

# AMENDED SITE DEVELOPMENT PLAN

## A COMPREHENSIVE PERMIT M.G.L. c. 40B

### "THE RESIDENCES AT BURNS AVENUE"

#### WALPOLE, MASSACHUSETTS

DATE: APRIL 21, 2020

Revised: May 21, 2020

October 22, 2020

February 23, 2022

**ASSESSOR'S REFERENCE:**  
 MAP 20, PARCEL 119  
 MAP 20, PARCEL 136  
 MAP 20, PARCEL 137  
 MAP 20, PARCEL 115

**PLAN REFERENCE:**  
 PLAN No. 959 OF 1980, BK. 5808, PG. 530  
 PLAN No. 1520 OF 1987, BK. 362  
 PLAN No. 990 OF 1954, BK 3279, PG 340

**ZONING CLASSIFICATION:**  
 GENERAL RESIDENCE - GR  
 FRONTAGE: 100 FT.  
**SETBACKS:**  
 FRONT: 30'  
 SIDE: 10'  
 REAR: 30'

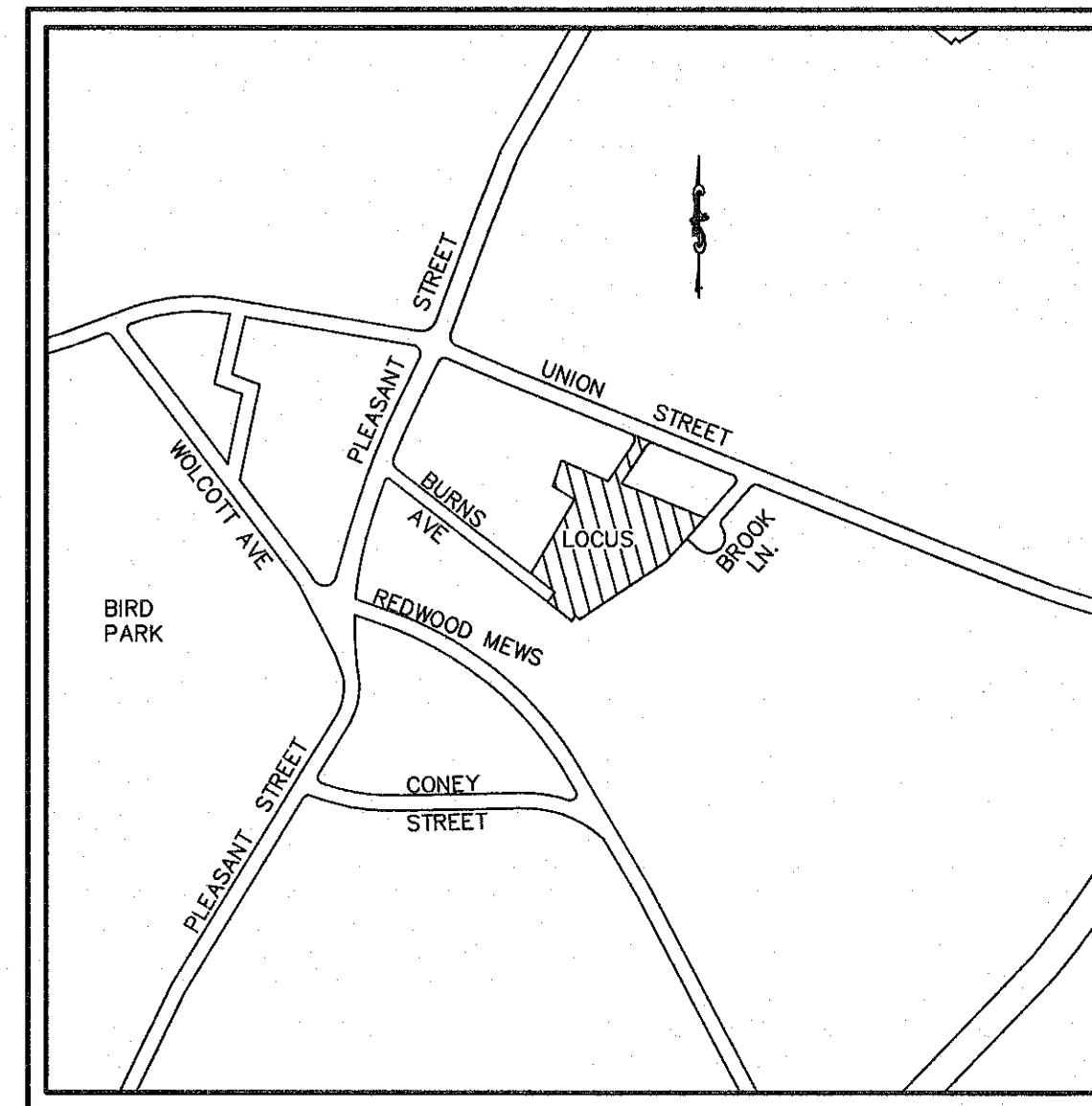
**OWNERS OF RECORD:**

1. MAP 20, PARCEL 119  
 DEED REF: BK. 34158, PG. 536  
 WALL STREET DEV. CORP.  
 P.O. BOX 272  
 WESTWOOD, MA 02090
2. MAP 20, PARCEL 136  
 DEED REF: BK. 38797, PG. 372  
 WALL STREET DEV. CORP.  
 P.O. BOX 272  
 WESTWOOD, MA 02090
3. MAP 20, PARCEL 137  
 DEED REF: BK. 35653, PG. 276  
 BURNS AVENUE DEVELOPMENT LLC  
 2 WARTHIN CIRCLE  
 NORWOOD, MA 02062
4. MAP 20, PARCEL 115  
 DEED REF: BK. 25238, PG. 585  
 BRIAN MARTIN  
 7 BROOK LANE  
 WALPOLE, MA 02081

ZONING TABLE:		
	REQUIRED	PROPOSED
LOT AREA:		157,373 S.F.
UPLAND AREA:	(60%)	156,143 SF(99.2%)
LOT FRONTAGE:	100 FT.	100.00 FT. (Burns Ave.) 110.43 FT. (Brook Lane)
YARD SETBACKS:		
FRONT:	30 FT.	22.0 FT.
SIDE:	10 FT.	13.0 FT.
REAR:	30 FT.	40.2 FT.
LOT COVERAGE	30 %	22.6 %
STRUCTURES:	(47,211 sf)	(35,567 sf)
LOT COVERAGE	50 %	39.1 %
IMPERVIOUS:	(78,686 sf)	(61,547 sf)
MAX BLDG HEIGHT:	35 FT.	35 FT.
MAX STORIES	2.5	2.5

**DWELLING UNITS ALLOWED:**  
 Zoning: 30,000 s.f. (Three Family, 10,000 sf. each additional unit)  
 157,373 s.f.: 15 UNITS

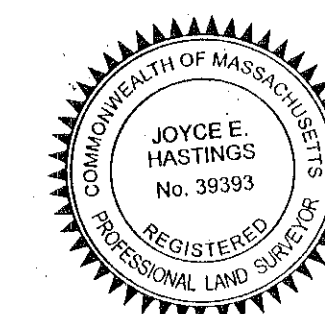
PROPOSED UNITS: 38 UNITS



LOCUS MAP  
1"=600'

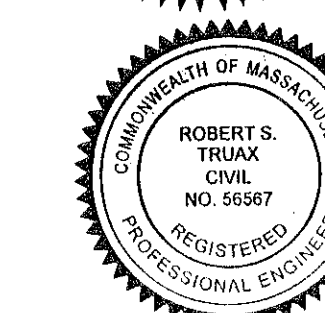
Prepared By:  
**GLM ENGINEERING**  
 CONSULTANTS, INC.  
 19 EXCHANGE STREET  
 HOLLISTON, MASSACHUSETTS 01746  
 (508)429-1100 fax:(508)429-7160

**Applicant:**  
 WALL STREET DEVELOPMENT CORP.  
 P.O. BOX 272  
 WESTWOOD, MASSACHUSETTS 02090



*Joyde E. Hastings*  
 JOYDE E. HASTINGS P.L.S.

2/23/22  
 DATE



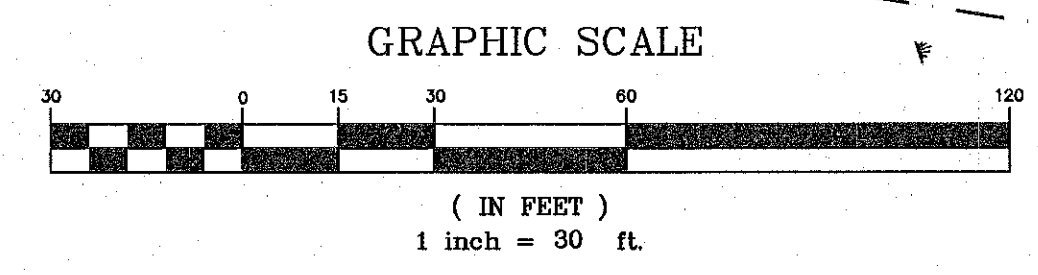
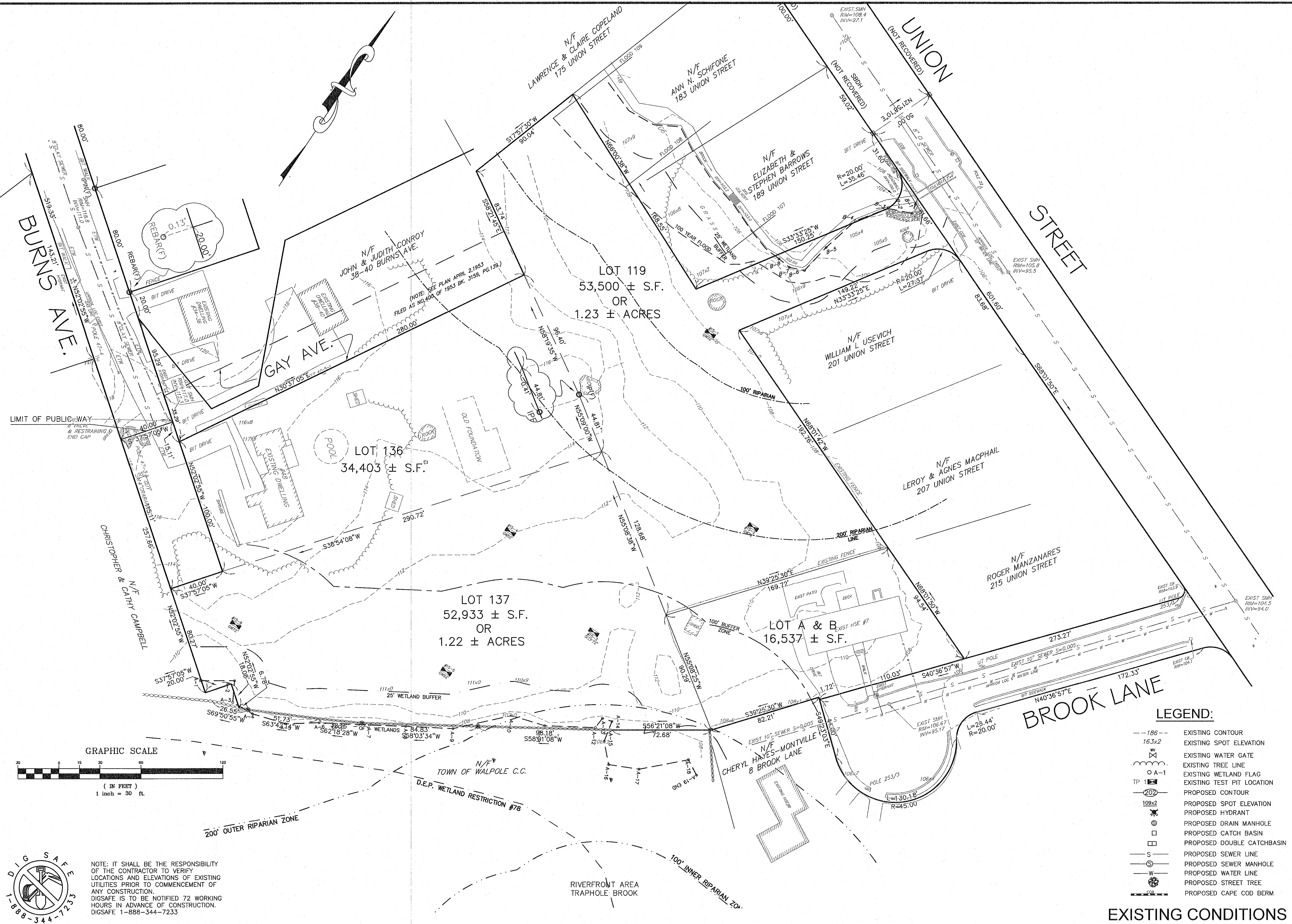
*Robert S. Truax*  
 ROBERT S. TRUAX, P.E.

4/23/22  
 DATE

SHEET INDEX

- |       |                                |
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| 2     | EXISTING CONDITIONS            |
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| 4     | GRADING, DRAINAGE & UTILITIES  |
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| SUP-B | RIVERFRONT AREA DISTURBANCE    |
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JOB No.	15588
SCALE:	AS NOTED
DATE:	APRIL 21, 2020
SHEET No.	1 of 12



**DIGSAFE**  
1-888-344-7233

NOTE: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. DIGSAFE IS TO BE NOTIFIED 72 WORKING HOURS IN ADVANCE OF CONSTRUCTION. DIGSAFE 1-888-344-7233

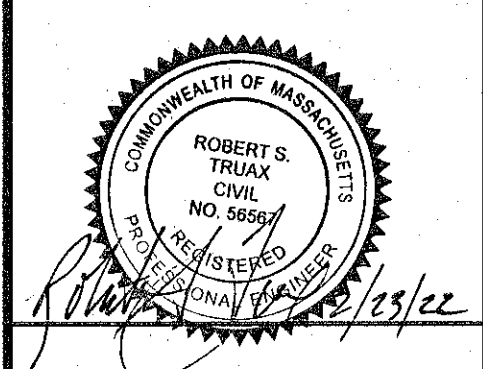
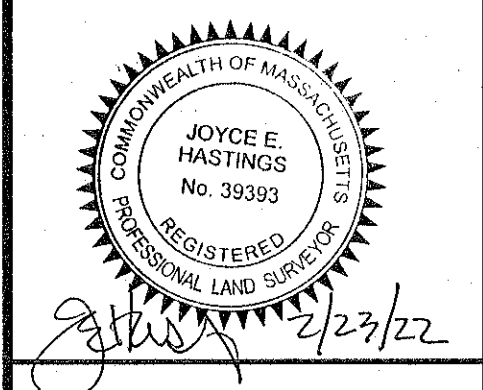
**LEGEND:**

---	EXISTING CONTOUR
16.3x2	EXISTING SPOT ELEVATION
W	EXISTING WATER GATE
○ A-1	EXISTING TREE LINE
TP 1	EXISTING WETLAND FLAG
○	EXISTING TEST PIT LOCATION
---	PROPOSED CONTOUR
109x2	PROPOSED SPOT ELEVATION
⊕	PROPOSED HYDRANT
⊙	PROPOSED DRAIN MANHOLE
⊞	PROPOSED CATCH BASIN
⊞	PROPOSED DOUBLE CATCHBASIN
—S—	PROPOSED SEWER LINE
—S—	PROPOSED SEWER MANHOLE
—W—	PROPOSED WATER LINE
—T—	PROPOSED STREET TREE
⊙	PROPOSED CAPE COD BERM

**EXISTING CONDITIONS**

**REVISIONS**

No.	DATE	DESCRIPTION
1	05/21/20	DRAINAGE SYSTEM
2	10/22/20	CONSERVATION COMMENTS
3	02/23/22	ZBA COMMENTS - REDUCE TO 38 UNITS



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HOLLISTON, MA 01746  
P: 508-429-1100  
F: 508-429-7160  
www.GLMengineering.com

DRW.:	RST
JOB No.	15,588
DATE:	APRIL 21, 2020
SCALE:	1" = 30'
SHEET:	2 of 12
PLAN #:	27,096

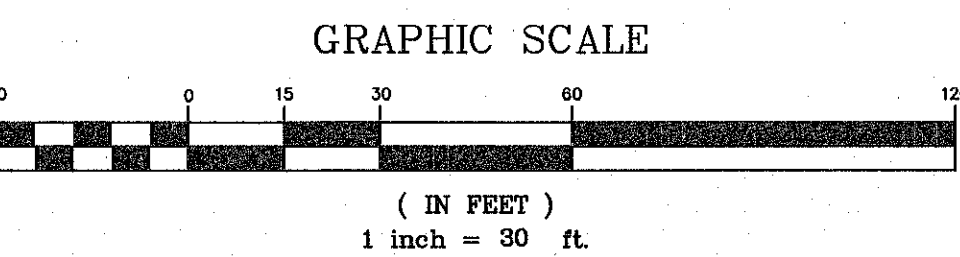


ASSESSOR'S REFERENCE:  
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 MAP 20, PARCEL 136  
 MAP 20, PARCEL 137

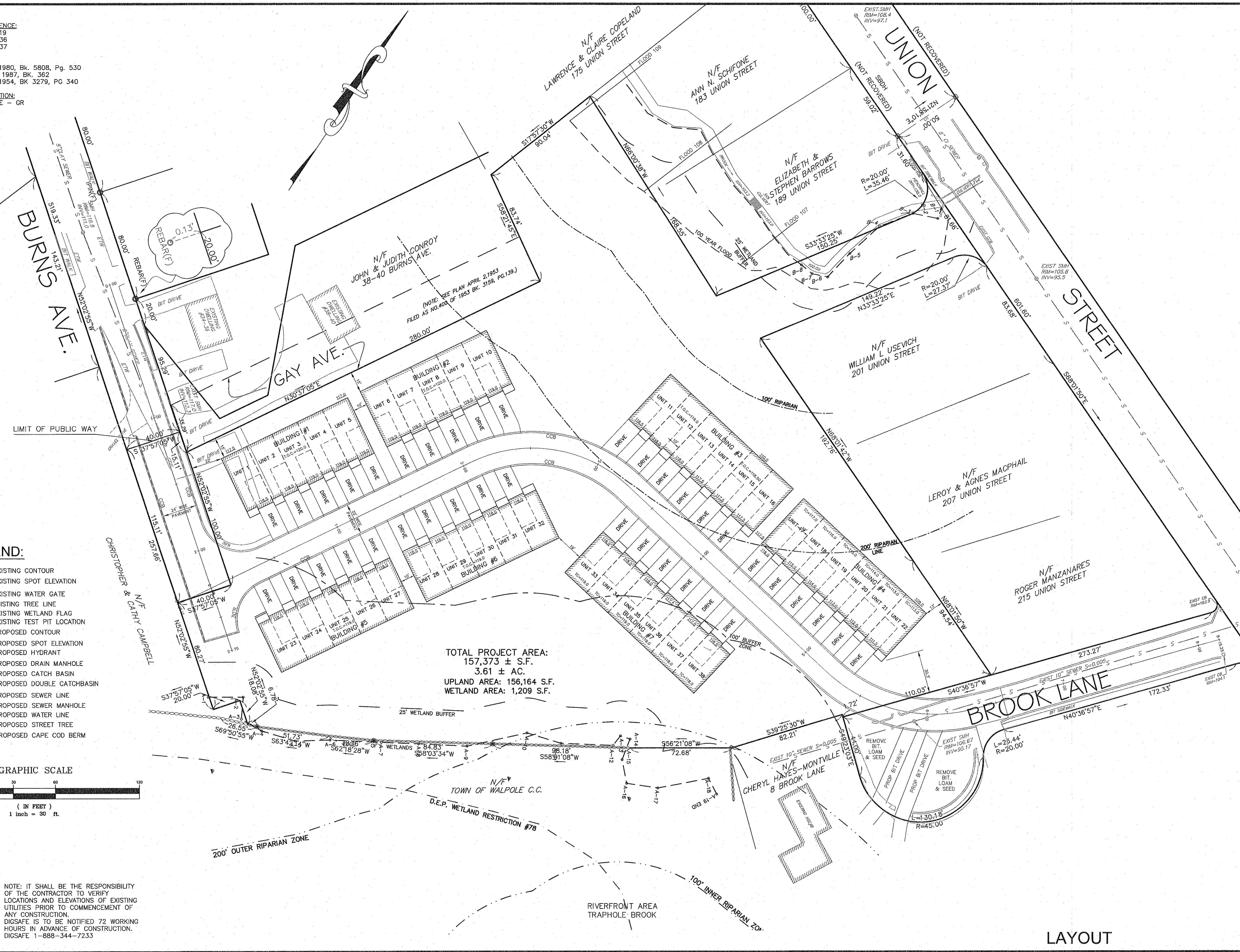
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ZONING CLASSIFICATION:  
 GENERAL RESIDENCE - GR  
 FRONTAGE: 100 FT.  
 SETBACKS:  
 FRONT: 30'  
 SIDE: 10'  
 REAR: 30'

- LEGEND:**
- 186--- EXISTING CONTOUR
  - 163x2 EXISTING SPOT ELEVATION
  - EXISTING WATER GATE
  - EXISTING TREE LINE
  - A-1 EXISTING WETLAND FLAG
  - TP EXISTING TEST PIT LOCATION
  - 202 PROPOSED CONTOUR
  - 109x2 PROPOSED SPOT ELEVATION
  - PROPOSED HYDRANT
  - PROPOSED DRAIN MANHOLE
  - PROPOSED CATCH BASIN
  - PROPOSED DOUBLE CATCHBASIN
  - S PROPOSED SEWER LINE
  - PROPOSED SEWER MANHOLE
  - W PROPOSED WATER LINE
  - PROPOSED STREET TREE
  - PROPOSED CAPE COD BERM



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TOTAL PROJECT AREA:  
 157,373 ± S.F.  
 3.61 ± AC.  
 UPLAND AREA: 156,164 S.F.  
 WETLAND AREA: 1,209 S.F.

REVISIONS	DATE	DESCRIPTION
No. 1	05/21/20	DRAINAGE SYSTEM
2	10/22/20	CONSERVATION COMMENTS
3	02/23/22	ZBA COMMENTS, REDUCE TO 38 UNITS

JOYCE E. HASTINGS  
 REGISTERED PROFESSIONAL LAND SURVEYOR  
 No. 39393  
 2/23/22

ROBERT S. TRUAK  
 REGISTERED PROFESSIONAL ENGINEER  
 No. 56567  
 2/23/22

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SHEET:	3 of 12
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LAYOUT



DEEP HOLE -- 15-1		
HORIZ. DEPTH	DATE: 6/08/16	ELEV.
0"	A SANDY LOAM 10YR3/2	108.0
34"	Bw SANDY LOAM 10YR5/6	105.1
74"	C SANDY LOAM 2.5Y5/4	101.8
34"	GROUNDWATER OBSERVED	105.1
34"	SOIL MOTTLING	105.1
34"	GROUNDWATER MONITORED	105.1
34"	ESTIMATED SEASONAL HIGH GROUNDWATER	105.1

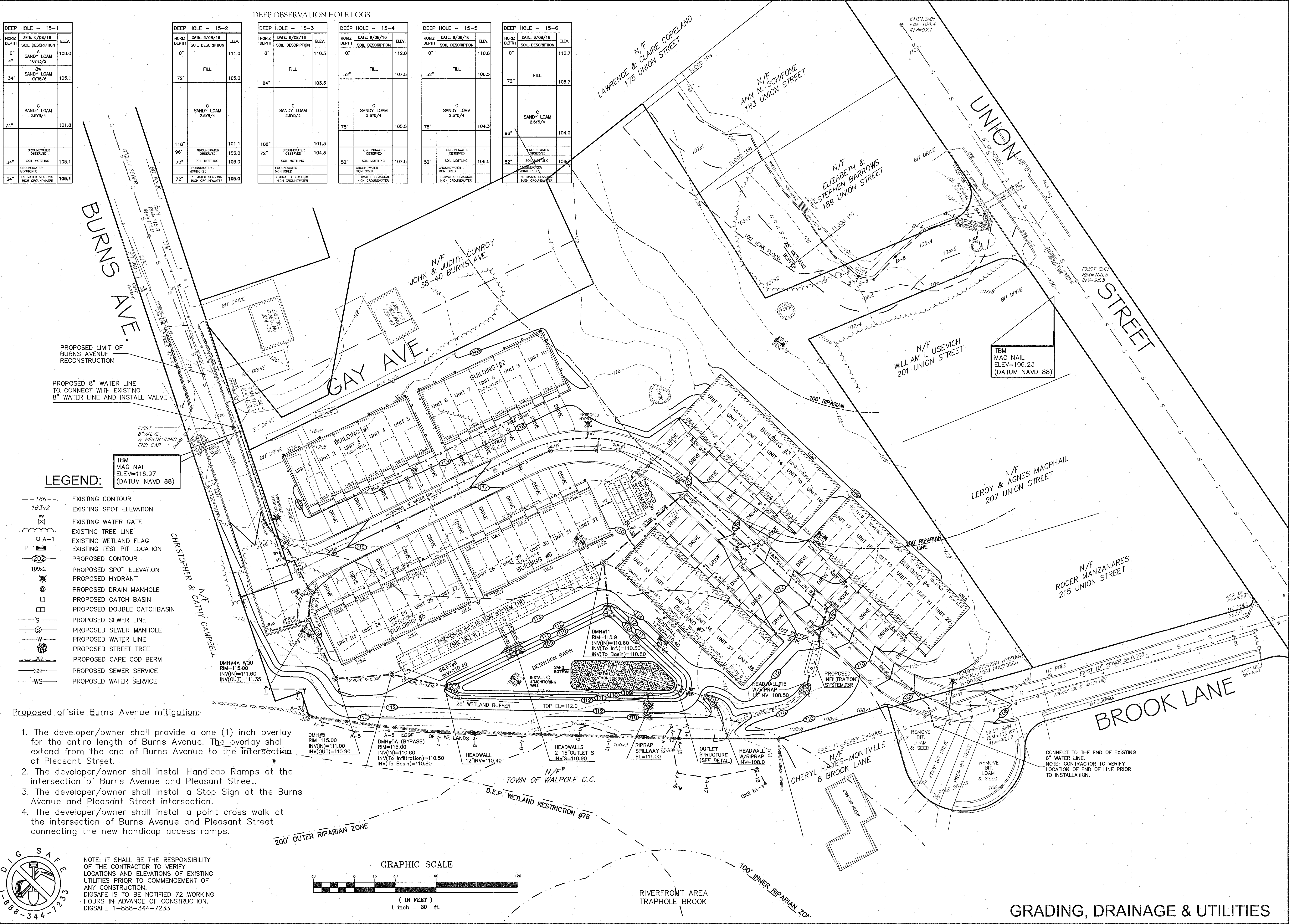
DEEP HOLE -- 15-2		
HORIZ. DEPTH	DATE: 6/08/16	ELEV.
0"	FILL	111.0
72"	FILL	105.0
118"	C SANDY LOAM 2.5Y5/4	101.1
96"	GROUNDWATER OBSERVED	103.0
72"	SOIL MOTTLING	105.0
72"	ESTIMATED SEASONAL HIGH GROUNDWATER	105.0

DEEP HOLE -- 15-3		
HORIZ. DEPTH	DATE: 6/08/16	ELEV.
0"	FILL	110.3
84"	FILL	103.3
108"	C SANDY LOAM 2.5Y5/4	101.3
72"	GROUNDWATER OBSERVED	104.3
72"	SOIL MOTTLING	104.3
72"	ESTIMATED SEASONAL HIGH GROUNDWATER	104.3

