specimens of the same species at the locations shown, with minor deviations due to site conditions.



PROPOSED SCREENING
6' HIGH WOOD
PRIVACY FENCE

PROPOSED SCREENING/PLANTING
BUFFER PLANTS:
6'-8' Hgt. White Pines (*Pinus Stobus*)
6'-8' Hgt. Norway Spruce (*Picea Abies*)
Plant 2 Rows staggered at 10' O.C.

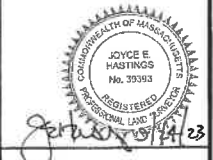
CONSTRUCTION SEQUENCE (RIVERFRONT AREA)

1. Stake limit of work, install erosion control barriers.
2. Cut trees, clear and grub
3. Install sewer line
 - Trench excavation, stockpile material adjacent trench. Use trench box to stabilize trench.
 - Backfill trench
4. Waterline installation
 - Trench excavation, stockpile material adjacent to trench away from river.
 - Backfill trench

TOWN CLERK OF THE TOWN OF WALPOLE
RECEIVED & RECORDED FROM THE ZONING BOARD OF APPEALS. APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

TOWN CLERK _____ DATE _____

REVISIONS		DESCRIPTION
No.	DATE	
1	05/21/20	DRAINAGE SYSTEM
2	10/22/20	CONSERVATION COMMENTS
3	02/23/22	ZBA COMMENTS, REDUCE TO 38 UNITS
4	05/05/22	20 LOT RESIDENTIAL SUBDIVISION
5	10/20/22	REVISED RIVERFRONT DISTURBANCE
6	03/14/23	REVISED PER ZBA REVIEW COMMENTS
7	05/02/23	REVISED PER ZBA REVIEW COMMENTS
8	09/14/23	REVISED PER ZBA DECISION



AMENDED SITE DEVELOPMENT SUBDIVISION PLAN
A COMPREHENSIVE PERMIT M.G.L.C. 40B
"UNION SQUARE VILLAGE"
WALPOLE, MASSACHUSETTS

APPLICANT:
WALL STREET DEVELOPMENT CORP.
P.O. BOX 272
WESTWOOD, MA 02090

GLM Engineering Consultants, Inc.
19 EXCHANGE STREET
HOLLISTON, MA 01746
P: 508-429-1100
F: 508-429-7160
www.GLMengineering.com

JOB No.	15,588
DATE:	APRIL 21, 2020
SCALE:	1" = 30'
SHEET:	SUP-C
PLAN #:	27,096

RESTORATION AND PLANTING DETAILS