DEEP HOLE -- 15-4		
HORIZ. DEPTH	DATE: 6/08/16	ELEV.
0"	FILL	112.0
52"	FILL	107.5
78"	C SANDY LOAM 2.5Y5/4	105.5
52"	GROUNDWATER OBSERVED	107.5
52"	SOIL MOTTLING	107.5
52"	ESTIMATED SEASONAL HIGH GROUNDWATER	107.5

DEEP HOLE -- 15-5		
HORIZ. DEPTH	DATE: 6/08/16	ELEV.
0"	FILL	110.8
52"	FILL	106.5
78"	C SANDY LOAM 2.5Y5/4	104.3
52"	GROUNDWATER OBSERVED	106.5
52"	SOIL MOTTLING	106.5
52"	ESTIMATED SEASONAL HIGH GROUNDWATER	106.5

DEEP HOLE -- 15-6		
HORIZ. DEPTH	DATE: 6/08/16	ELEV.
0"	FILL	112.7
72"	FILL	106.7
96"	C SANDY LOAM 2.5Y5/4	104.0
52"	GROUNDWATER OBSERVED	106.7
52"	SOIL MOTTLING	106.7
52"	ESTIMATED SEASONAL HIGH GROUNDWATER	106.7

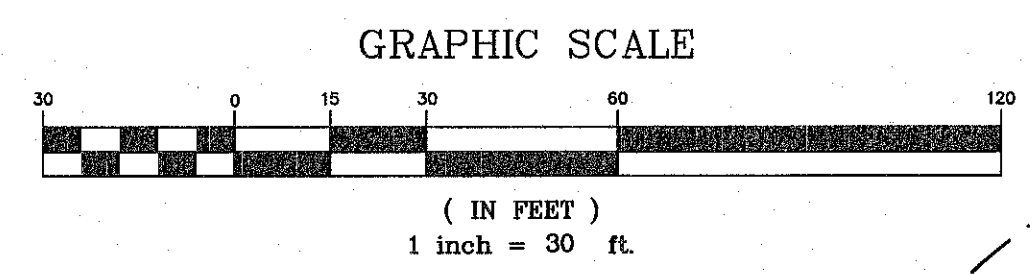


**LEGEND:**  
 TBM MAG NAIL ELEV=116.97 (DATUM NAVD 88)

- 186 --- EXISTING CONTOUR
- 16.3x2 EXISTING SPOT ELEVATION
- EXISTING WATER GATE
- EXISTING TREE LINE
- A-1 EXISTING WETLAND FLAG
- EXISTING TEST PIT LOCATION
- PROPOSED CONTOUR
- 109x2 PROPOSED SPOT ELEVATION
- PROPOSED HYDRANT
- PROPOSED DRAIN MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED DOUBLE CATCHBASIN
- PROPOSED SEWER LINE
- PROPOSED SEWER MANHOLE
- PROPOSED WATER LINE
- PROPOSED STREET TREE
- PROPOSED CAPE COD BERM
- SS PROPOSED SEWER SERVICE
- WS PROPOSED WATER SERVICE

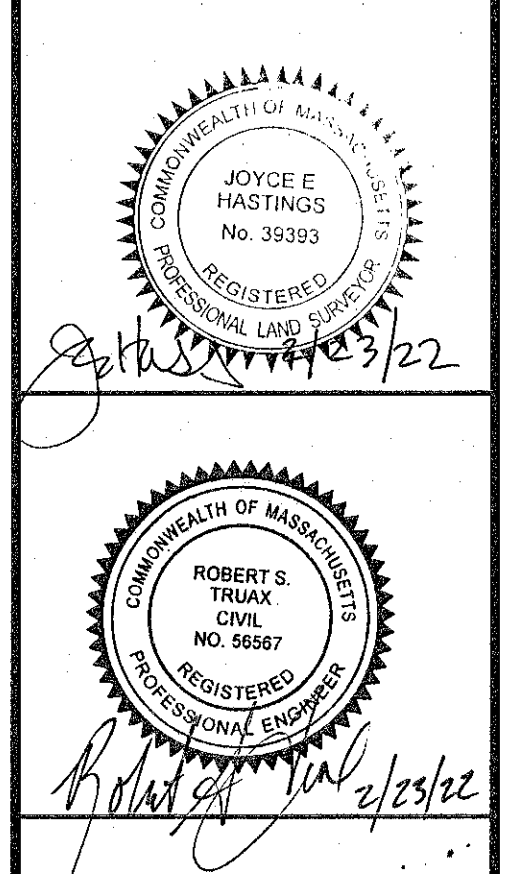
**Proposed offsite Burns Avenue mitigation:**

- The developer/owner shall provide a one (1) inch overlay for the entire length of Burns Avenue. The overlay shall extend from the end of Burns Avenue to the intersection of Pleasant Street.
- The developer/owner shall install Handicap Ramps at the intersection of Burns Avenue and Pleasant Street.
- The developer/owner shall install a Stop Sign at the Burns Avenue and Pleasant Street intersection.
- The developer/owner shall install a point cross walk at the intersection of Burns Avenue and Pleasant Street connecting the new handicap access ramps.



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No.	DATE	DESCRIPTION
1	05/21/20	DRAINAGE SYSTEM
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3	02/23/22	ZBA COMMENTS - REDUCE TO 38 UNITS



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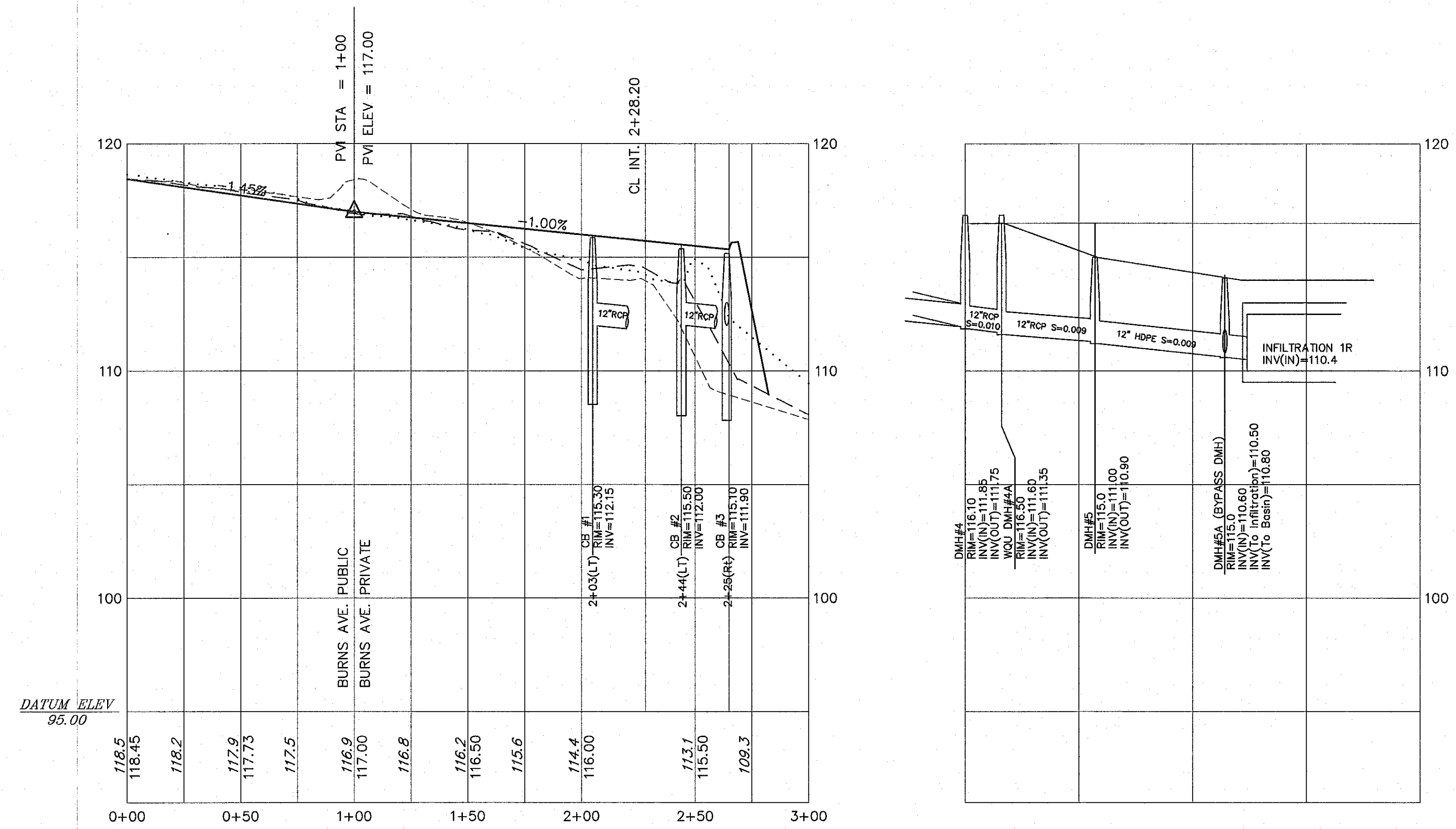
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DRW.:	rst
JOB No.	15,588
DATE:	APRIL 21, 2020
SCALE:	1" = 30'
SHEET:	4 of 12
PLAN #:	27,096

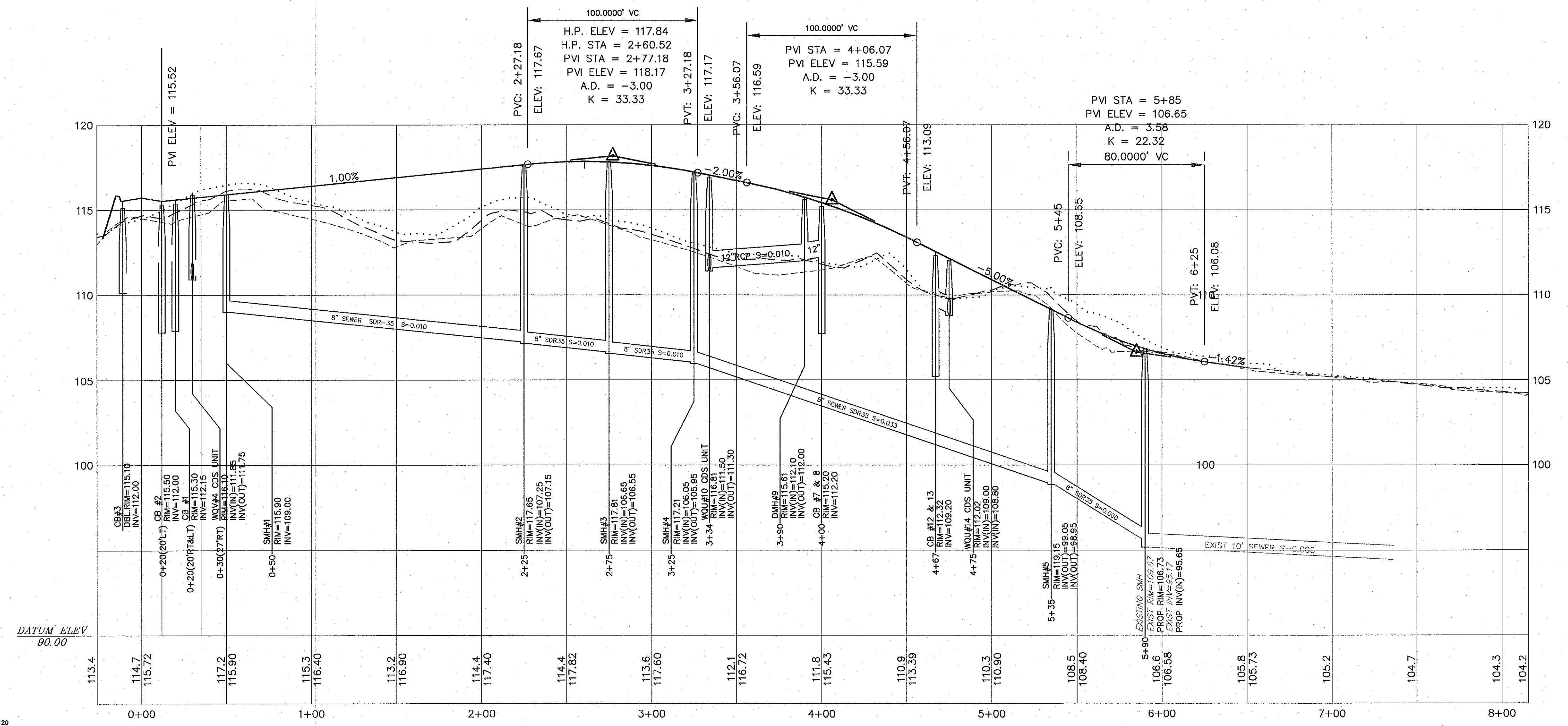
**GRADING, DRAINAGE & UTILITIES**



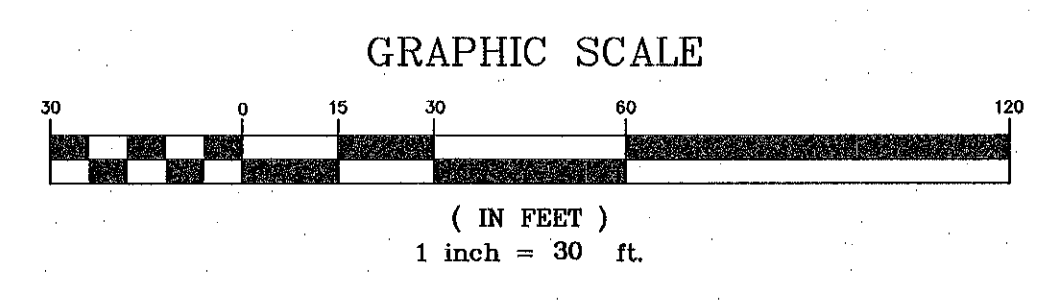


**PROFILE BURNS AVE.**  
SCALE: Horiz: 1"=40'; Vert: 1"=4'

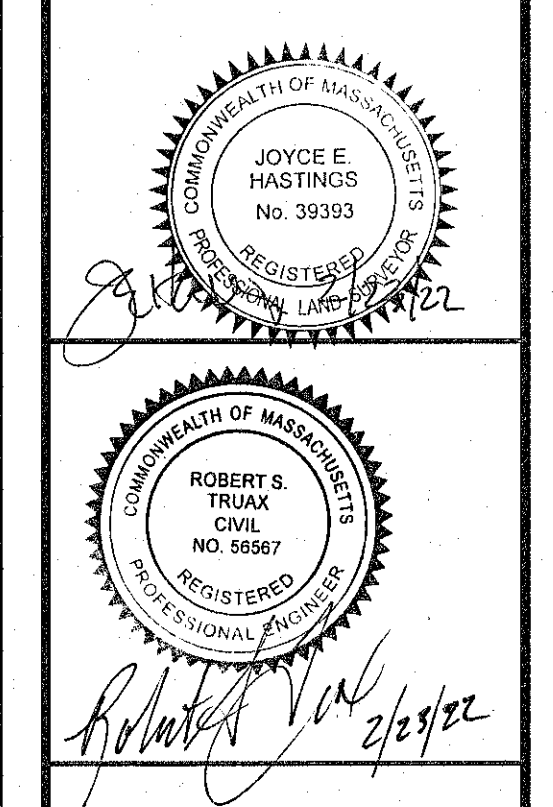
**PROFILE DRAIN LINE DMH#4 TO HEADWALL#6**  
SCALE: Horiz: 1"=40'; Vert: 1"=4'



**PROFILE DRIVE 'A'**  
SCALE: Horiz: 1"=40'; Vert: 1"=4'



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DRW: rst
JOB No. 15,588
DATE: APRIL 21, 2020
SCALE: 1"= 30'
SHEET: 5 of 12
PLAN #: 27,096

**PROFILE PLAN**



**EROSION CONTROL MAINTENANCE:**

THE CONTRACTOR SHALL HAVE ON THE SITE, AN ADEQUATE QUANTITY OF SUPPLEMENTAL HAYBALES, SILT FENCE AND STAKES TO BE USED FOR CONTROL OF EMERGENCY EROSION PROBLEMS. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER A STORM EVENT OF 1" INCH OR GREATER.

**DEWATERING:**

PUMPING AND DEWATERING SHALL BE DONE IN A MANNER WHICH WILL NOT DISCHARGE ANY SILT AND SEDIMENT INTO A RESOURCE AREA. DISCHARGES FROM A DEWATERING CONSTRUCTION PROCEDURE WILL BE FILTERED THROUGH A SILTATION BASIN CONSTRUCTED UPLAND FROM THE WORK SITE. THE SILTATION BASIN SHALL BE A DEPRESSION SURROUNDED BY A HAYBALE DIKE OR SILT FENCE. OVERFLOW FROM THE BASIN SHALL BE PLANNED TO BE LOCATED OVER THICKLY AND NATURALLY MULCHED UPLAND AREA. ALL BASINS SHALL BE LOCATED AT LEAST 100 FEET UPLAND FROM ANY WETLAND RESOURCE AREA.

**STOCKPILING:**

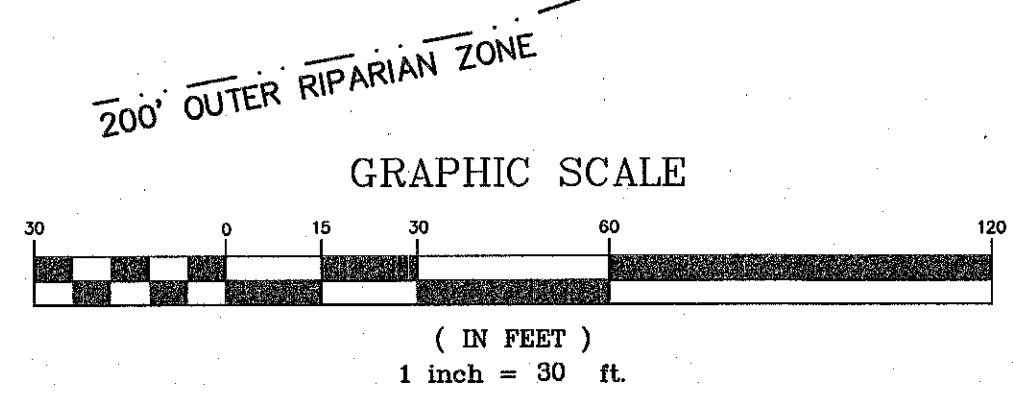
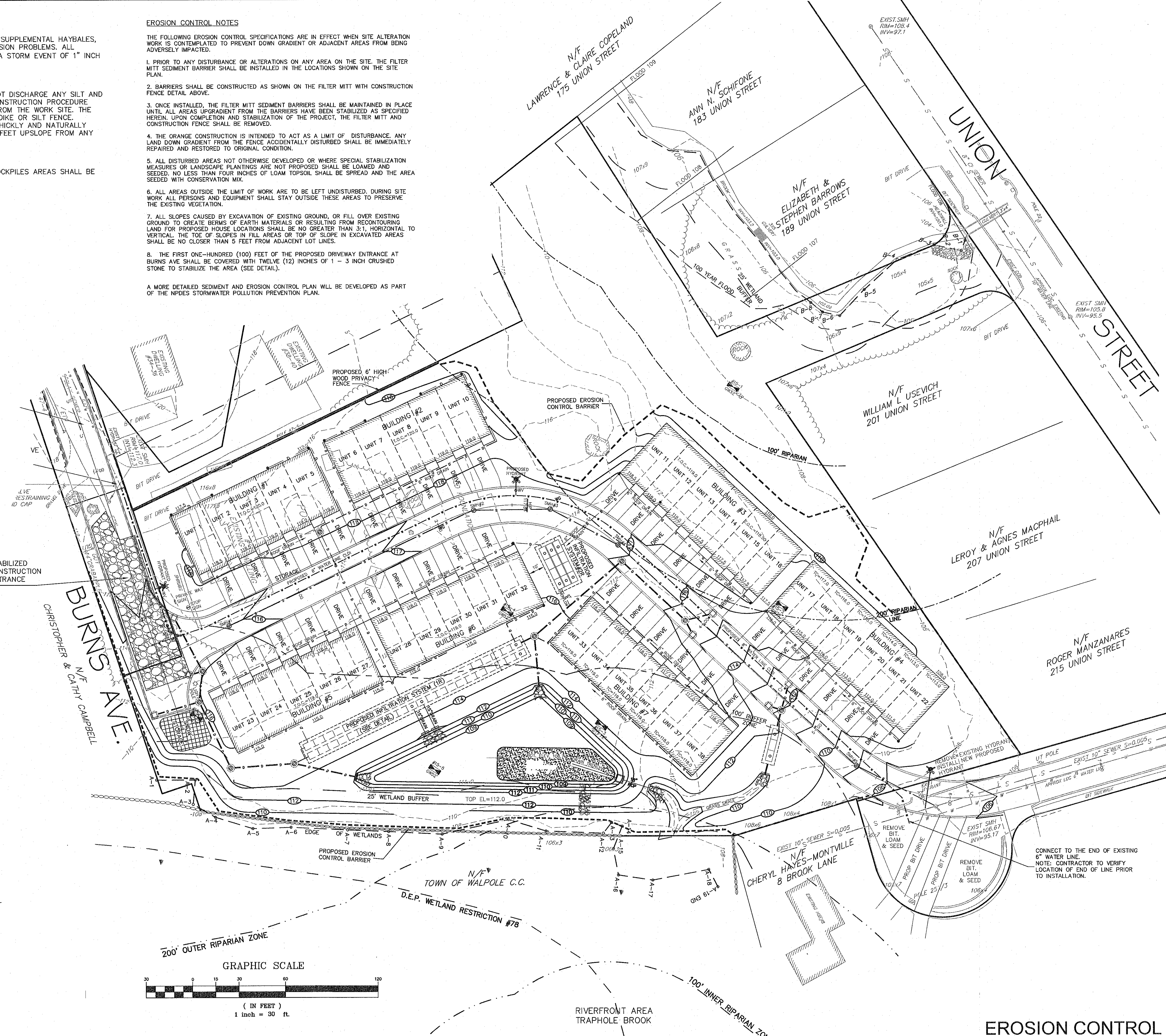
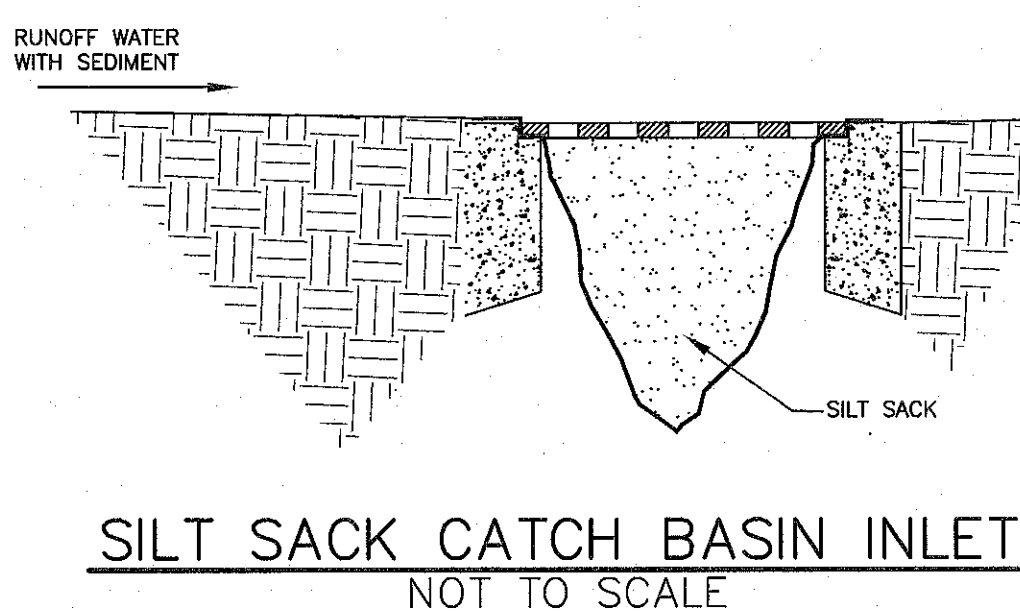
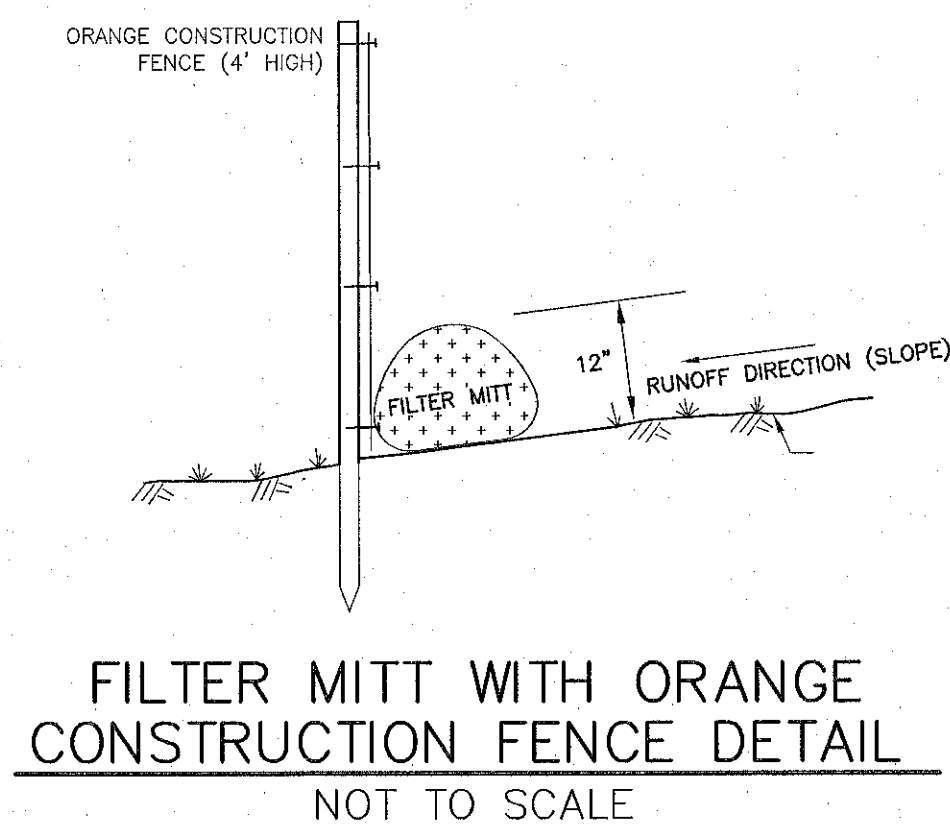
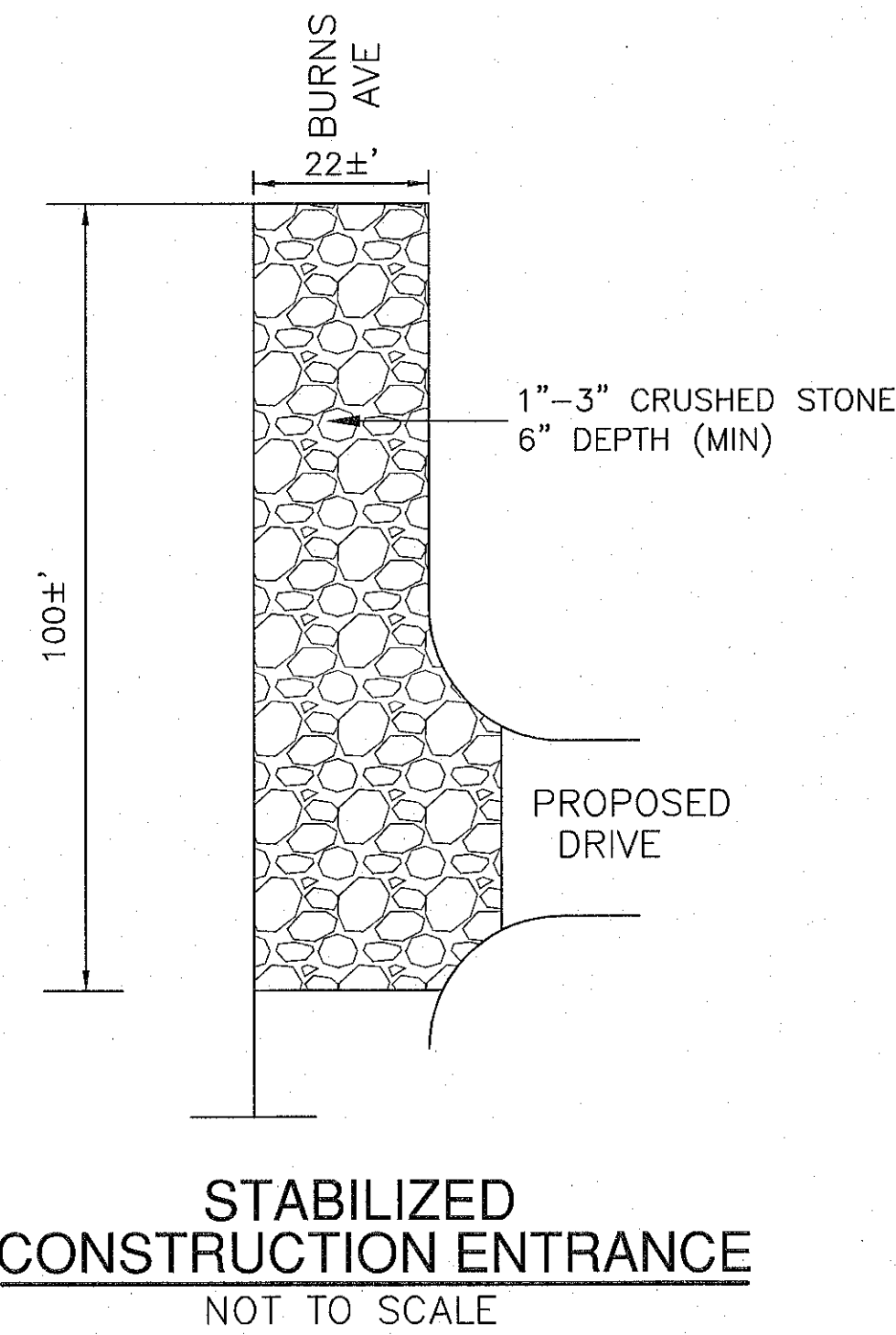
STOCKPILE MATERIAL SHALL STORED IN THE AREAS DESIGNATED. ALL STOCKPILES AREAS SHALL BE SECURED AROUND THE PERIMETER WITH HAYBALE DIKE OR SILTFENCE.

**EROSION CONTROL NOTES**

THE FOLLOWING EROSION CONTROL SPECIFICATIONS ARE IN EFFECT WHEN SITE ALTERATION WORK IS CONTEMPLATED TO PREVENT DOWN GRADIENT OR ADJACENT AREAS FROM BEING ADVERSELY IMPACTED.

1. PRIOR TO ANY DISTURBANCE OR ALTERATIONS ON ANY AREA ON THE SITE, THE FILTER MITT SEDIMENT BARRIER SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE SITE PLAN.
2. BARRIERS SHALL BE CONSTRUCTED AS SHOWN ON THE FILTER MITT WITH CONSTRUCTION FENCE DETAIL ABOVE.
3. ONCE INSTALLED, THE FILTER MITT SEDIMENT BARRIERS SHALL BE MAINTAINED IN PLACE UNTIL ALL AREAS UPGRADEMENT FROM THE BARRIERS HAVE BEEN STABILIZED AS SPECIFIED HEREIN. UPON COMPLETION AND STABILIZATION OF THE PROJECT, THE FILTER MITT AND CONSTRUCTION FENCE SHALL BE REMOVED.
4. THE ORANGE CONSTRUCTION IS INTENDED TO ACT AS A LIMIT OF DISTURBANCE. ANY LAND DOWN GRADIENT FROM THE FENCE ACCIDENTALLY DISTURBED SHALL BE IMMEDIATELY REPAIRED AND RESTORED TO ORIGINAL CONDITION.
5. ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED OR WHERE SPECIAL STABILIZATION MEASURES OR LANDSCAPE PLANTINGS ARE NOT PROPOSED SHALL BE LOAMED AND SEEDED. NO LESS THAN FOUR INCHES OF LOAM TOPSOIL SHALL BE SPREAD AND THE AREA SEEDED WITH CONSERVATION MIX.
6. ALL AREAS OUTSIDE THE LIMIT OF WORK ARE TO BE LEFT UNDISTURBED. DURING SITE WORK ALL PERSONS AND EQUIPMENT SHALL STAY OUTSIDE THESE AREAS TO PRESERVE THE EXISTING VEGETATION.
7. ALL SLOPES CAUSED BY EXCAVATION OF EXISTING GROUND, OR FILL OVER EXISTING GROUND TO CREATE BERMS OF EARTH MATERIALS OR RESULTING FROM RECONTOURING LAND FOR PROPOSED HOUSE LOCATIONS SHALL BE NO GREATER THAN 3:1, HORIZONTAL TO VERTICAL. THE TOP OF SLOPES IN FILL AREAS OR TOP OF SLOPE IN EXCAVATED AREAS SHALL BE NO CLOSER THAN 5 FEET FROM ADJACENT LOT LINES.
8. THE FIRST ONE-HUNDRED (100) FEET OF THE PROPOSED DRIVEWAY ENTRANCE AT BURNS AVE SHALL BE COVERED WITH TWELVE (12) INCHES OF 1 - 3 INCH CRUSHED STONE TO STABILIZE THE AREA (SEE DETAIL).

A MORE DETAILED SEDIMENT AND EROSION CONTROL PLAN WILL BE DEVELOPED AS PART OF THE NPDES STORMWATER POLLUTION PREVENTION PLAN.



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2	10/22/20	ZBA COMMENTS, REDUCE TO 38 UNITS
3	02/23/22	

Professional Engineer Seal for Robert S. Truax, No. 95967, State of Massachusetts. Date: 2/23/22.

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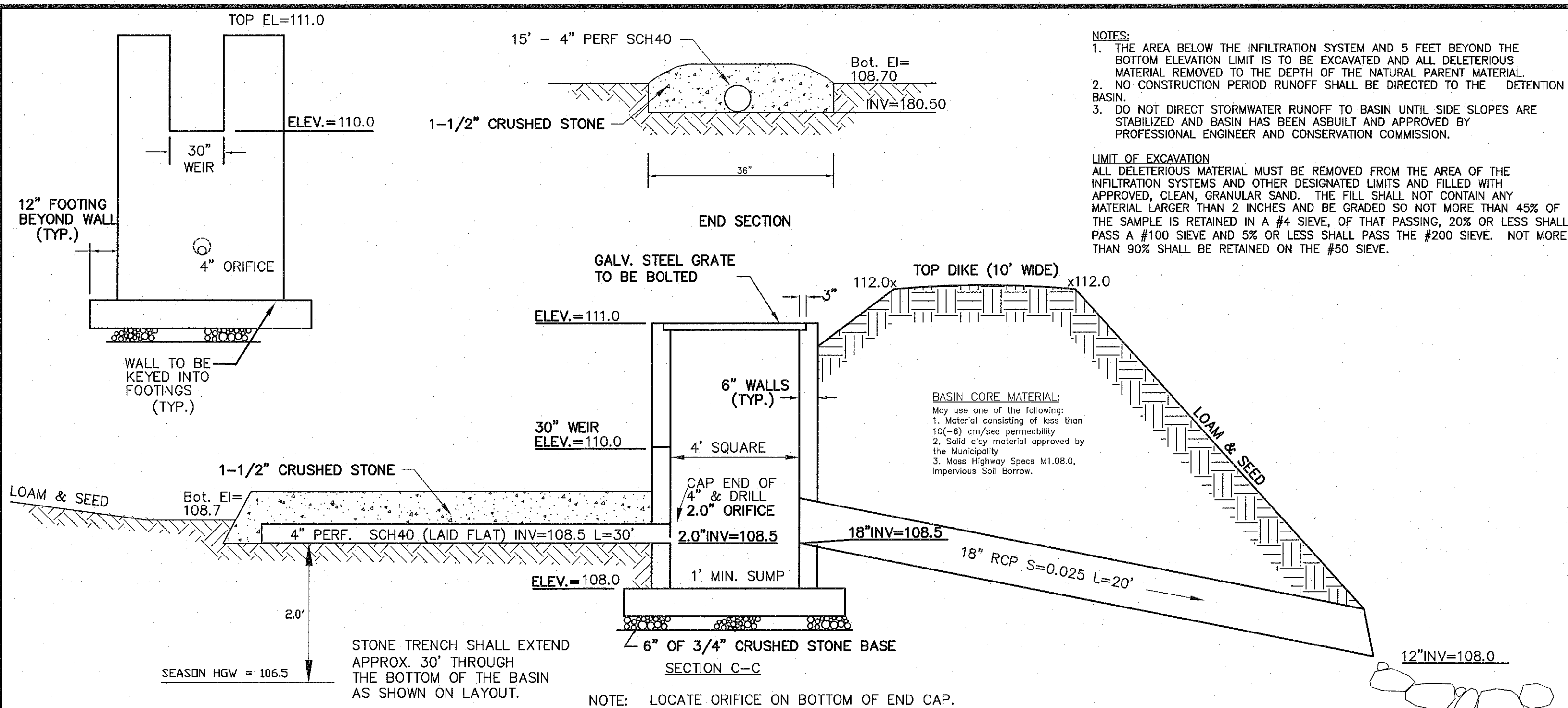
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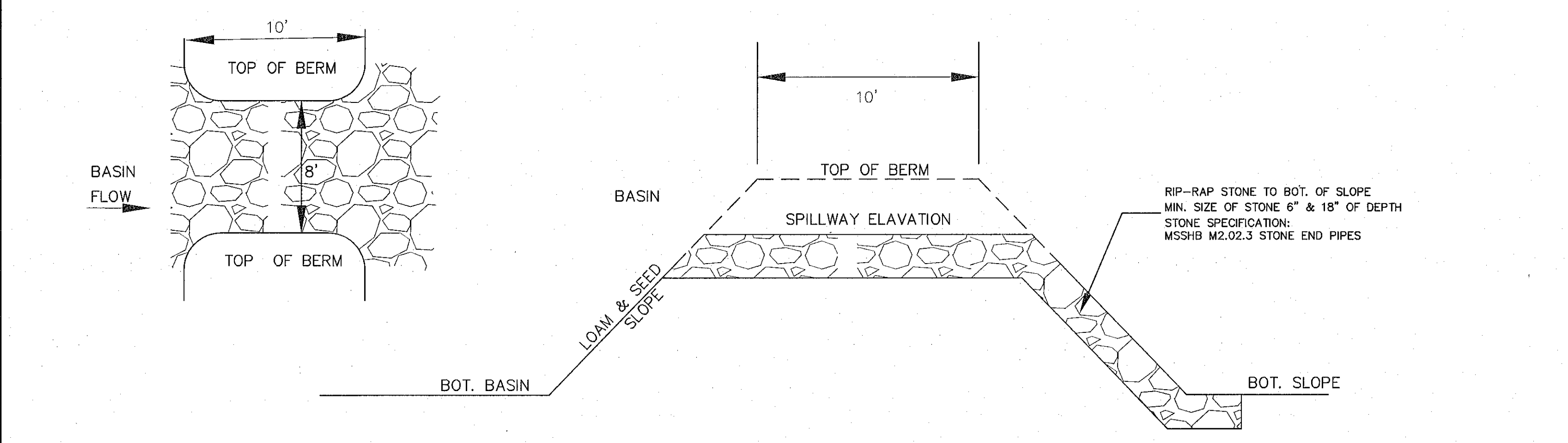
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JOB No. 15,588  
DATE: APRIL 21, 2020  
SCALE: 1" = 30'  
SHEET: 6 of 12  
PLAN #: 27,096

**EROSION CONTROL**

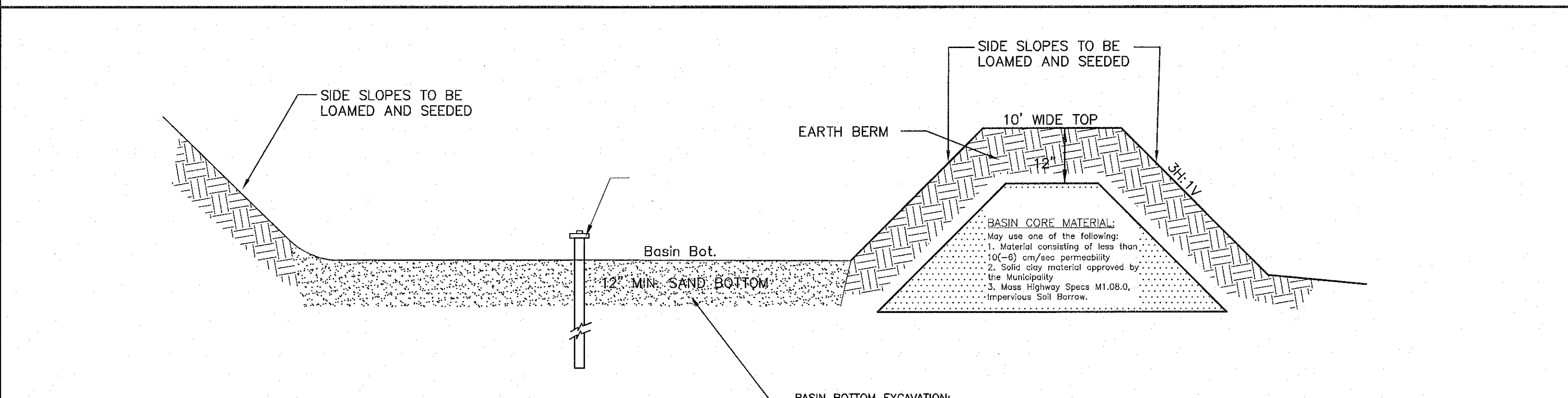




**OUTLET STRUCTURE DETAIL BASIN #1**  
(PRECAST CONCRETE STRUCTURE)  
NOT TO SCALE



**DETENTION BASIN EMERGENCY SPILLWAY DETAIL**  
NOT TO SCALE

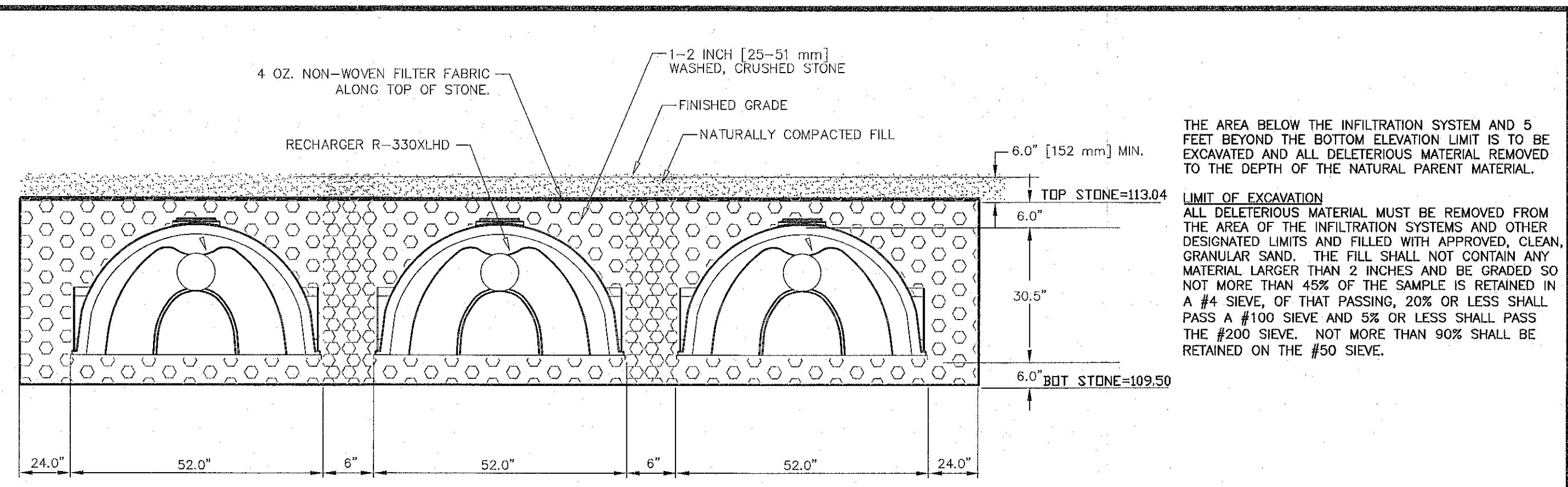


**DETENTION BASIN TYPICAL SECTION**  
NOT TO SCALE

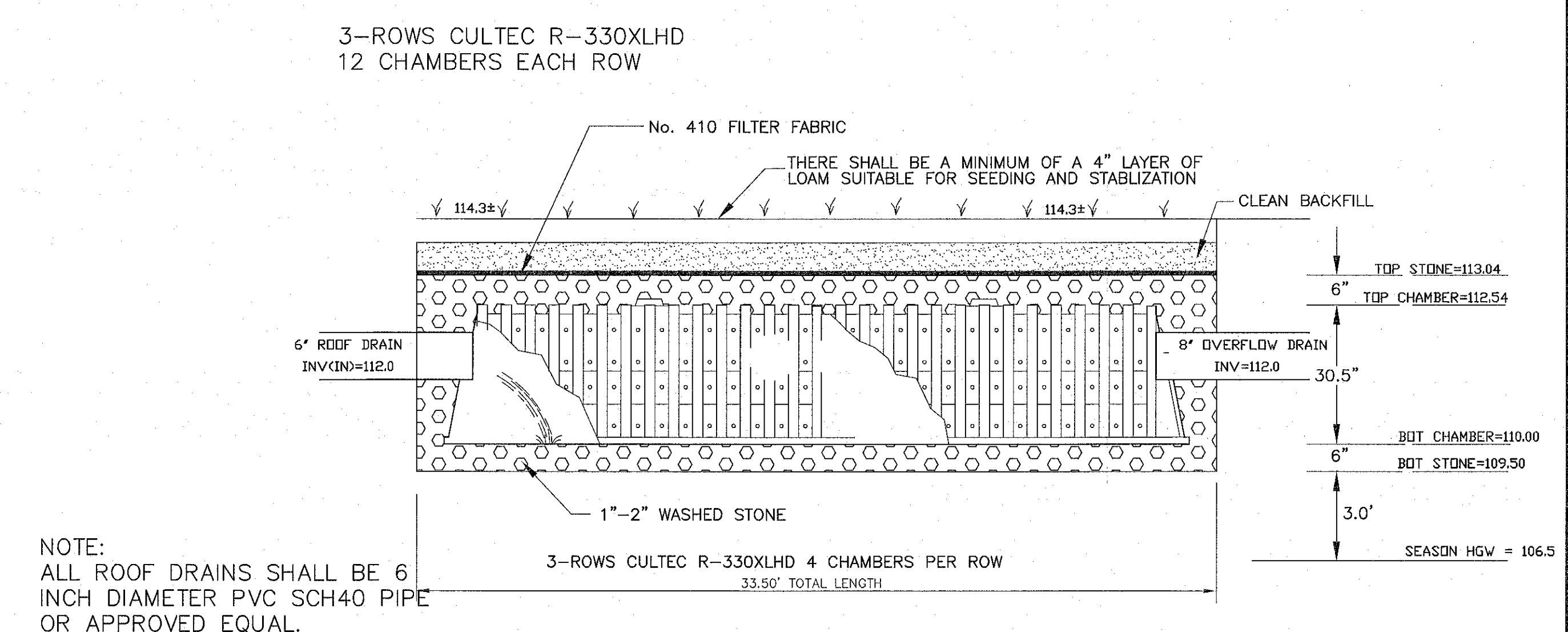
**NOTES:**  
1. THE AREA BELOW THE INFILTRATION SYSTEM AND 5 FEET BEYOND THE BOTTOM ELEVATION LIMIT IS TO BE EXCAVATED AND ALL DELETERIOUS MATERIAL REMOVED TO THE DEPTH OF THE NATURAL PARENT MATERIAL.  
2. NO CONSTRUCTION PERIOD RUNOFF SHALL BE DIRECTED TO THE DETENTION BASIN.  
3. DO NOT DIRECT STORMWATER RUNOFF TO BASIN UNTIL SIDE SLOPES ARE STABILIZED AND BASIN HAS BEEN ASBUILT AND APPROVED BY PROFESSIONAL ENGINEER AND CONSERVATION COMMISSION.

**LIMIT OF EXCAVATION**  
ALL DELETERIOUS MATERIAL MUST BE REMOVED FROM THE AREA OF THE INFILTRATION SYSTEMS AND OTHER DESIGNATED LIMITS AND FILLED WITH APPROVED, CLEAN, GRANULAR SAND. THE FILL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN 2 INCHES AND BE GRADED SO NOT MORE THAN 45% OF THE SAMPLE IS RETAINED IN A #4 SIEVE, OF THAT PASSING, 20% OR LESS SHALL PASS A #100 SIEVE AND 5% OR LESS SHALL PASS THE #200 SIEVE. NOT MORE THAN 90% SHALL BE RETAINED ON THE #50 SIEVE.

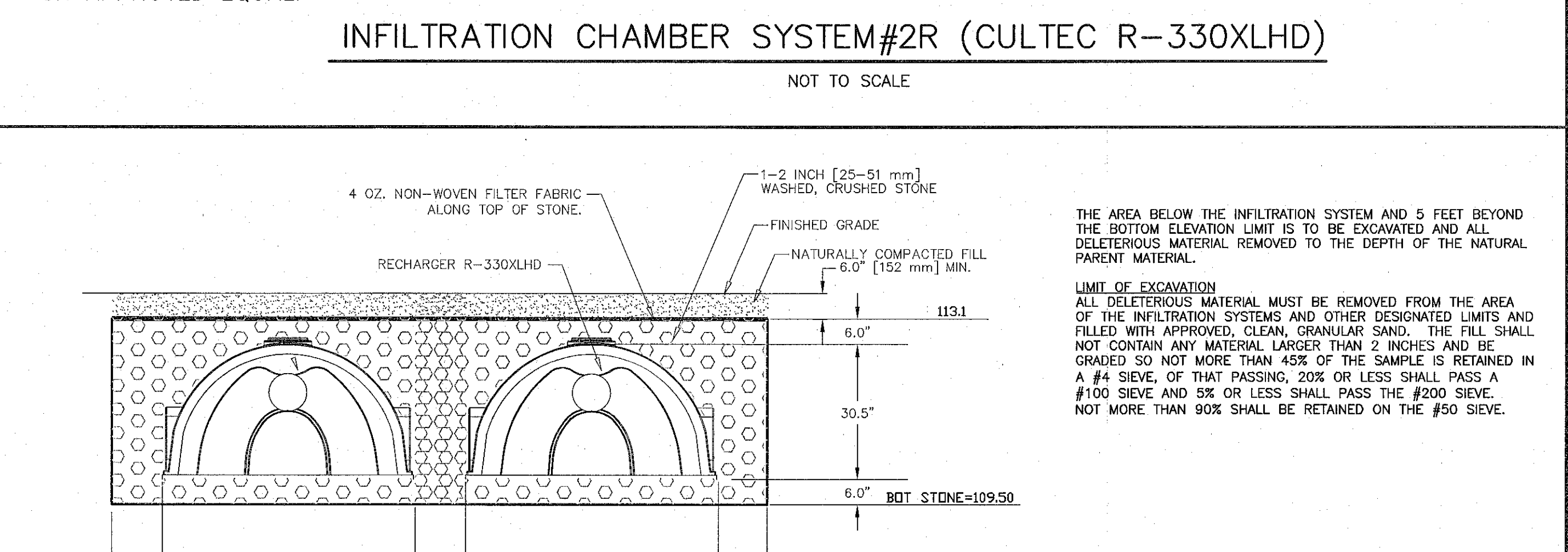
**BASIN CORE MATERIAL:**  
May use one of the following:  
1. Material consisting of less than 10(-6) cm/sec permeability  
2. Solid clay material approved by the Municipality  
3. Mass Highway Specs M1.08.0, Impervious Soil Borrow.



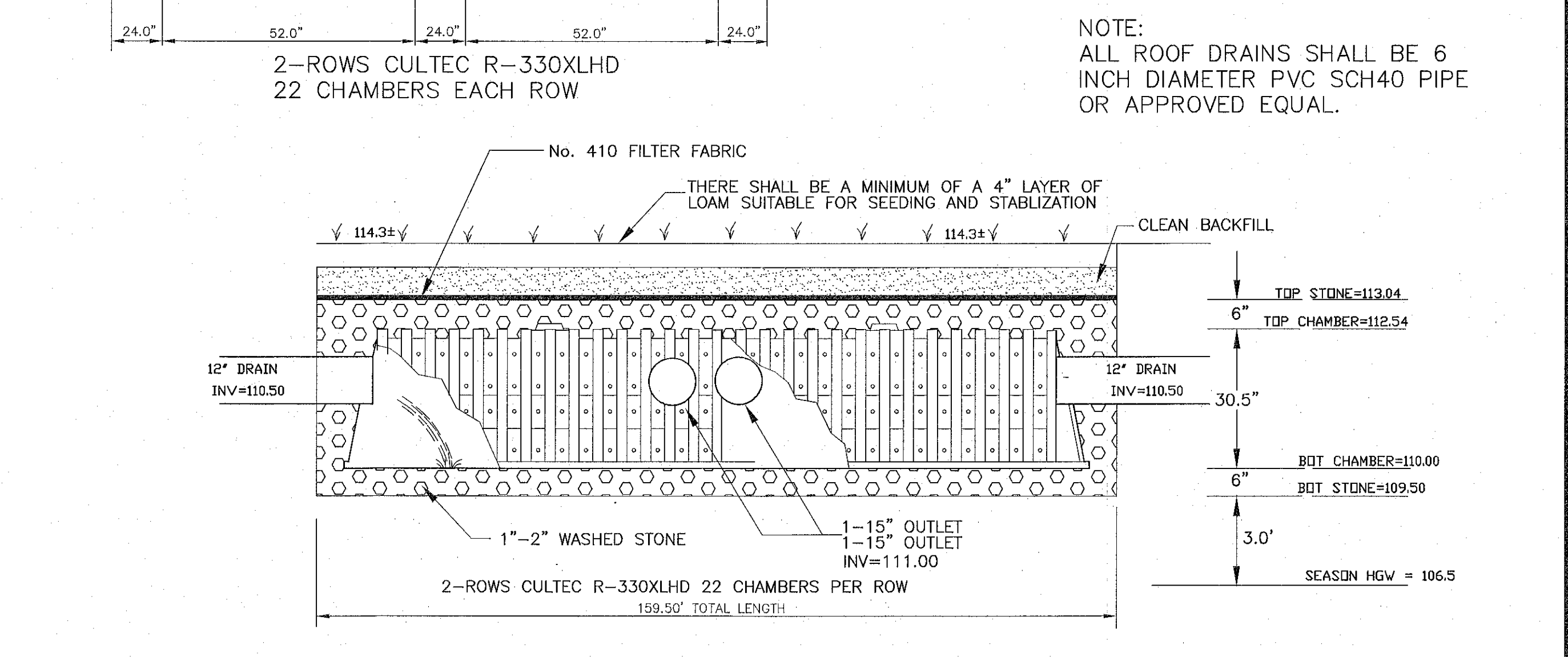
**INFILTRATION CHAMBER SYSTEM #2R (CULTEC R-330XLHD)**  
NOT TO SCALE



**INFILTRATION CHAMBER SYSTEM #1R (CULTEC R-330XLHD)**  
NOT TO SCALE



**INFILTRATION CHAMBER SYSTEM #2R (CULTEC R-330XLHD)**  
NOT TO SCALE

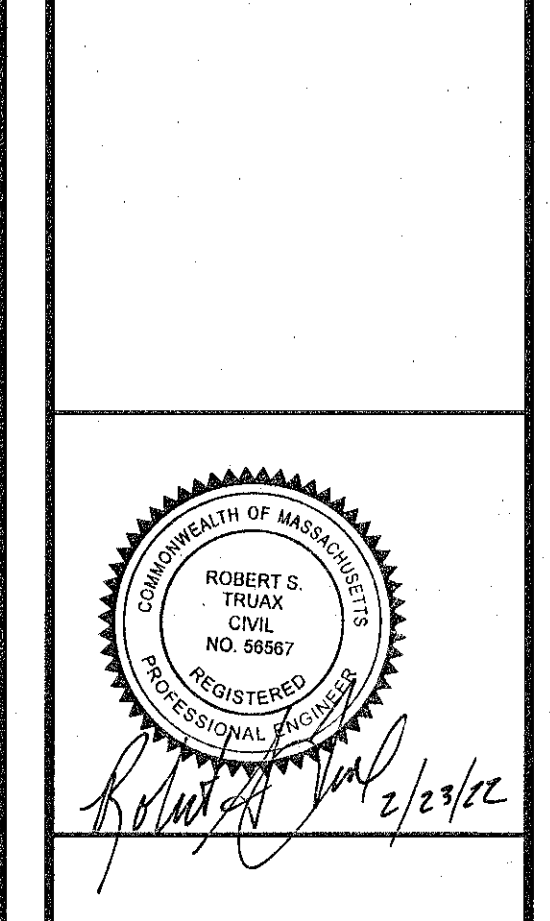


**INFILTRATION CHAMBER SYSTEM #1R (CULTEC R-330XLHD)**  
NOT TO SCALE

**NOTES:**  
THE AREA BELOW THE INFILTRATION SYSTEM AND 5 FEET BEYOND THE BOTTOM ELEVATION LIMIT IS TO BE EXCAVATED AND ALL DELETERIOUS MATERIAL REMOVED TO THE DEPTH OF THE NATURAL PARENT MATERIAL.

**LIMIT OF EXCAVATION**  
ALL DELETERIOUS MATERIAL MUST BE REMOVED FROM THE AREA OF THE INFILTRATION SYSTEMS AND OTHER DESIGNATED LIMITS AND FILLED WITH APPROVED, CLEAN, GRANULAR SAND. THE FILL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN 2 INCHES AND BE GRADED SO NOT MORE THAN 45% OF THE SAMPLE IS RETAINED IN A #4 SIEVE, OF THAT PASSING, 20% OR LESS SHALL PASS A #100 SIEVE AND 5% OR LESS SHALL PASS THE #200 SIEVE. NOT MORE THAN 90% SHALL BE RETAINED ON THE #50 SIEVE.

NO.	DATE	DESCRIPTION
1	05/21/20	DRAINAGE SYSTEM
2	10/22/20	CONSERVATION COMMENTS
3	02/23/22	ZBA COMMENTS, REDUCE TO 38 UNITS



**AMENDED SITE DEVELOPMENT PLAN**  
**A COMPREHENSIVE PERMIT M.G.L.C. 40B**  
**"THE RESIDENCES AT BURNS AVENUE"**  
**WALPOLE, MASSACHUSETTS**

APPLICANT:  
WALL STREET DEVELOPMENT CORP.  
P.O. BOX 272  
WESTWOOD, MA 02090

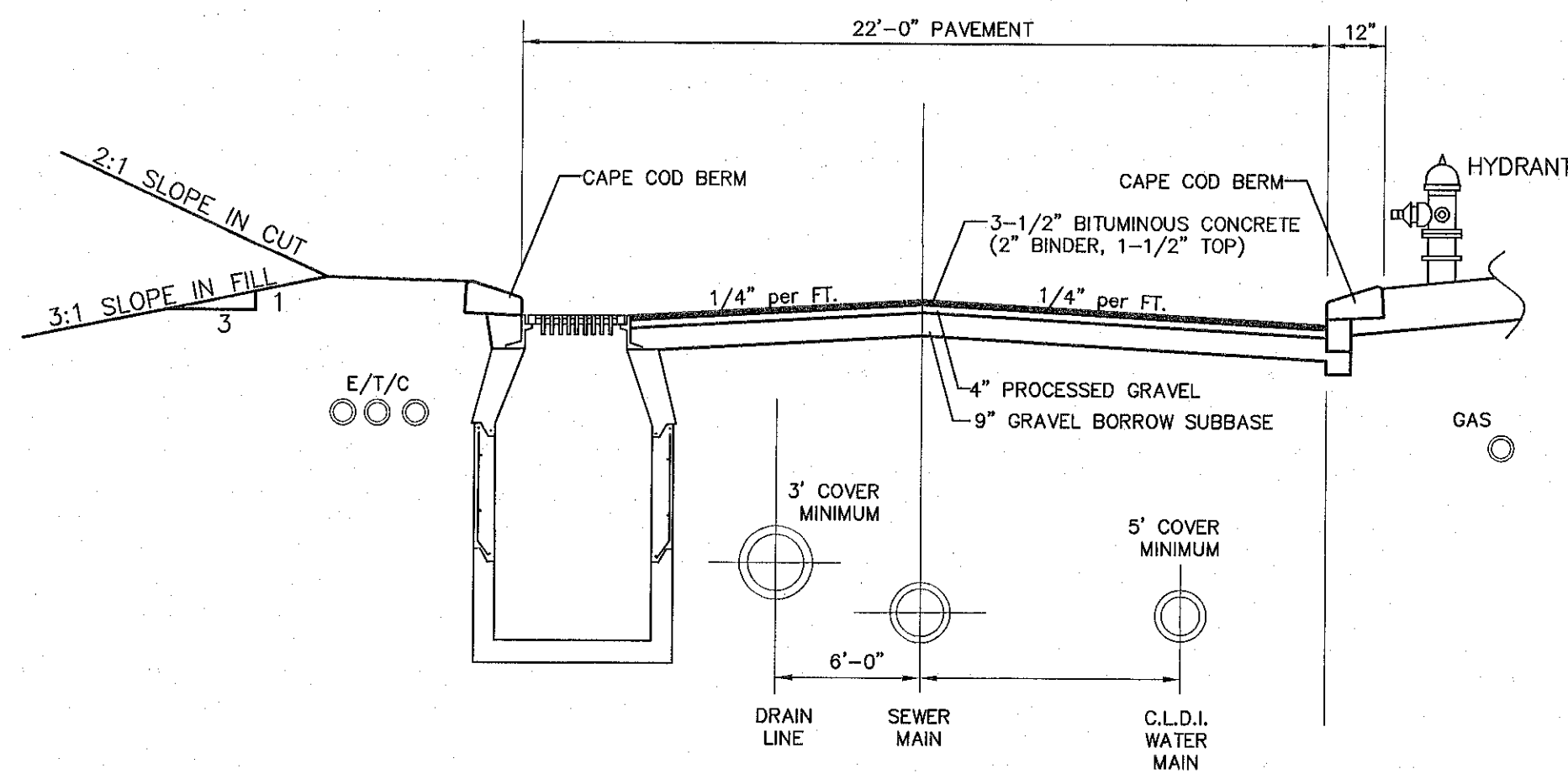
GLM Engineering Consultants, Inc.	19 EXCHANGE STREET HOLLISTON, MA 01746 P: 508-429-1100 F: 508-429-7160 www.GLMengineering.com
DRW.: rst	JOB No. 15,588
DATE: APRIL 21, 2020	SCALE: 1" = 30'
SHEET: 7 of 12	PLAN #: 27,096

**DETAILS**

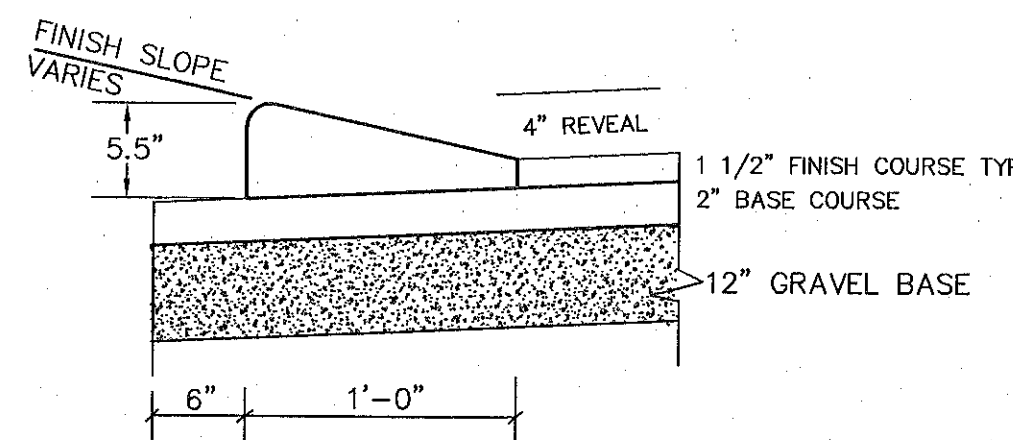


**NOTES**

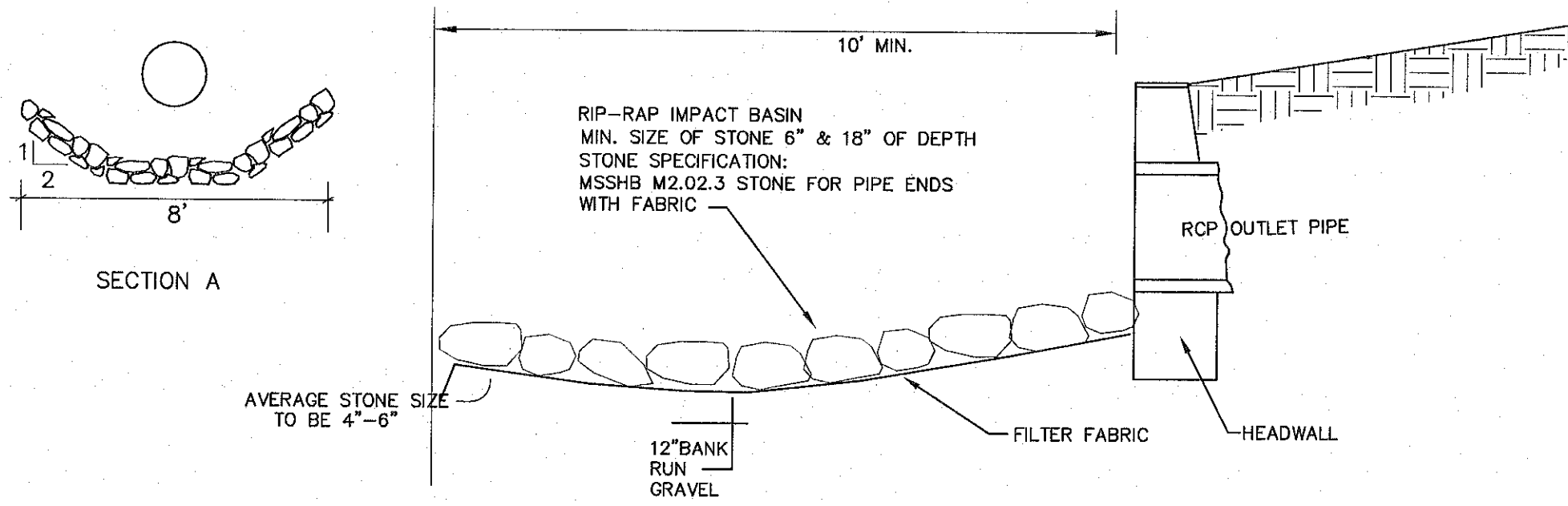
- A) Gravel borrow subbase shall conform to section M1.03.0 type b, three inches largest dimension of the latest edition of the Massachusetts Highway Department Standard Specifications for Highways and Bridges (Standard Specifications).
- B) Gravel borrow subbase shall be compacted to not less than 95 percent of maximum dry density of the material as determined by the Standard AASHTO Test Designation T99 compaction test method C at optimum moisture content as determined by the engineer.
- C) "Tac Coat" as specified in Section 486.61 of the Standard Specifications shall be applied by "tac truck" between asphalt layers or as determined by the engineer.
- D) Soils testing including sieve analysis, proctor testing and compaction testing shall be performed once every 100 feet of paved roadway along the centerline of the roadway or as directed by the engineer.
- E) Sidewalk ramps must meet current applicable ADA / AAB standards.



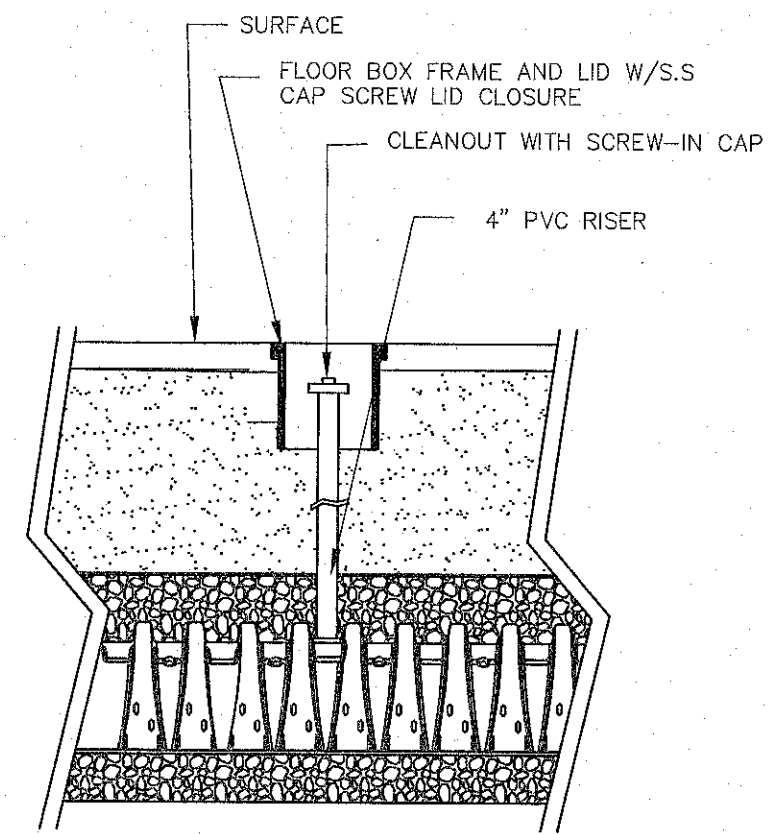
**TYPICAL DRIVE CROSS SECTION**  
NOT TO SCALE



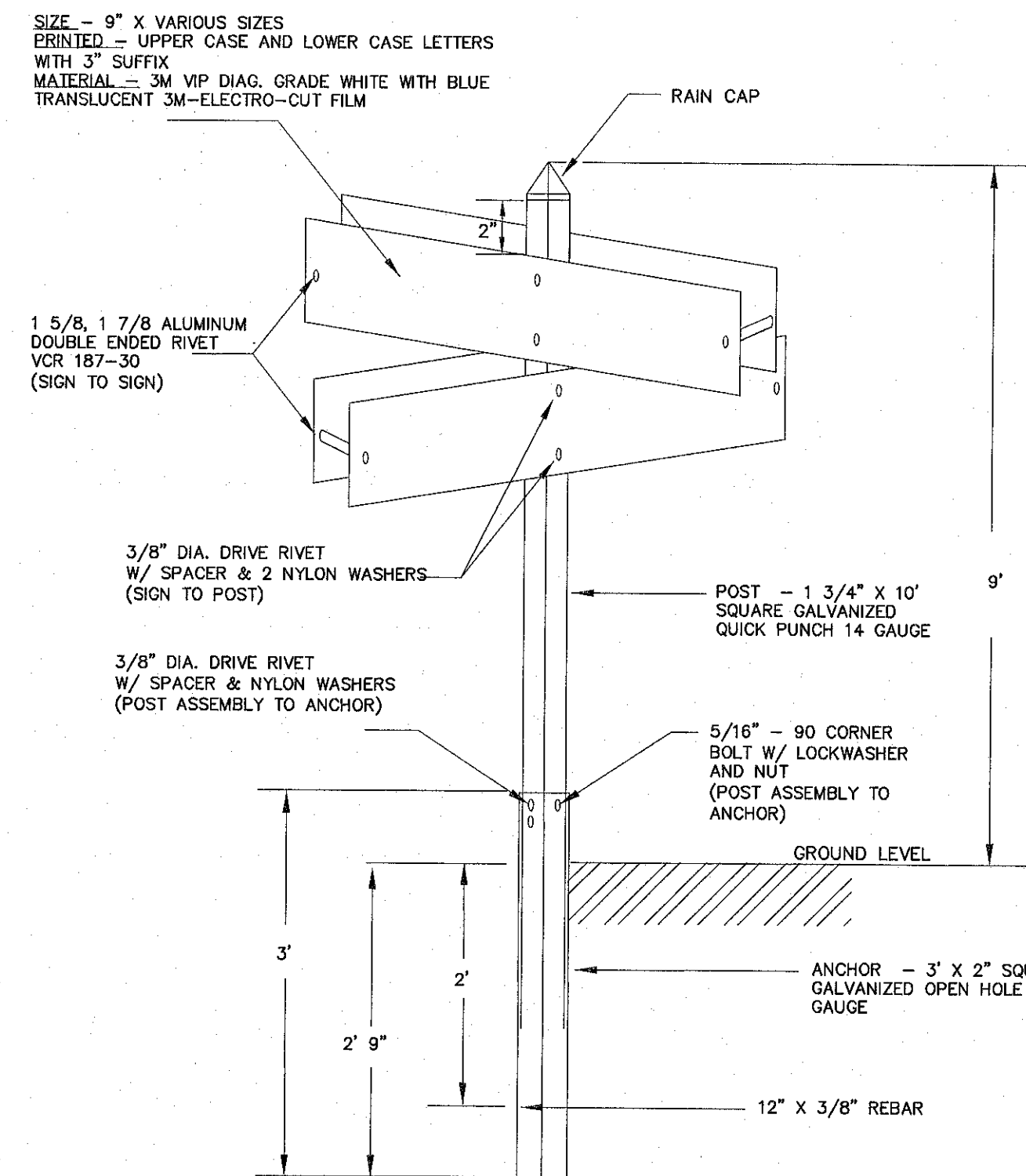
**CAPE COD BERM DETAIL**  
NOT TO SCALE



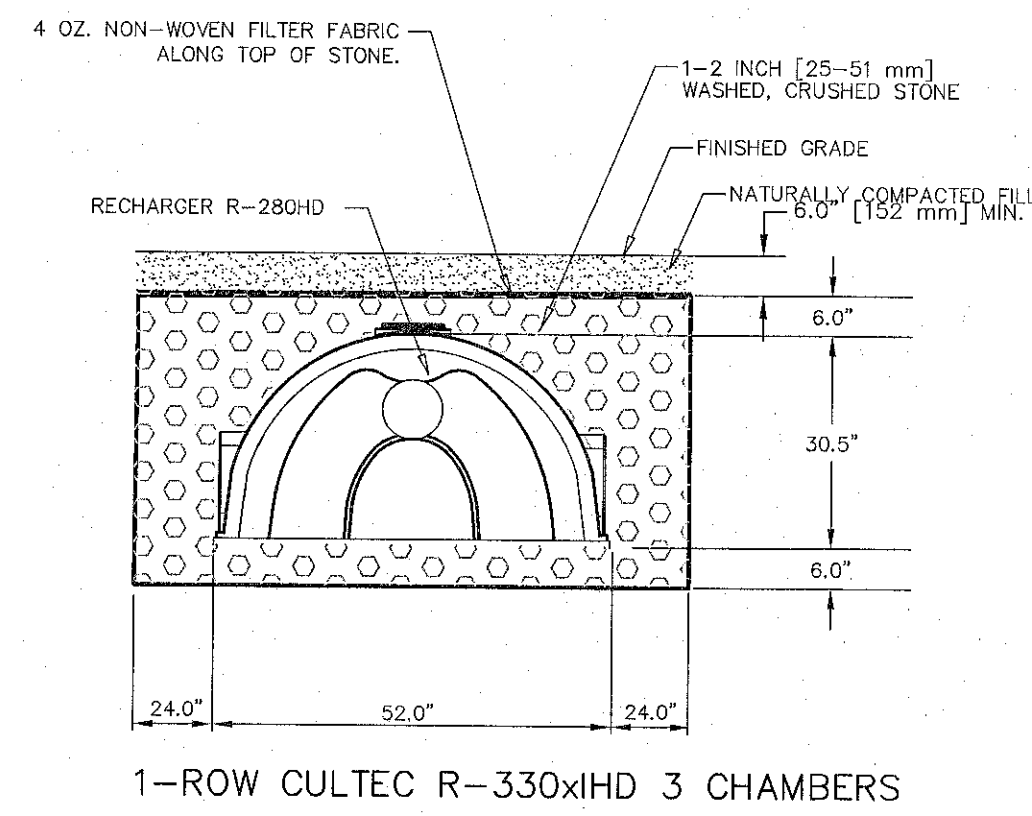
**RIP-RAP DETAIL HEADWALLS**  
NOT TO SCALE



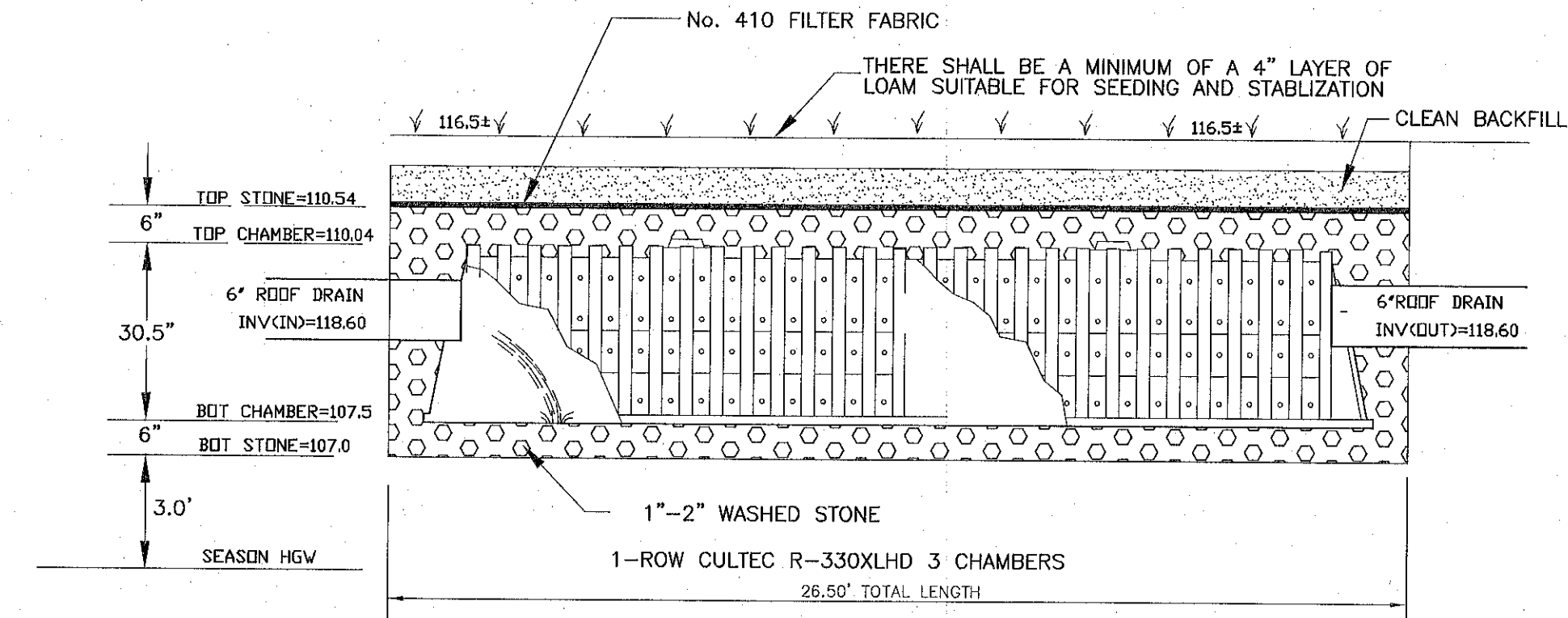
**INSPECTION PORT DETAIL**  
NOT TO SCALE



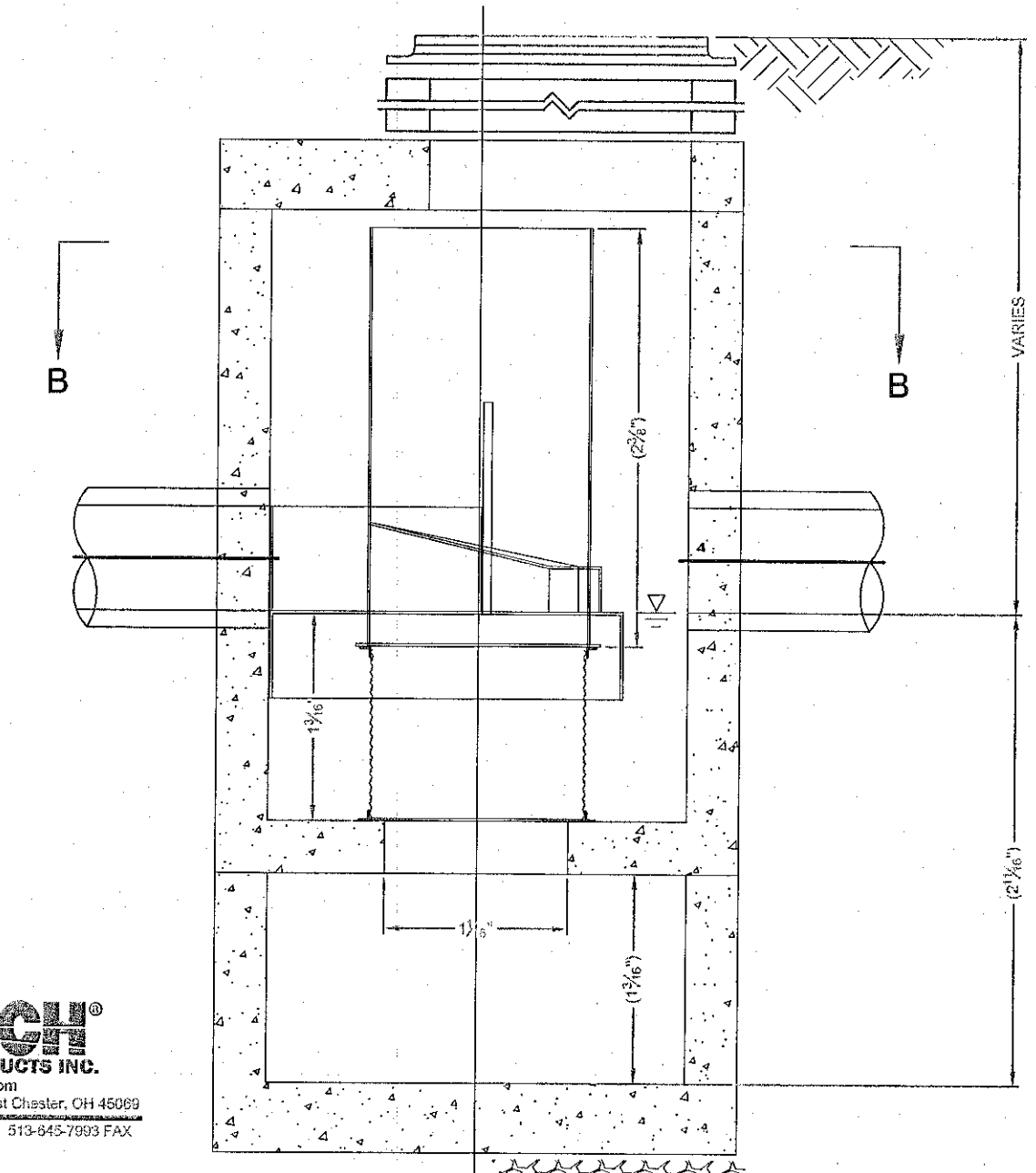
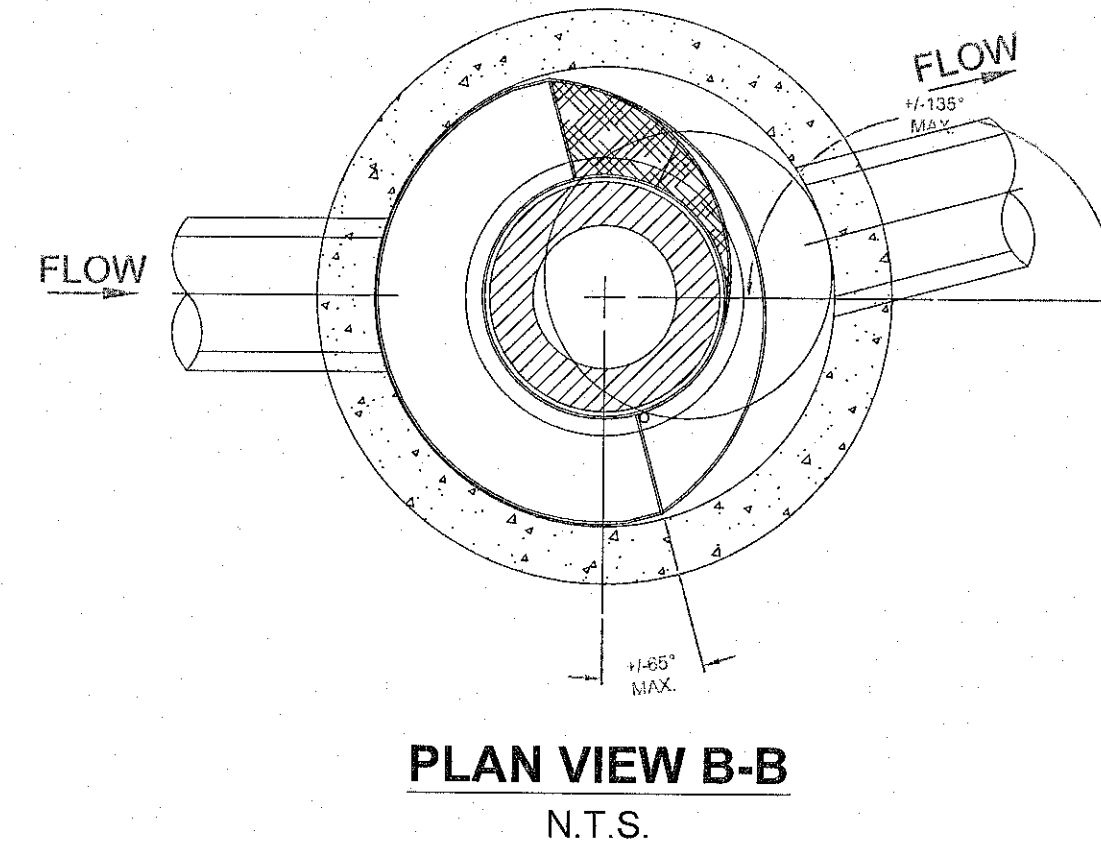
**TYPICAL STREET SIGN DETAIL**  
(NOT TO SCALE)



**INFILTRATION CHAMBER SYSTEM #3R (CULTEC R-330XLHD)**

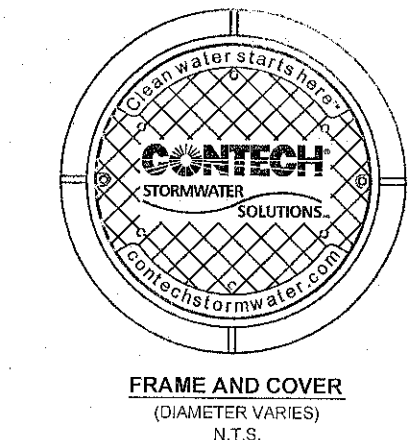


NOT TO SCALE

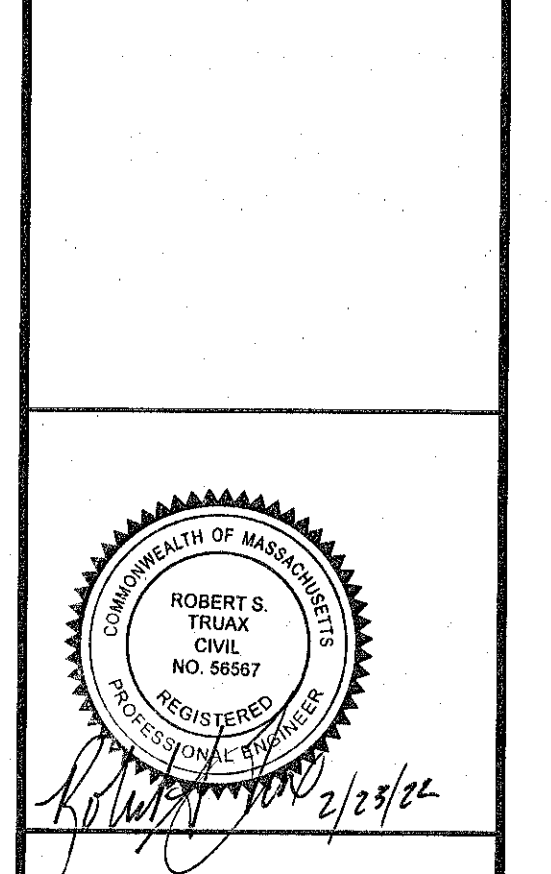


- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
  - DIMENSIONS MARKED WITH ( ) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
  - FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH CONSTRUCTION PRODUCTS REPRESENTATIVE. www.contech-cpi.com
  - CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
  - STRUCTURE SHALL MEET AASHTO H20 AND CASTINGS SHALL MEET AASHTO M306 LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
  - PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
- INSTALLATION NOTES**
- ANY SUB-BASE BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
  - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
  - CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
  - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
  - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

**WATER QUALITY UNIT DETAIL**  
~~CDS1515-3-C CDS IN-LINE STANDARD DETAIL~~  
NOT TO SCALE



REVISIONS	DATE	DESCRIPTION
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AMENDED SITE DEVELOPMENT PLAN  
A COMPREHENSIVE PERMIT M.G.L.C. 40B  
"THE RESIDENCES AT BURNS AVENUE"  
WALPOLE, MASSACHUSETTS

APPLICANT:  
WALL STREET DEVELOPMENT CORP.  
P.O. BOX 272  
WESTWOOD, MA 02090

**GLM** Engineering Consultants, Inc.  
19 EXCHANGE STREET  
HOLLISTON, MA 01746  
P: 508-429-1100  
F: 508-429-7160  
www.GLMengineering.com

DRW.:	rst
JOB No.:	15,588
DATE:	APRIL 21, 2020
SCALE:	1" = 30'
SHEET:	8 of 12
PLAN #:	27,096

**TOWN OF WALPOLE, MASSACHUSETTS  
DEPARTMENT OF PUBLIC WORKS  
PLAN SHOWING TYPICAL  
ROADWAY DETAILS**

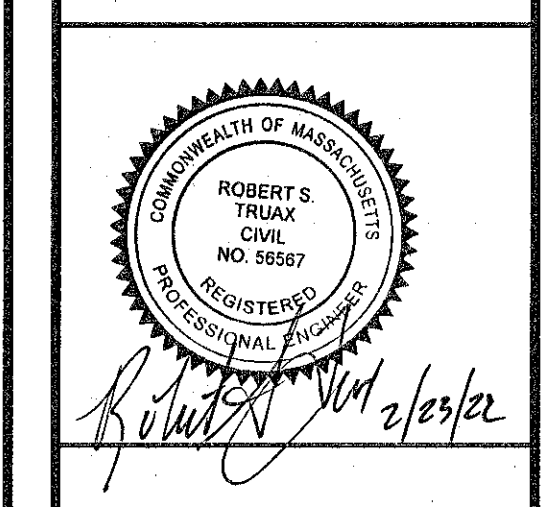
- 1 7-11-08 DRAWN TO AUTOCAD FILE MAJ
- 8 10-3-06 ADDED SLOPED GRANITE DRYLAYS MAJ
- 9 11-20-08 MANY MISC. CHANGES MAJ

**Note:**  
1) All details are subject to change without notice. Check with the Town of Walpole prior to using these details for the most up to date revisions.



REVISIONS	DATE	DESCRIPTION
1	05/21/20	DRAINAGE SYSTEM
2	10/22/20	CONSERVATION COMMENTS
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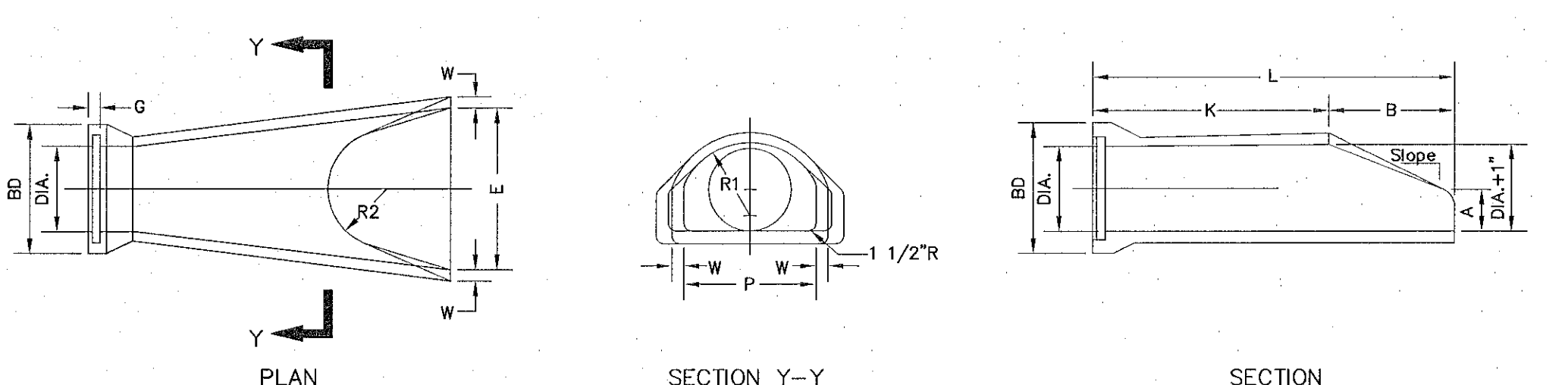
APPLICANT:  
 WALL STREET DEVELOPMENT CORP.  
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AMENDED SITE DEVELOPMENT PLAN  
 A COMPREHENSIVE PERMIT M.G.L.C. 40B  
 "THE RESIDENCES AT BURNS AVENUE"  
 WALPOLE, MASSACHUSETTS

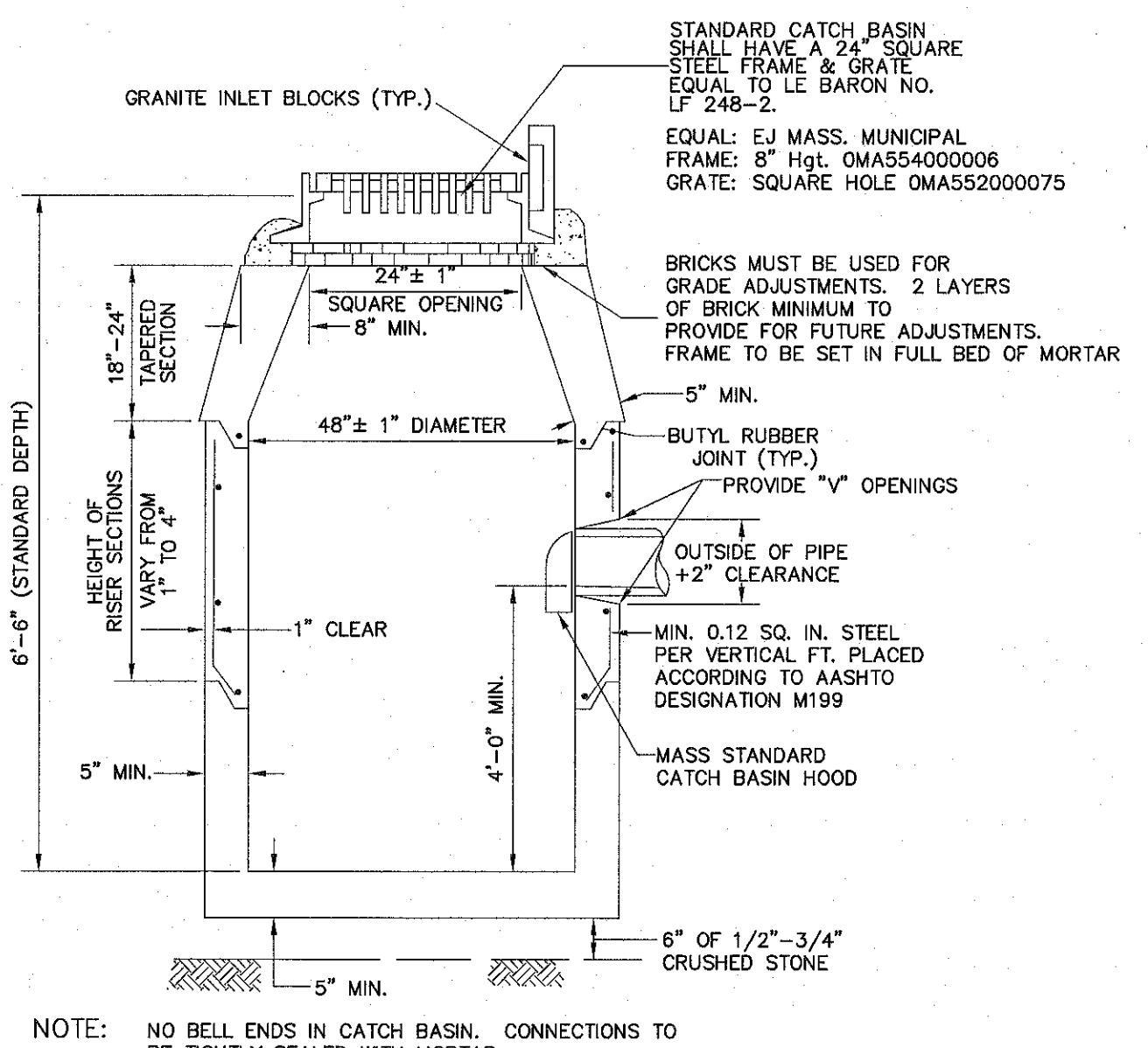
GLM Engineering Consultants, Inc.  
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DRW.:	rst
JOB No.	15,588
DATE:	APRIL 21, 2020
SCALE:	1" = 30'
SHEET:	9 of 12
PLAN #:	27,096

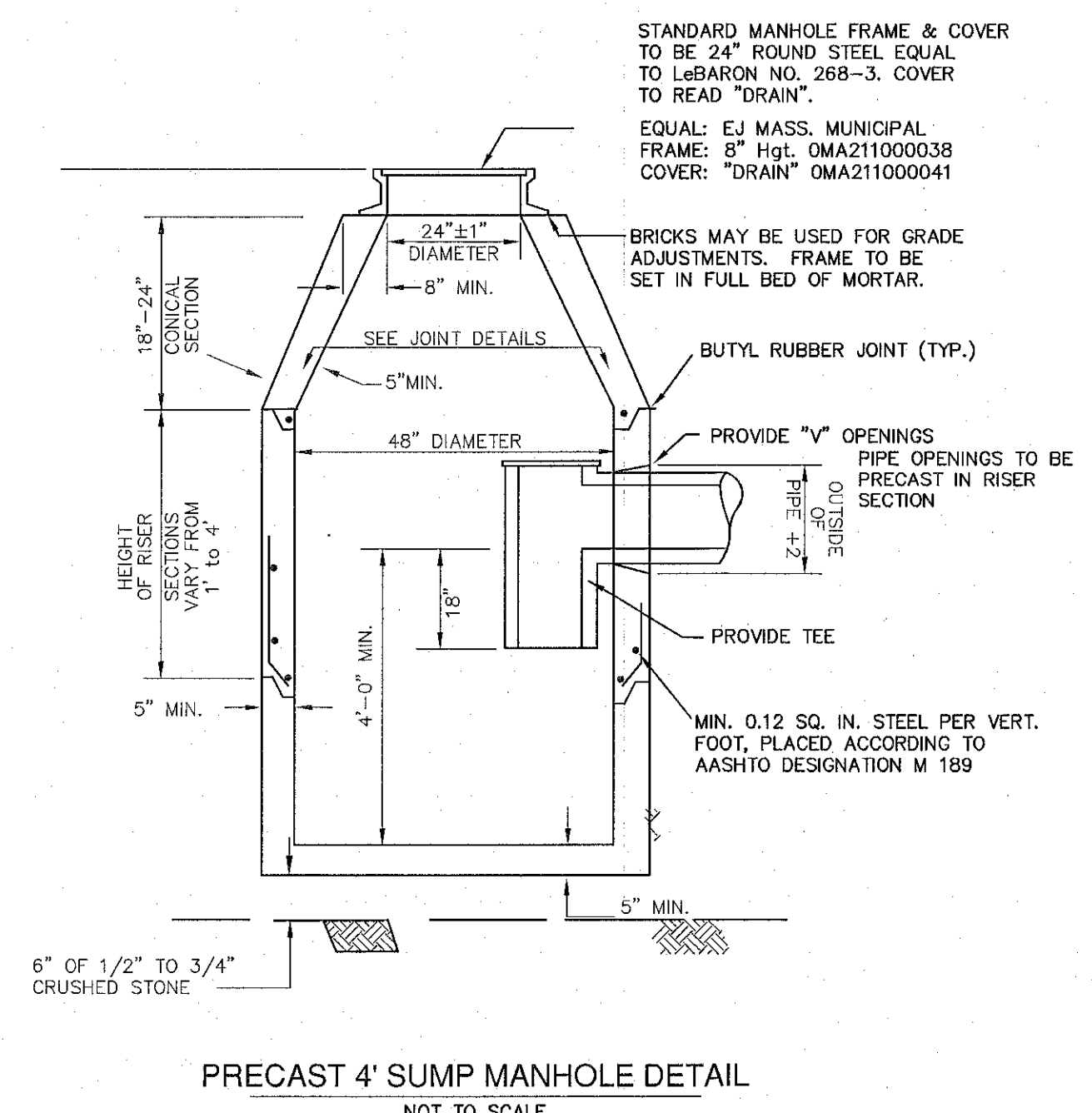


DIA.	W	A	B	C	D	E	BD	K	L	P	DIA. +1"	R1	R2	S	G	Slope
12"	2"	4"	2'-0"	4'-0 7/8"	6'-1 3/8"	2'-0"	20"	4'-8 1/8"	6'-4 1/8"	19 15/8"	13"	10 1/8"	9"	4"	2 1/2"	3:1
15"	2 1/4"	6"	2'-3"	5'-10"	6'-1 1/2"	2'-6"	24"	4'-3 11/8"	6'-4 1/8"	24 5/8"	16"	12 1/2"	11"	4"	2 1/2"	3:1
18"	2 1/2"	9"	2'-3"	5'-10"	6'-1"	3'-0"	28"	4'-3 7/8"	6'-4 7/8"	29"	19"	15 1/2"	12"	4"	2 3/4"	3:1
21"	2 3/4"	9"	2'-11"	3'-2"	6'-1"	3'-6"	32"	4'-8 9/8"	6'-7 5/8"	31 5/8"	22"	16 1/8"	13"	4"	2 3/4"	3:1
24"	3"	9 1/2"	5'-1 1/2"	2'-6"	6'-1"	4'-0"	36"	5'-0 1/2"	6'-8"	33 3/8"	25"	16 1/8"	14"	4"	3"	3:1

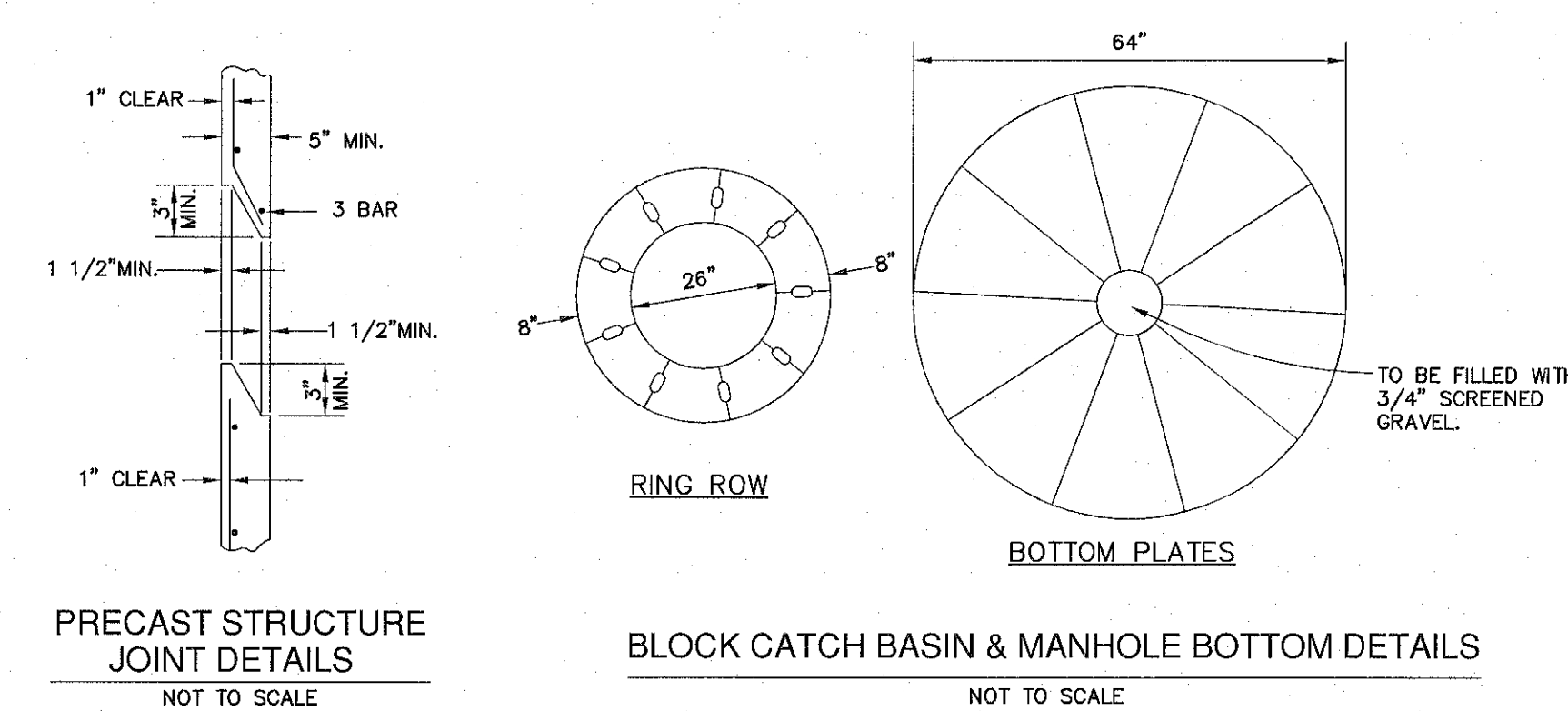
R.C.P. FLARED END SECTION DETAILS  
 NOT TO SCALE



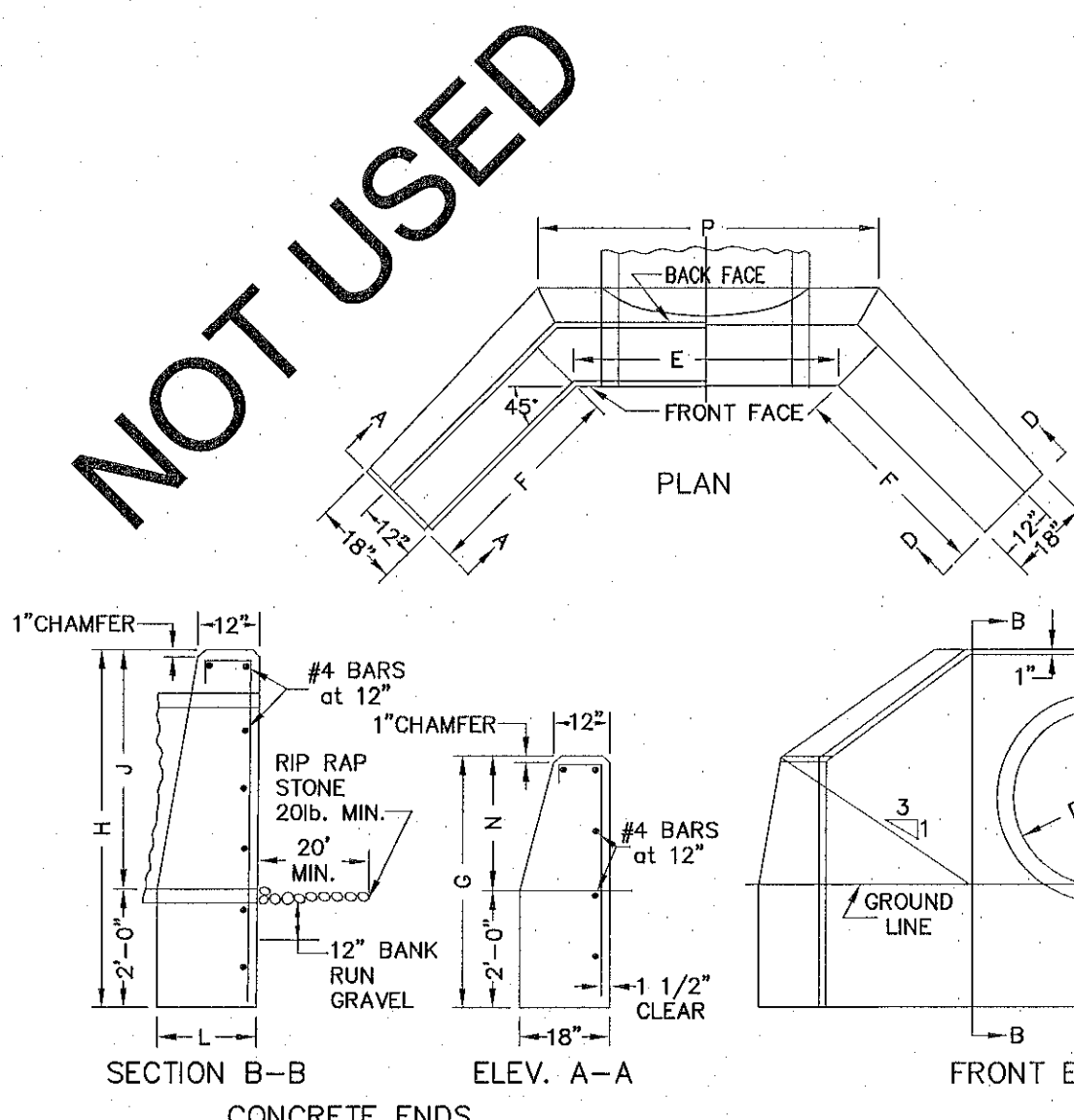
PRECAST CONCRETE CATCH BASIN DETAILS  
 NOT TO SCALE



PRECAST 4' SUMP MANHOLE DETAIL  
 NOT TO SCALE



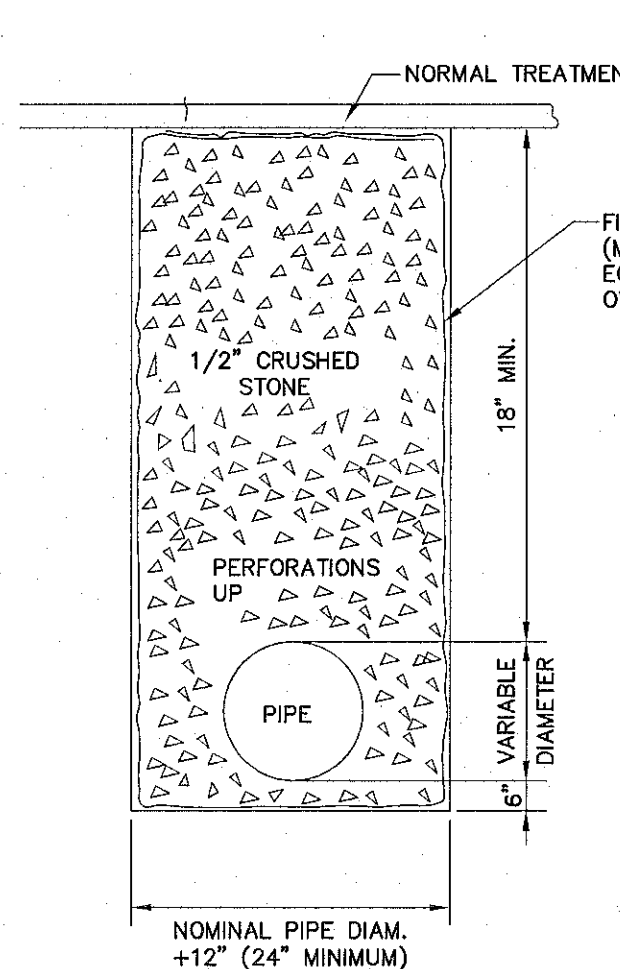
BLOCK CATCH BASIN & MANHOLE BOTTOM DETAILS  
 NOT TO SCALE



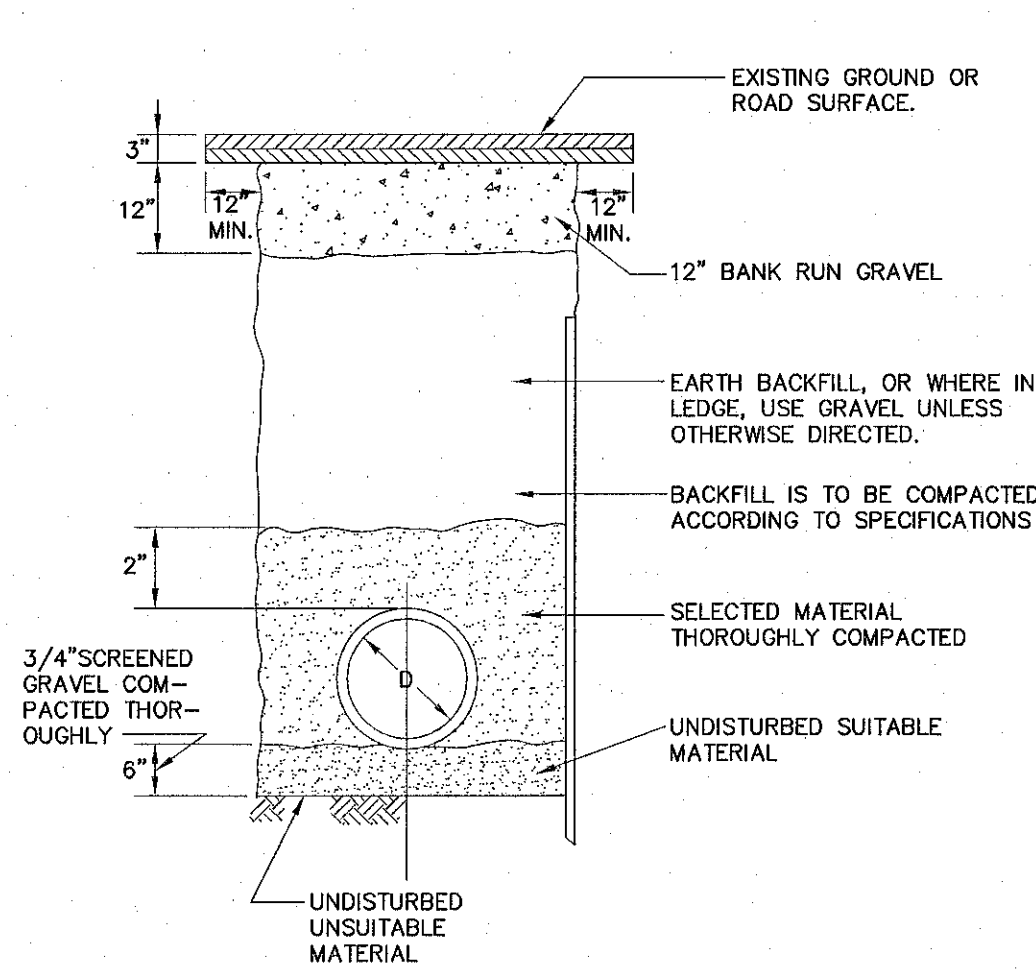
CONCRETE AND FIELD STONE MASONRY HEADWALL/WINGWALL DETAILS  
 NOT TO SCALE

D	E	F	G	H	J	L	N	P
12"	2'-6"	4'-8"	3'-2"	4'-0"	2'-0"	1'-6"	1'-2"	3'-5"
15"	2'-9"	5'-4"	3'-3"	4'-3"	2'-3"	1'-6"	1'-3"	3'-9"
18"	3'-0"	6'-4"	3'-6"	4'-6"	2'-6"	1'-6"	1'-6"	4'-1"
21"	3'-3"	7'-0"	3'-8"	4'-9"	2'-9"	1'-6"	1'-6"	4'-4"
24"	3'-6"	7'-5"	3'-9"	5'-0"	3'-0"	1'-6"	1'-6"	4'-7"
30"	4'-0"	8'-4"	4'-0"	5'-8"	3'-6"	1'-6"	2'-0"	5'-5"
36"	4'-6"	9'-8"	4'-3"	6'-0"	4'-0"	1'-6"	2'-3"	5'-11"
42"	5'-0"	10'-7"	4'-6"	6'-6"	4'-6"	1'-10"	2'-6"	6'-6"
48"	5'-6"	11'-8"	4'-9"	7'-0"	5'-0"	2'-0"	2'-9"	7'-2"

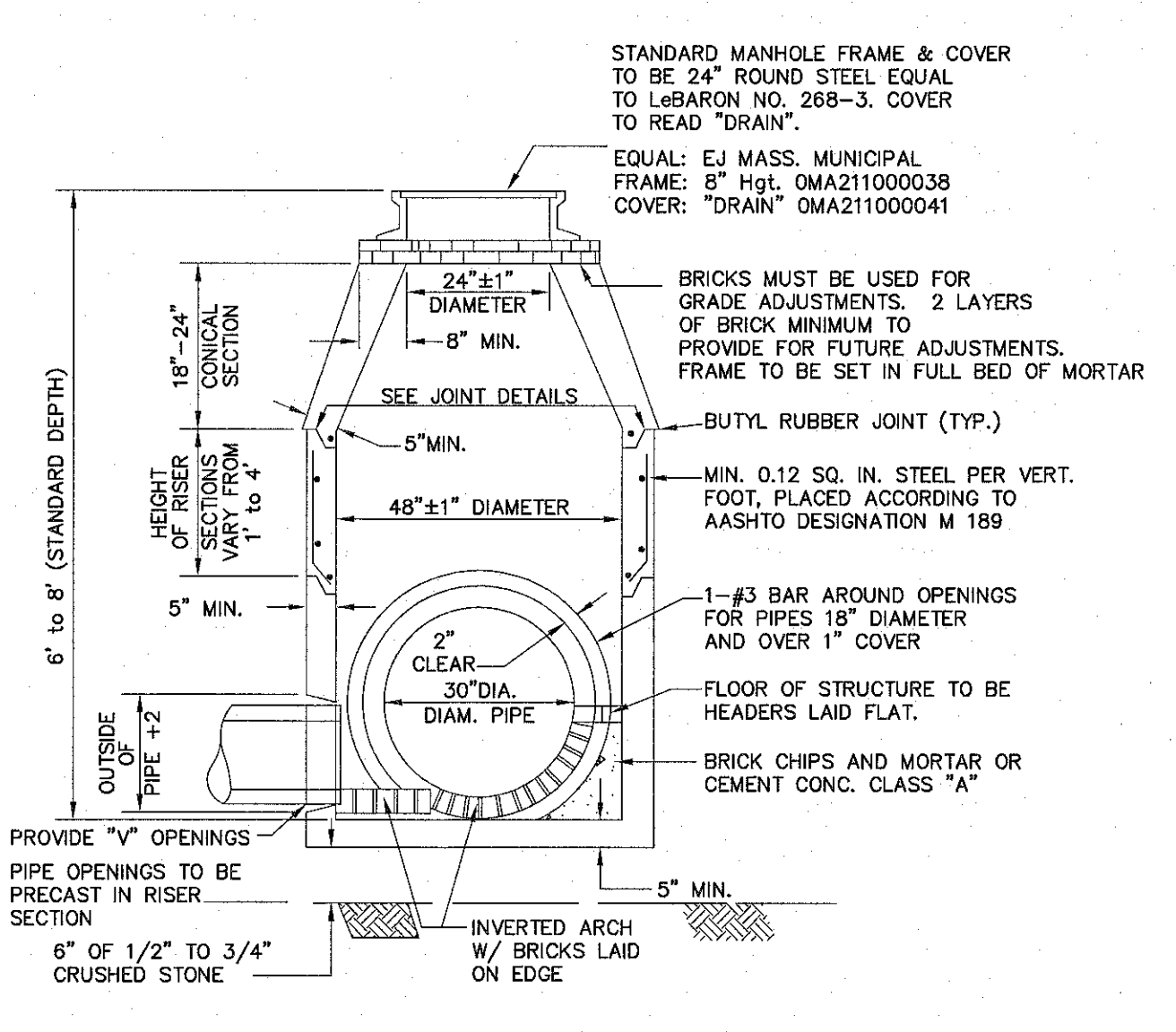
- 1.) ALL CONCRETE DIMENSIONS SHOWN ARE MINIMUM
- 2.) CONCRETE SHALL BE 4000 P.S.I. MINIMUM
- 3.) ALL REINFORCING SHALL BE #4 MINIMUM



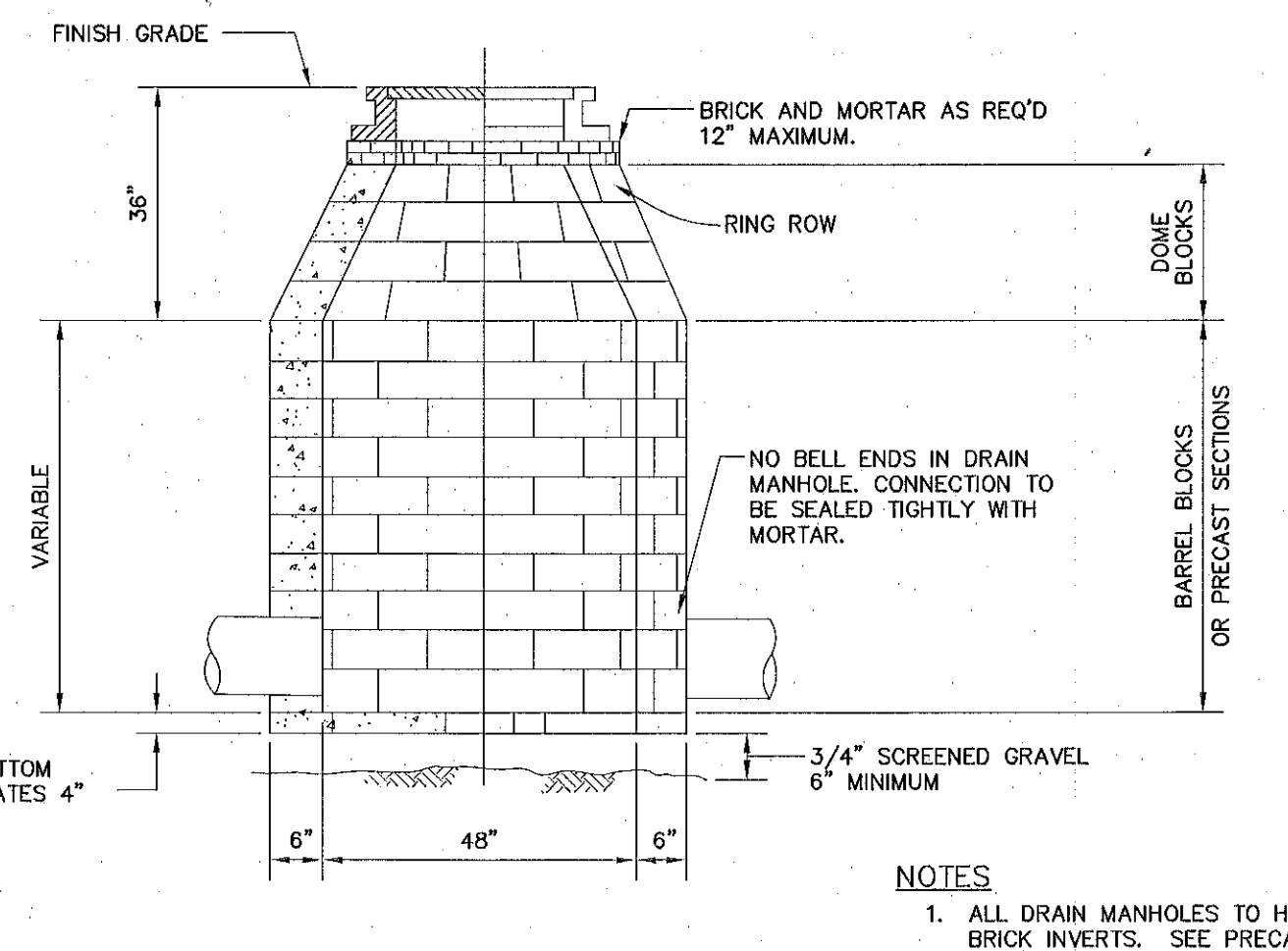
SUBDRAIN DETAILS  
 NOT TO SCALE



TYPICAL DRAIN TRENCH DETAILS  
 NOT TO SCALE



PRECAST CONCRETE MANHOLE DETAILS  
 NOT TO SCALE



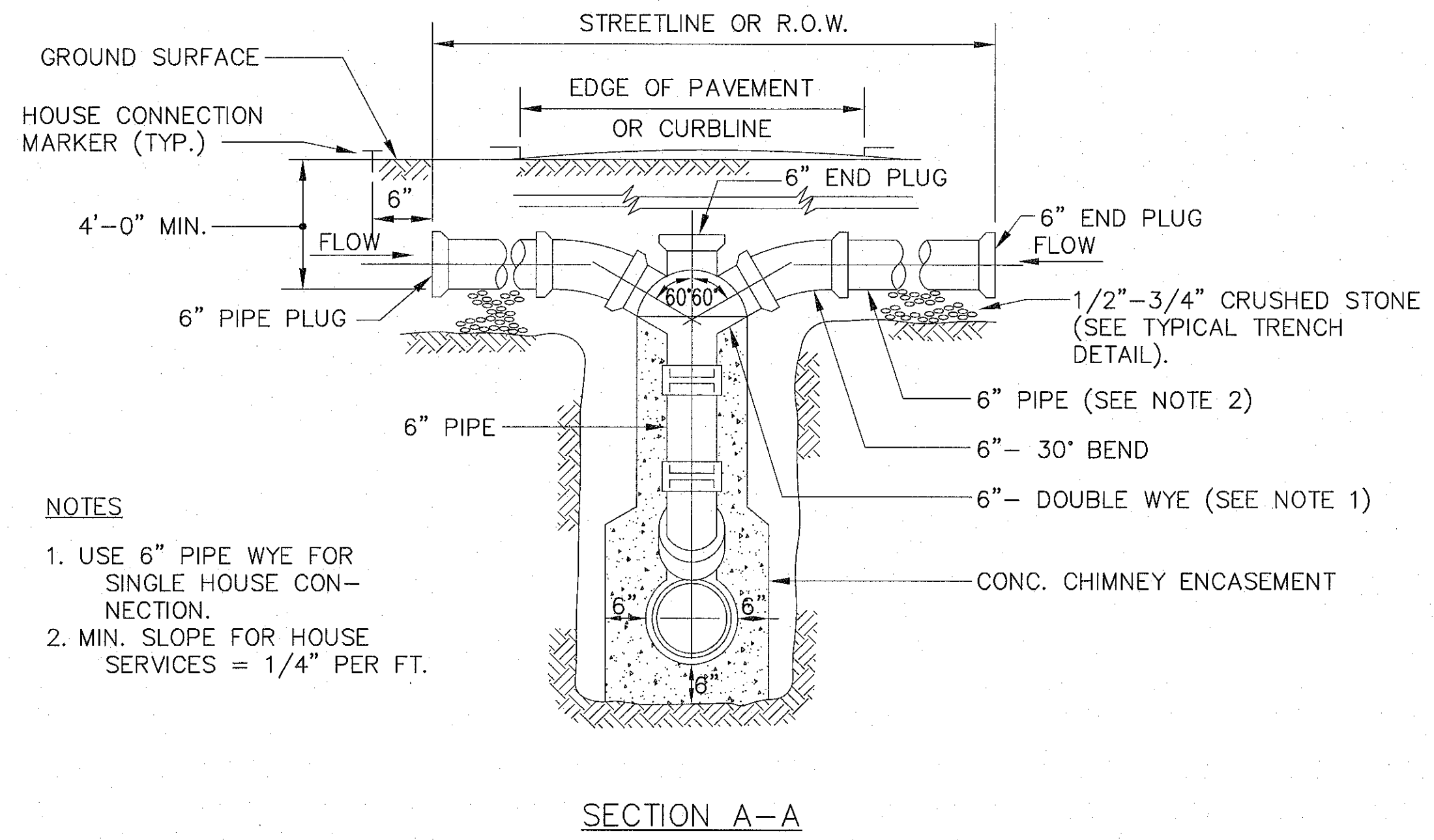
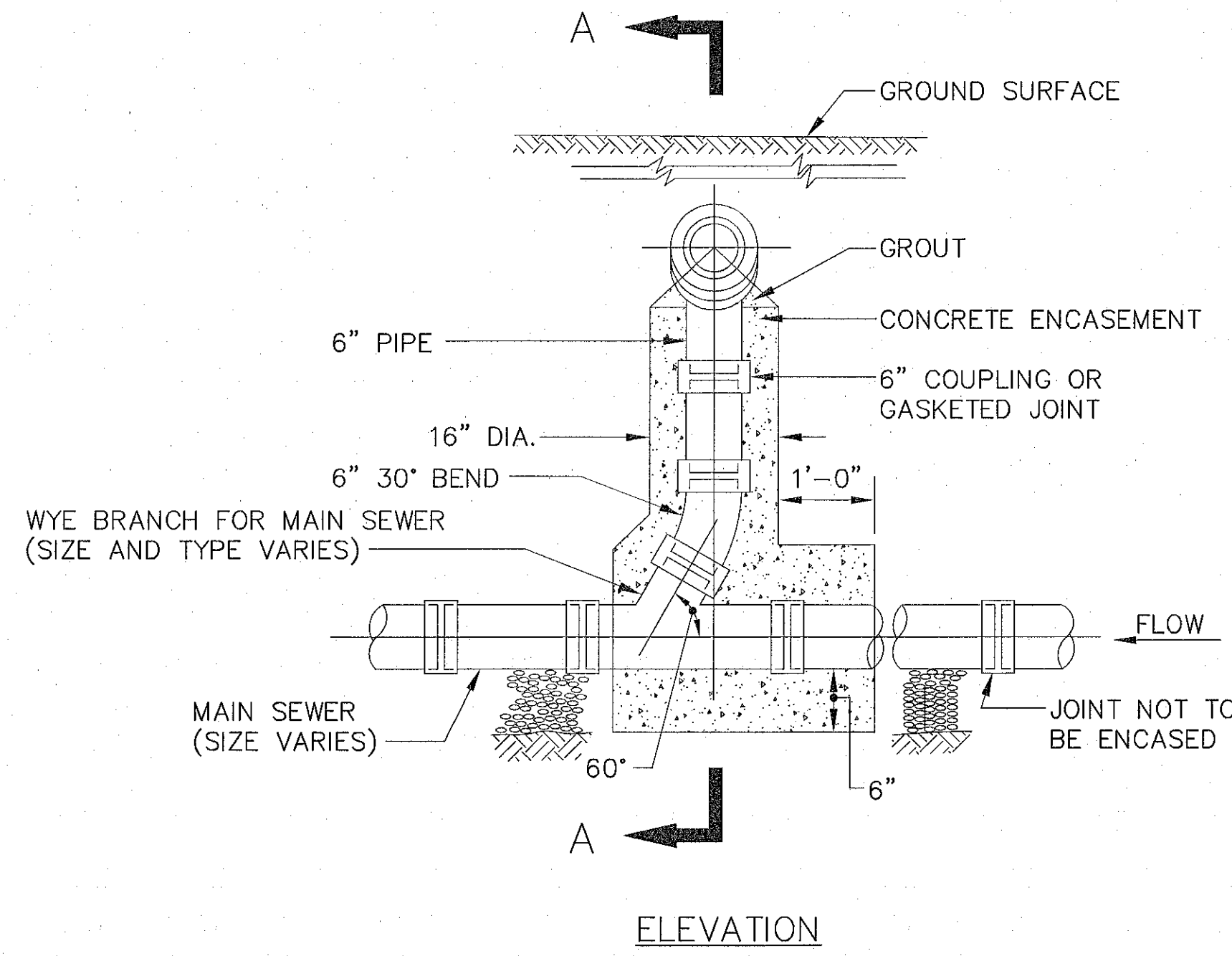
BLOCK DRAIN MANHOLE DETAILS  
 NOT TO SCALE

Note:  
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# TOWN OF WALPOLE, MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS PLAN SHOWING TYPICAL DRAINAGE CONSTRUCTION DETAILS

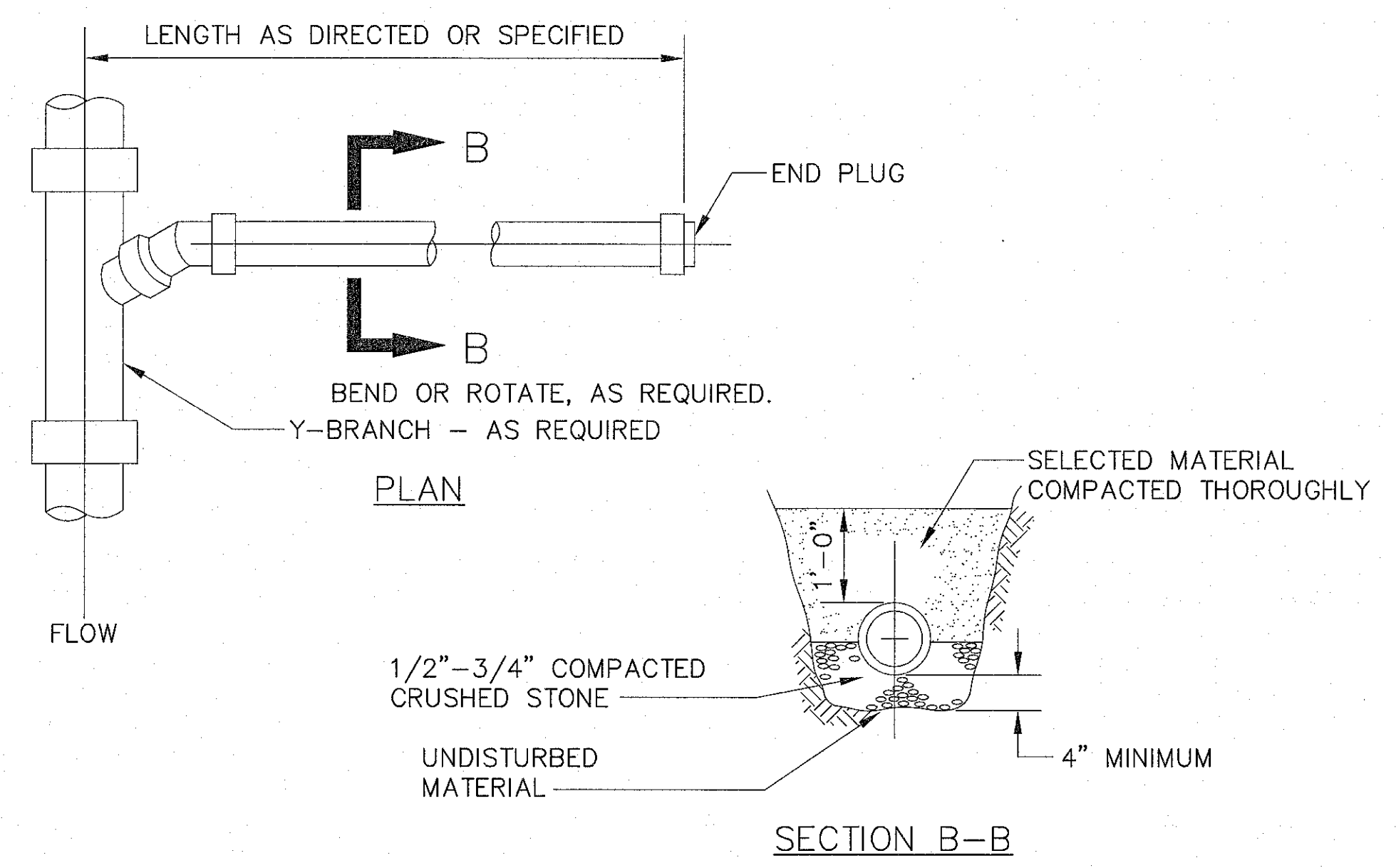
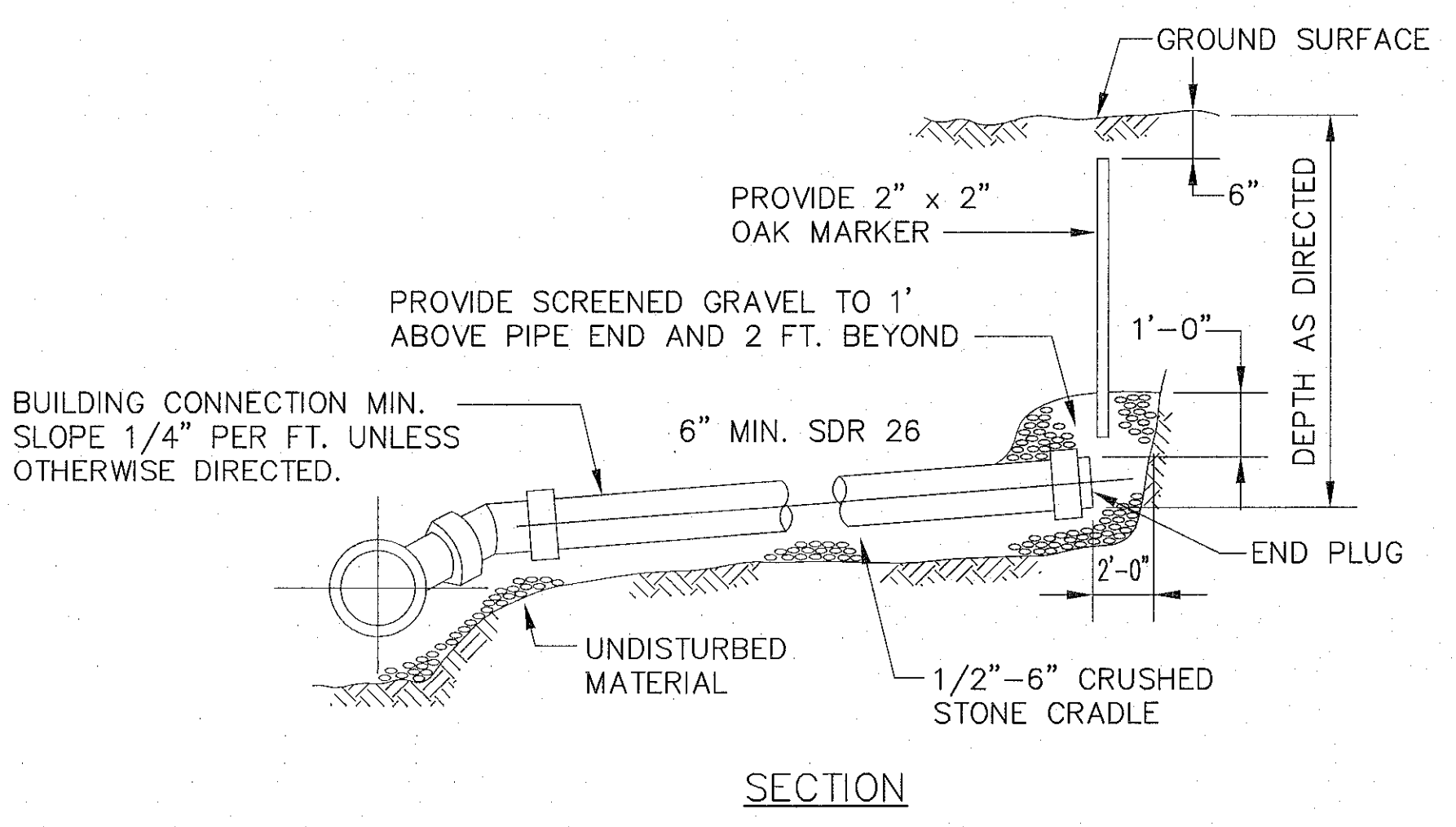
REV. #	DATE	DESCRIPTION	BY
1	7-11-08	DRAWN TO AUTOCAD FILE	MAJ
2	11-08-08	MANY MISC. UPDATES	MAJ



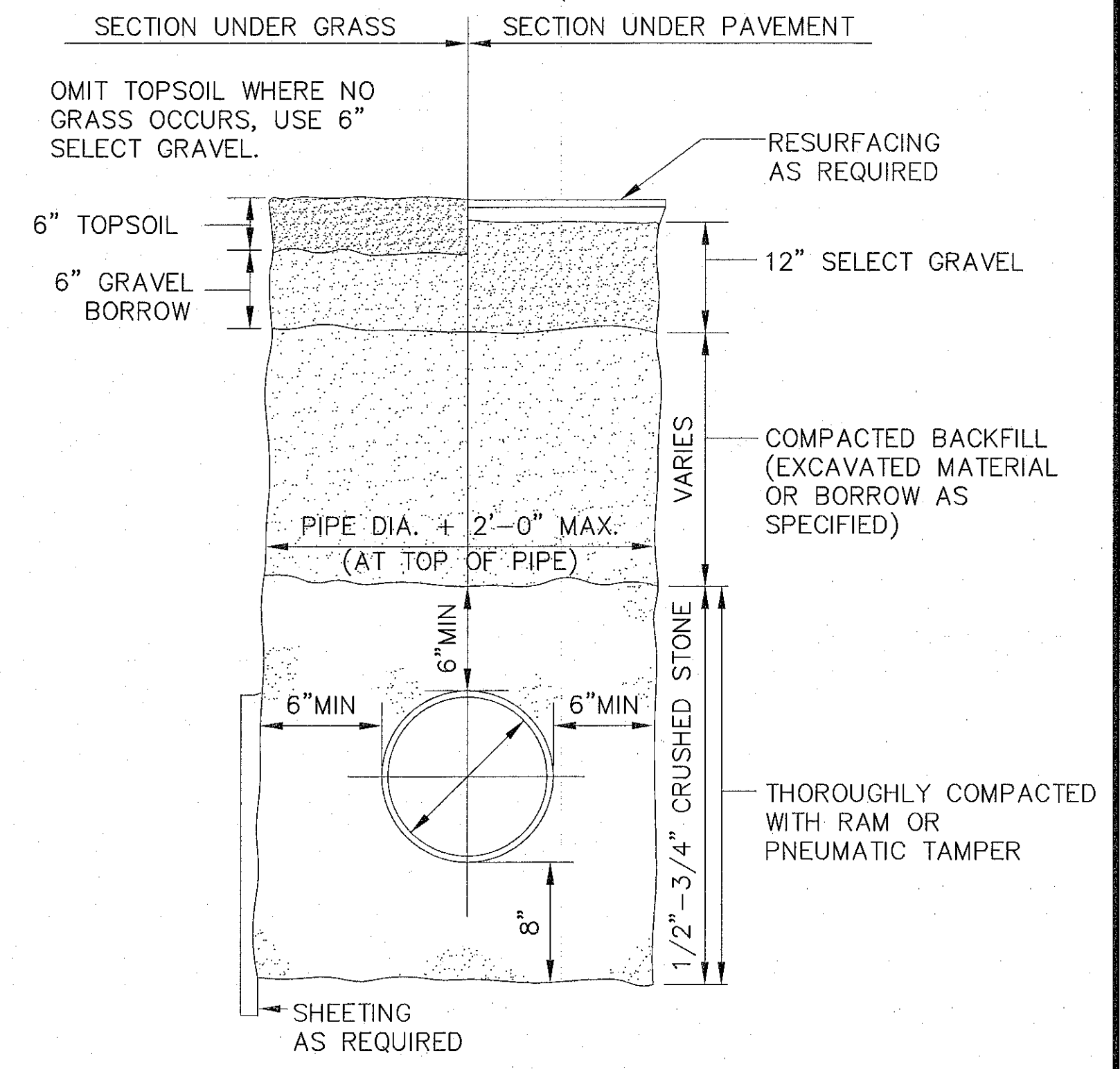


- NOTES**
1. USE 6" PIPE WYE FOR SINGLE HOUSE CONNECTION.
  2. MIN. SLOPE FOR HOUSE SERVICES = 1/4" PER FT.

**TYPICAL HOUSE SERVICE CONNECTION & CHIMNEY DETAIL**  
(FOR MAIN SEWER OVER 8'-0" DEEP)  
NOT TO SCALE



**TYPICAL BUILDING CONNECTION**  
NOT TO SCALE



**TYPICAL SEWER TRENCH DETAIL**  
NOT TO SCALE

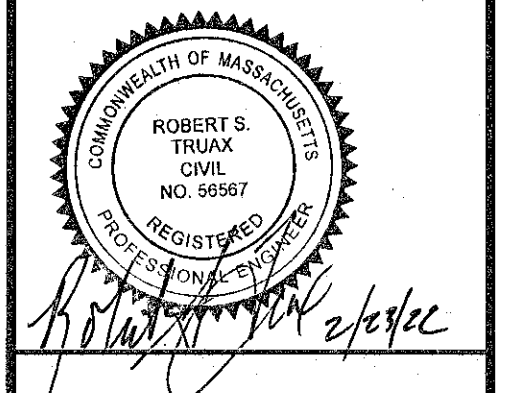
**Note:**  
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**TOWN OF WALPOLE, MASSACHUSETTS  
DEPARTMENT OF PUBLIC WORKS  
PLAN SHOWING TYPICAL  
SEWAGE CONSTRUCTION DETAILS**

REV. #	DATE	DESCRIPTION	BY
1	7-11-08	DRAWN TO AUTOCAD FILE	MAJ
2	11-28-08	MANY REVC. UPDATED	MAJ

REVISIONS	DESCRIPTION
No.	DATE
1	05/21/20
2	10/22/20
3	02/23/22

DATE	DESCRIPTION
05/21/20	DRAINAGE SYSTEM
10/22/20	CONSERVATION COMMENTS
02/23/22	ZBA COMMENTS: REDUCE TO 38 UNITS

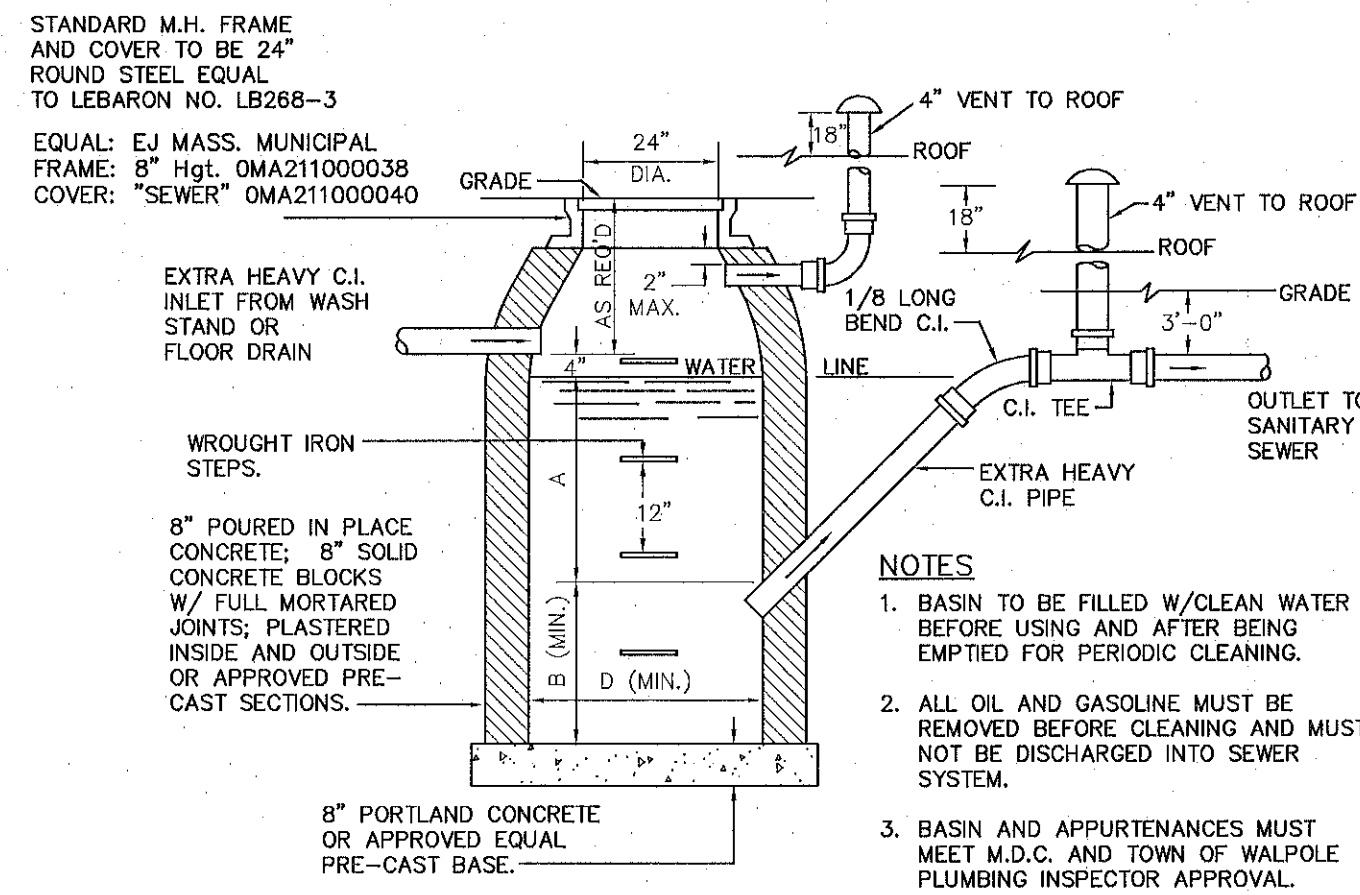


AMENDED SITE DEVELOPMENT PLAN  
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DRW:	rst
JOB No.	15,588
DATE:	APRIL 21, 2020
SCALE:	1" = 30'
SHEET:	10 of 12
PLAN #:	27,096

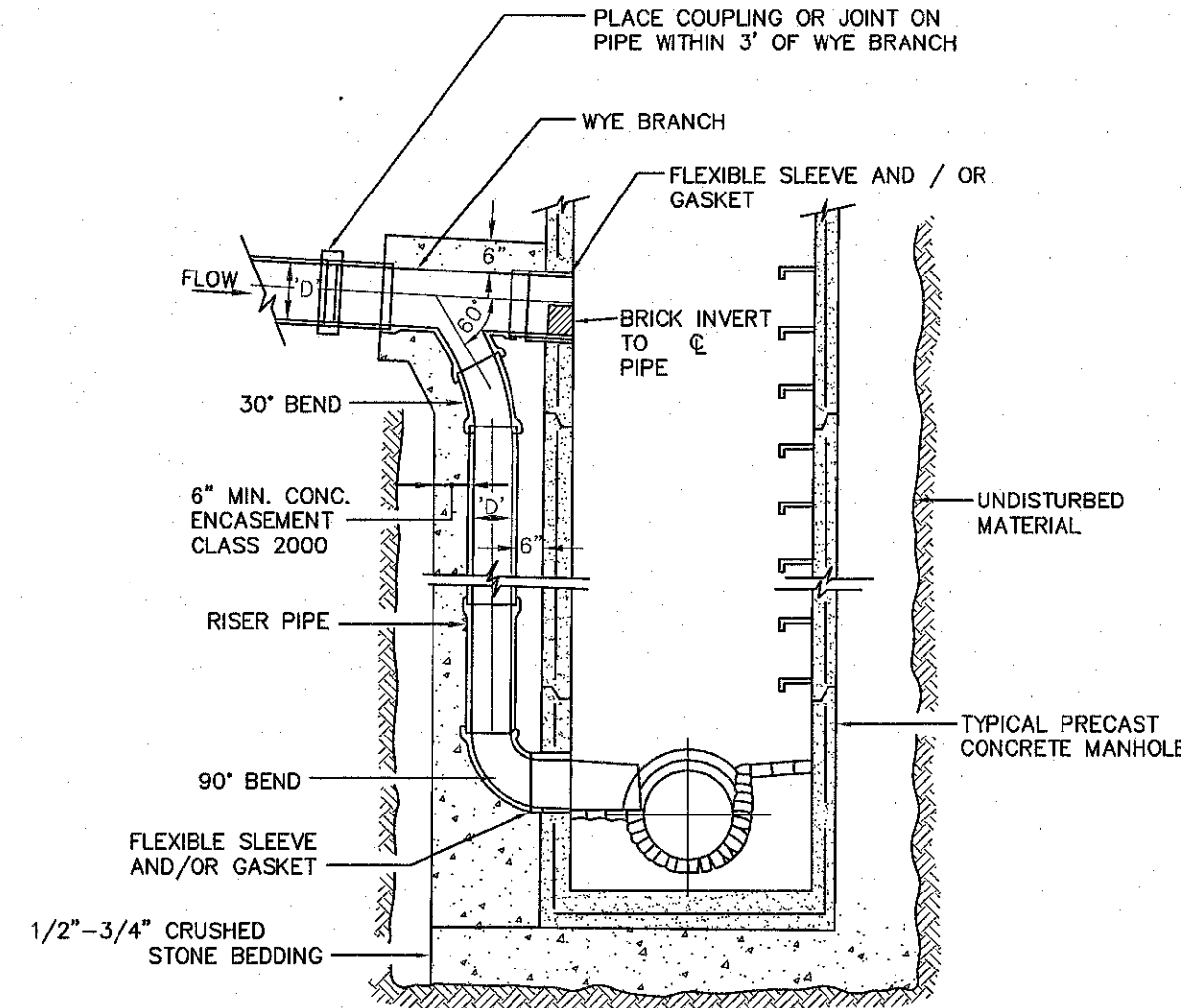




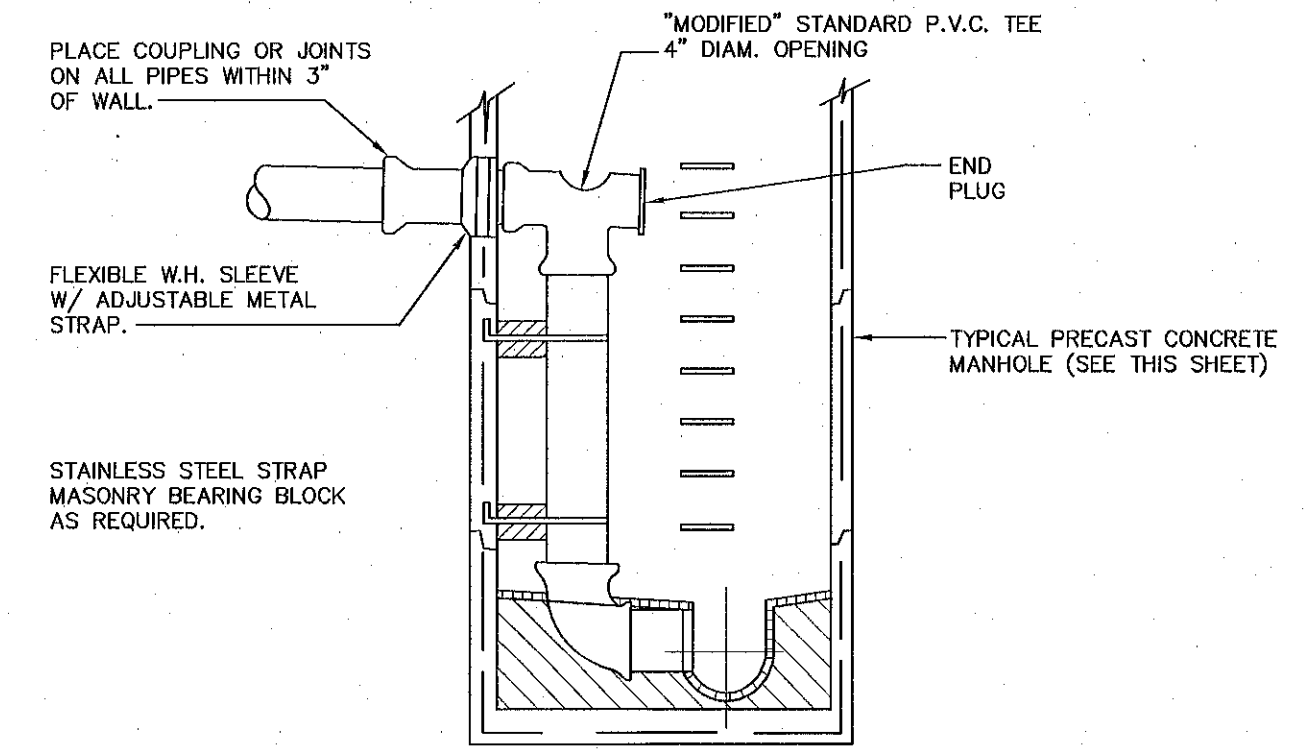
STANDARD M.D.C. CATCH BASIN & GASOLINE TRAP DETAILS  
NOT TO SCALE

INLET	D	A	B
4"	4'-0" 3'-6"	2'-3" 3'-0"	1'-11" 2'-6"
5"	3'-6" 4'-0" 4'-0"x4'-0"	5'-0" 4'-0" 3'-0"	4'-0" 3'-0" 2'-6"
6"	4'-0" 4'-0"x4'-0" 5'-0" 5'-0"x5'-0"	5'-0" 4'-0" 3'-6" 3'-0"	4'-6" 3'-6" 3'-0" 2'-6"
8"	5'-0" 5'-6" 6'-0" 6'-0"x6'-0" 6'-6"	6'-0" 4'-6" 4'-0" 3'-6" 3'-0"	5'-0" 4'-0" 3'-6" 2'-6" 2'-6"

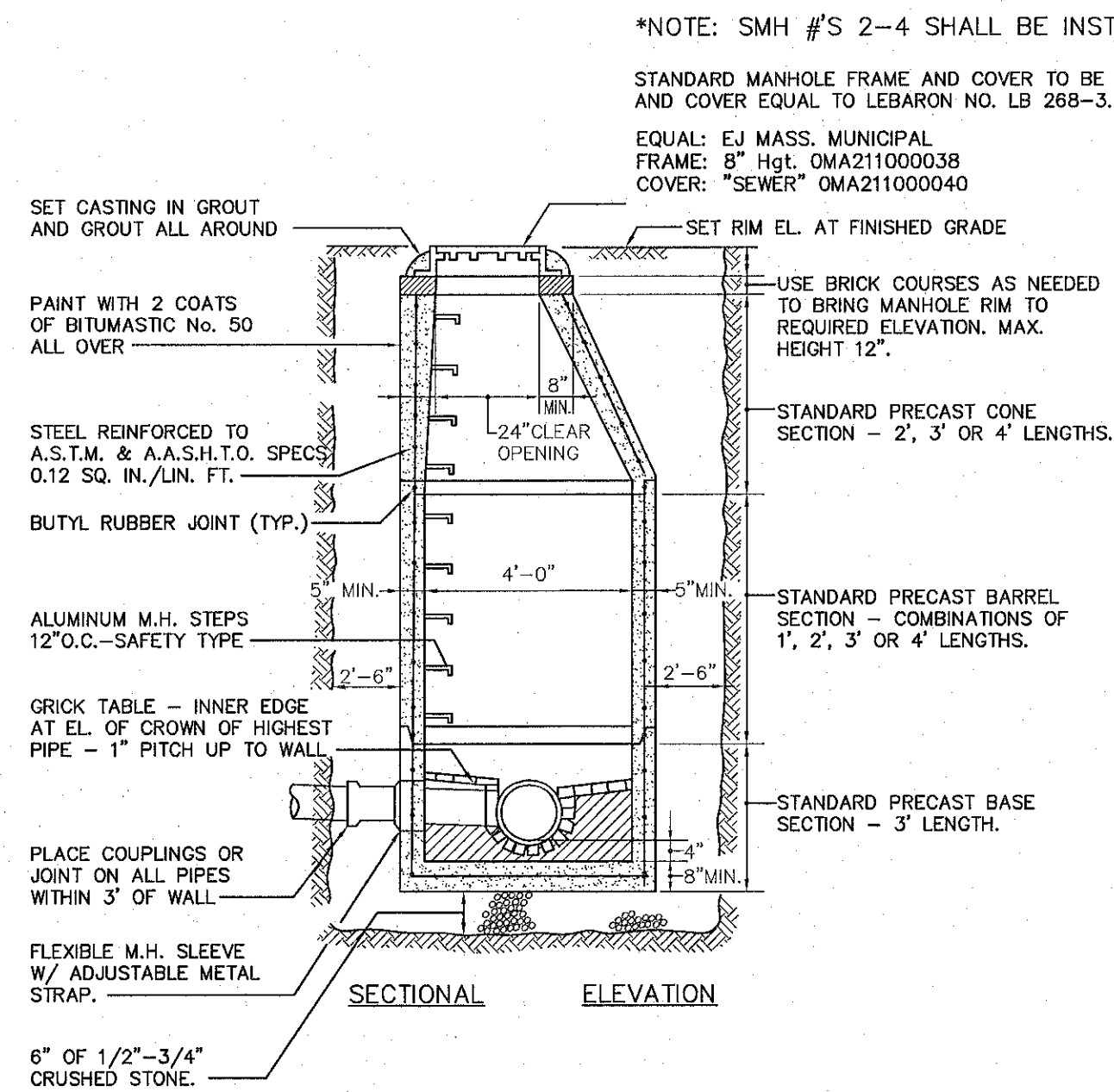
NOTE:  
FOR INLETS LARGER THAN 8", THE DESIGN AND DIMENSIONS WILL BE DETERMINED FOR EACH PARTICULAR CASE.  
CIRCULAR BASINS ARE RECOMMENDED.



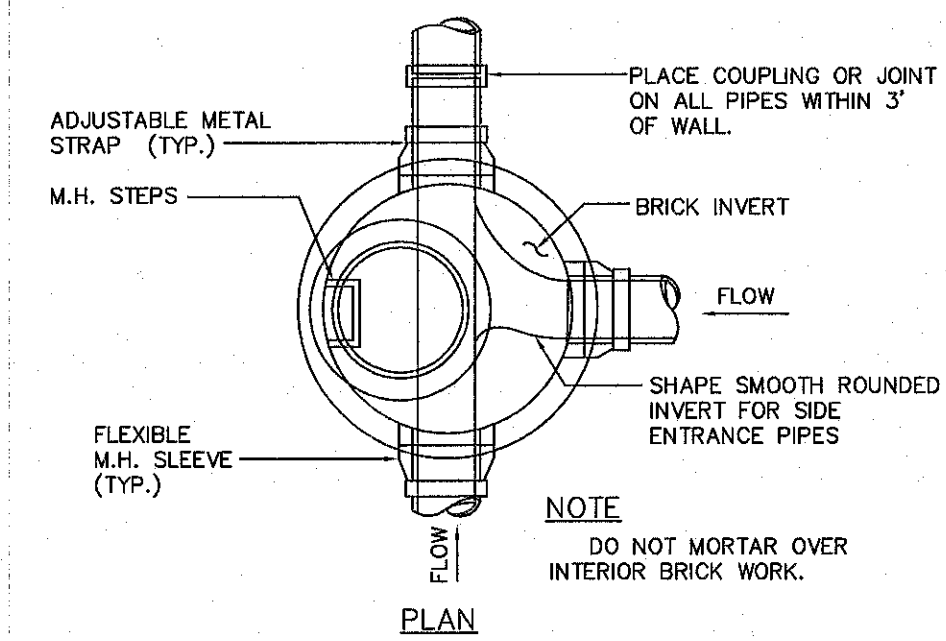
TYPICAL OUTSIDE DROP INLET MANHOLE DETAILS  
NOT TO SCALE



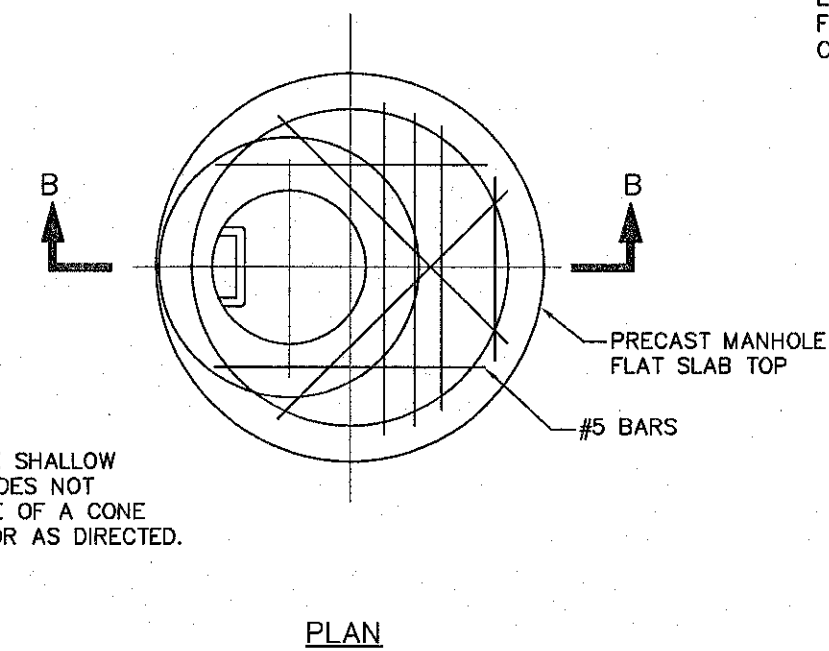
TYPICAL INSIDE DROP INLET MANHOLE DETAILS  
NOT TO SCALE



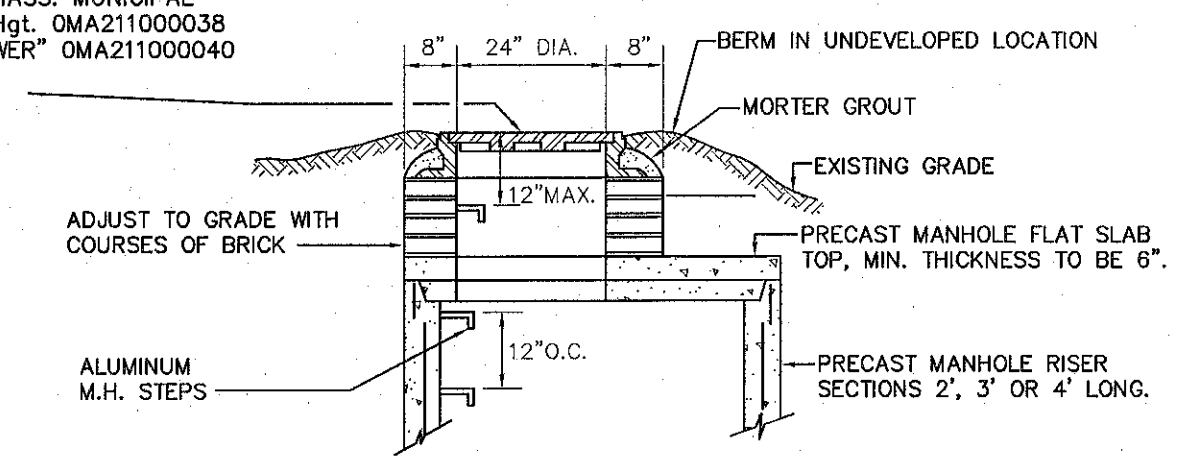
TYPICAL PRECAST CONCRETE SEWER MANHOLE DETAILS  
NOT TO SCALE



NOTE  
FOR USE WHERE SHALLOW INSTALLATION DOES NOT PERMIT THE USE OF A CONE TYPE SECTION OR AS DIRECTED.



FLAT TOP SECTION  
NOT TO SCALE



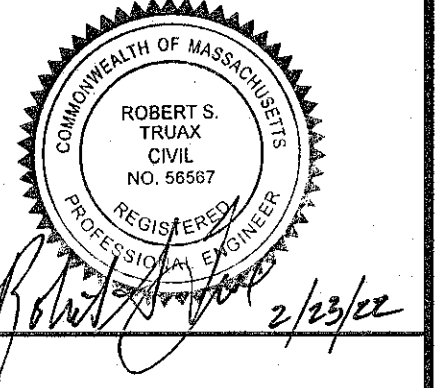
SECTION B-B

Note:  
1) All details are subject to change without notice. Check with the Town of Walpole prior to using these details for the most up to date revisions.

TOWN OF WALPOLE, MASSACHUSETTS  
DEPARTMENT OF PUBLIC WORKS  
PLAN SHOWING TYPICAL  
SEWERAGE CONSTRUCTION DETAILS

REV. #	DATE	DESCRIPTION	BY
1	7-11-08	DRAWN TO AUTOCAD FILE	MAJ
2	11-20-08	UPDATES	MAJ

REV. NO.	DATE	DESCRIPTION
1	05/21/20	DRAINAGE SYSTEM
2	10/22/20	CONSERVATION COMMENTS
3	02/23/22	ZBA COMMENTS, REDUCE TO 36 UNITS

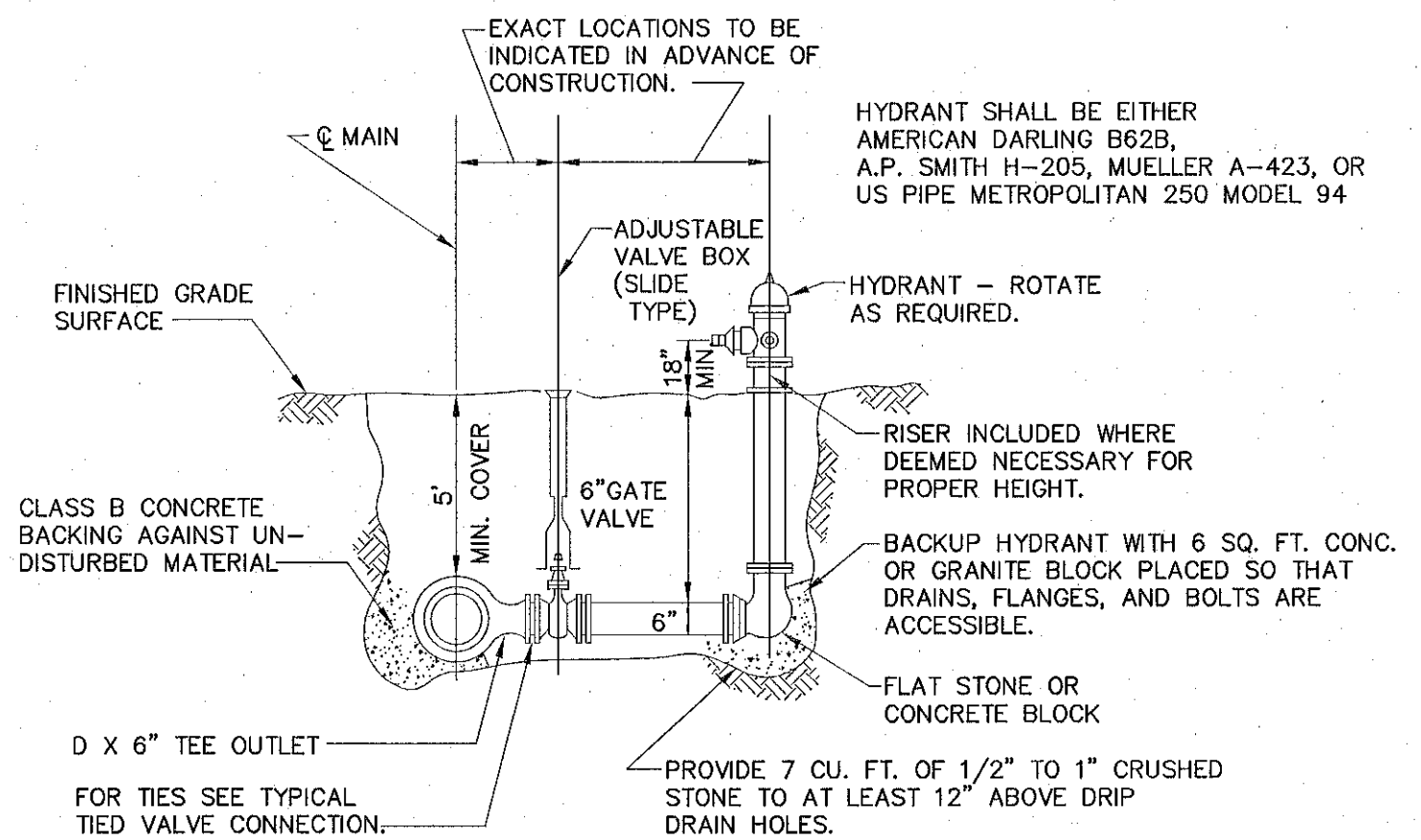


AMENDED SITE DEVELOPMENT PLAN  
A COMPREHENSIVE PERMIT M.G.L.C. 40B  
"THE RESIDENCES AT BURNS AVENUE"  
WALPOLE, MASSACHUSETTS  
APPLICANT:  
WALL STREET DEVELOPMENT CORP.  
P.O. BOX 272  
WESTWOOD, MA 02090

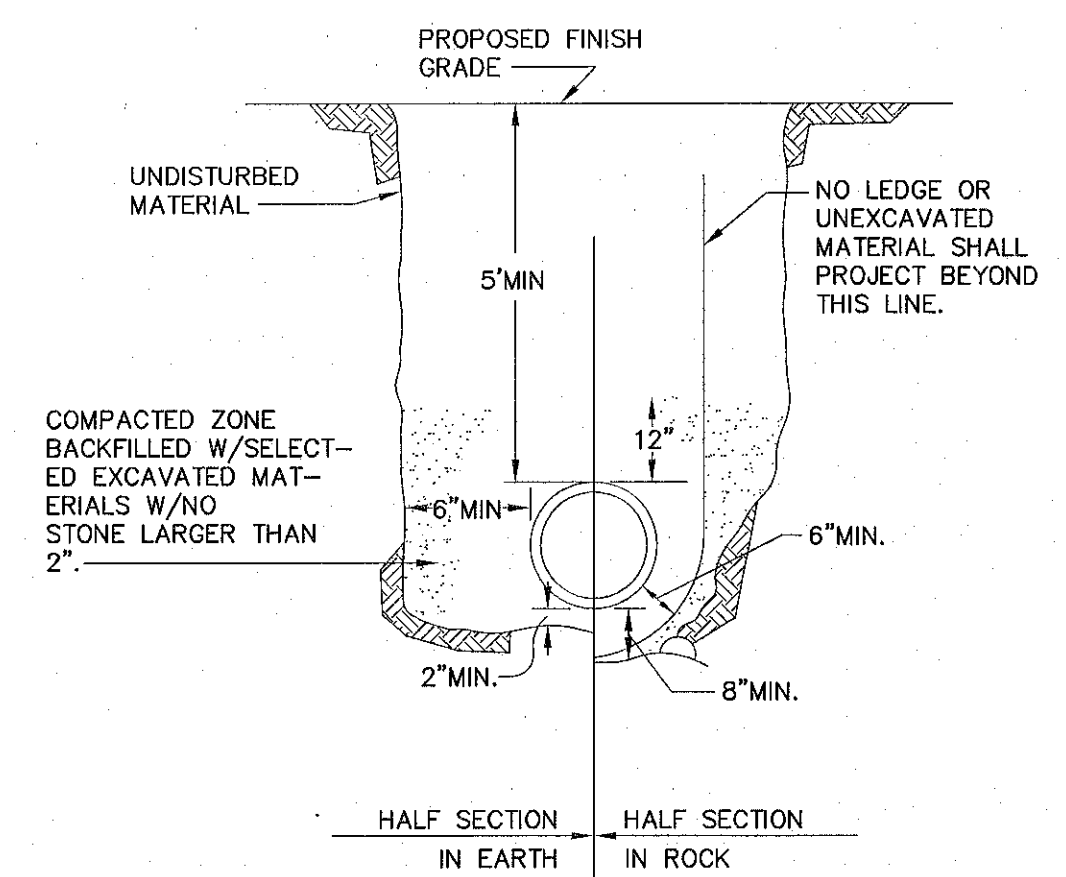
GLM Engineering Consultants, Inc.  
19 EXCHANGE STREET  
HOLLISTON, MA 01746  
P: 508-429-1100  
F: 508-429-7160  
www.GLMengineering.com

DRW.: rst  
JOB No. 15,588  
DATE: APRIL 21, 2020  
SCALE: 1"= 30'  
SHEET: 11 of 12  
PLAN #: 27,096

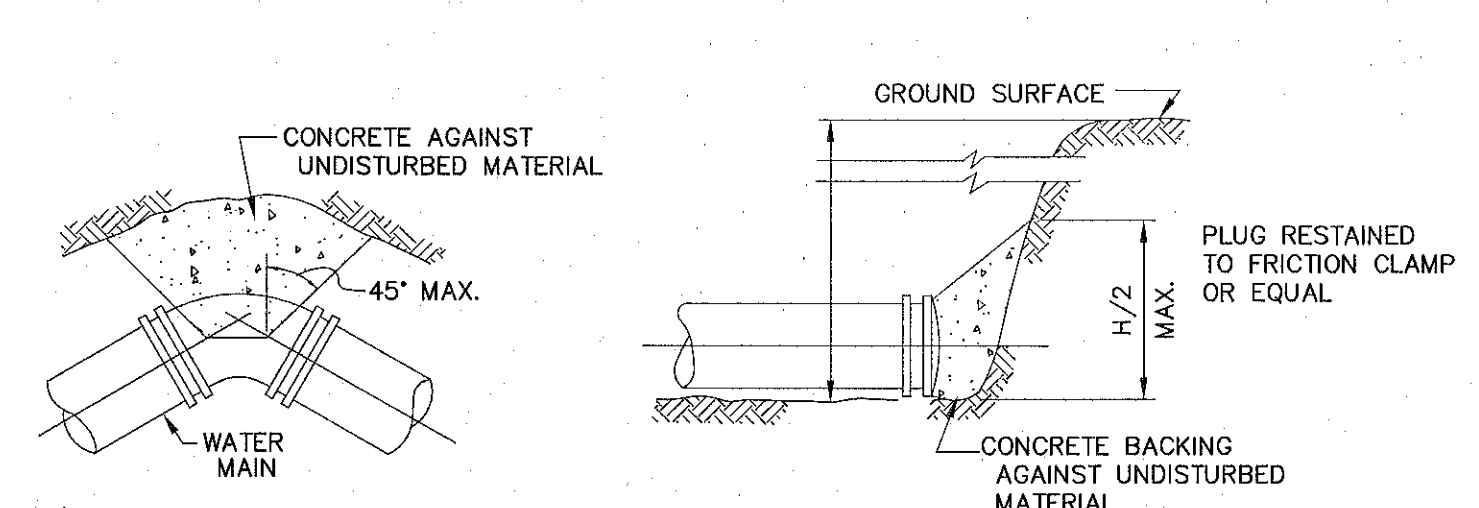




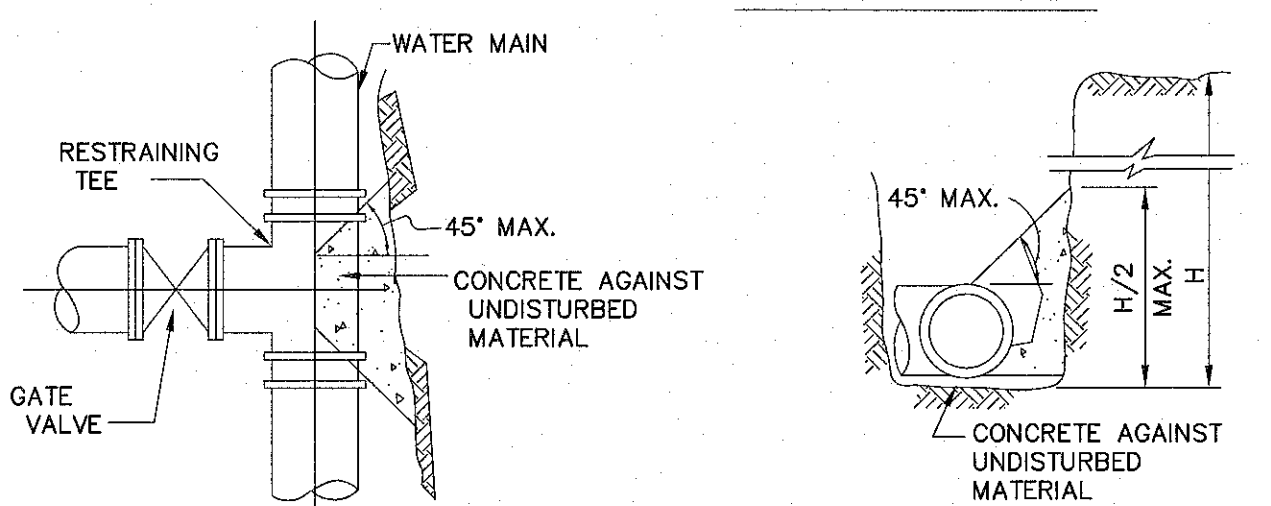
**TYPICAL HYDRANT ASSEMBLY DETAIL**  
NOT TO SCALE



**WATER MAIN TRENCH DETAIL**  
NOT TO SCALE



**TYPICAL BEND**      **TYPICAL PLUG**

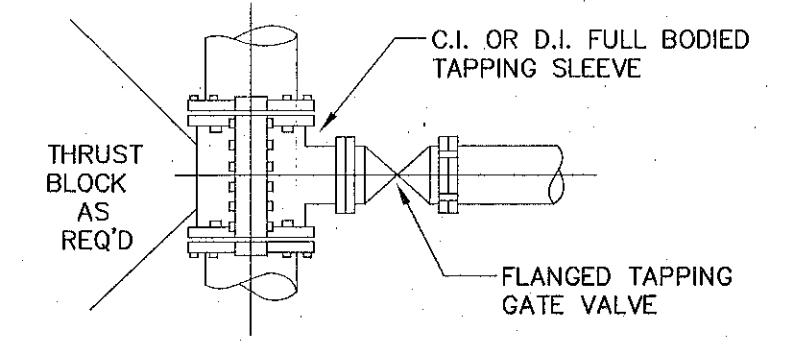


**TYPICAL TEE**      **TYPICAL SECTION**

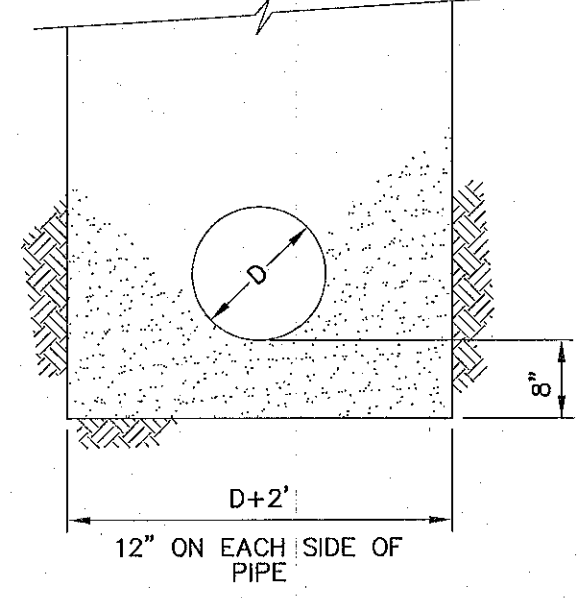
NOTE: CONCRETE FOR THRUST BLOCKS SHALL BE NO LONGER THAN THE RATIO OF 2 1/2 : 5 1/2 AND SHALL HAVE A MINIMUM COMPRESSION STRENGTH OF 2000 PSI (SO THAT FLANGES AND BOLTS ARE ACCESSIBLE.)

PIPE SIZE INCHES	1/4 BEND	1/8 BEND	1/16 BEND OR LESS	PLUG TEES
6 AND 8	8	8	8	8
10 AND 12	22	13	8	16

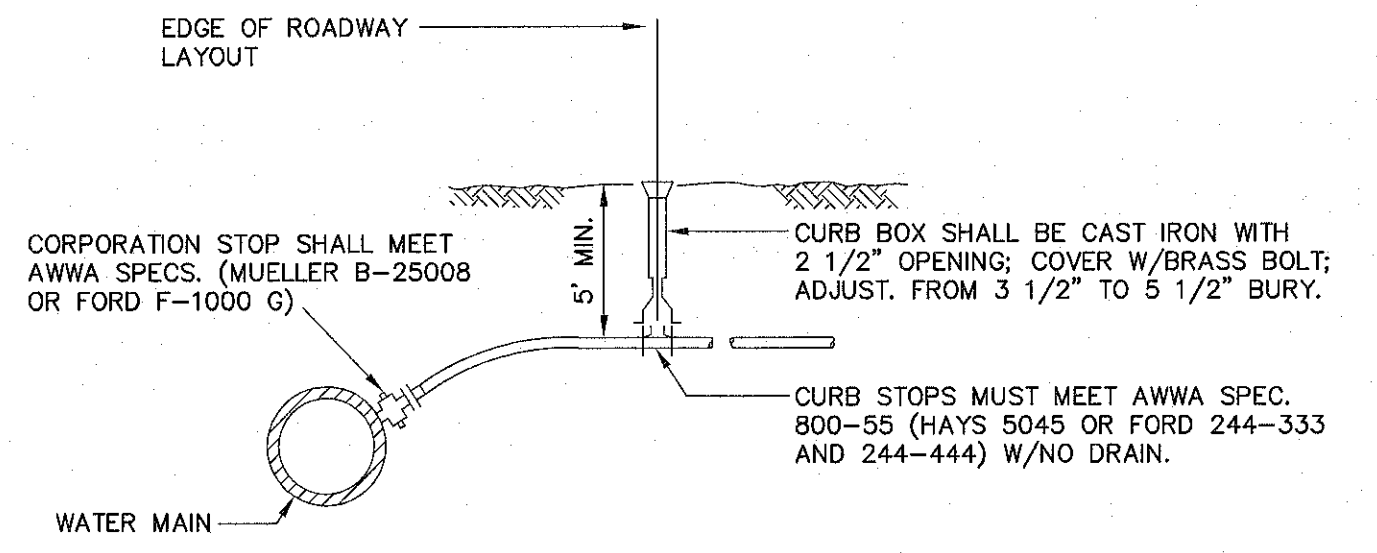
**TYPICAL THRUST BLOCK DETAIL**  
NOT TO SCALE



**TAPPING SLEEVE AND VALVE DETAILS**  
NOT TO SCALE

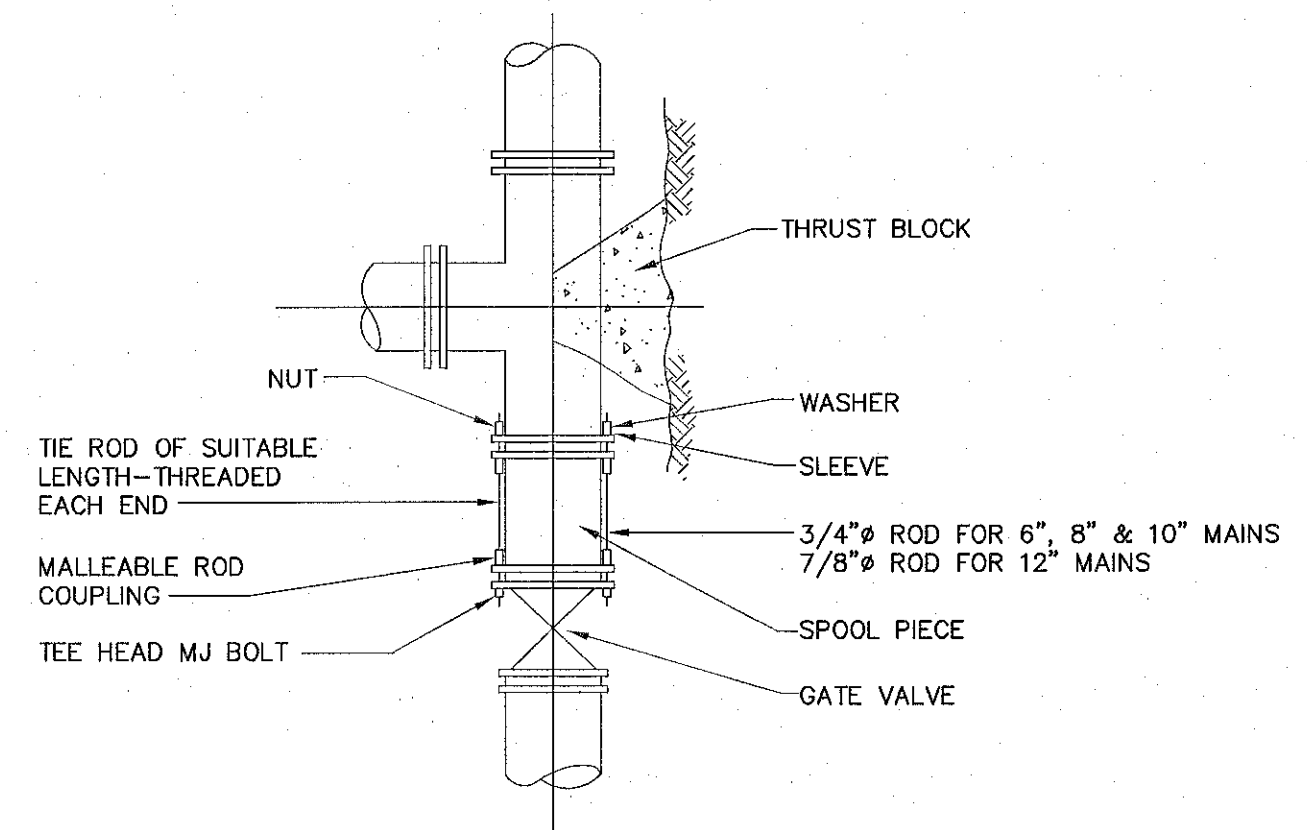


**PAYMENT LIMIT FOR LEDGE EXCAVATION**  
NOT TO SCALE

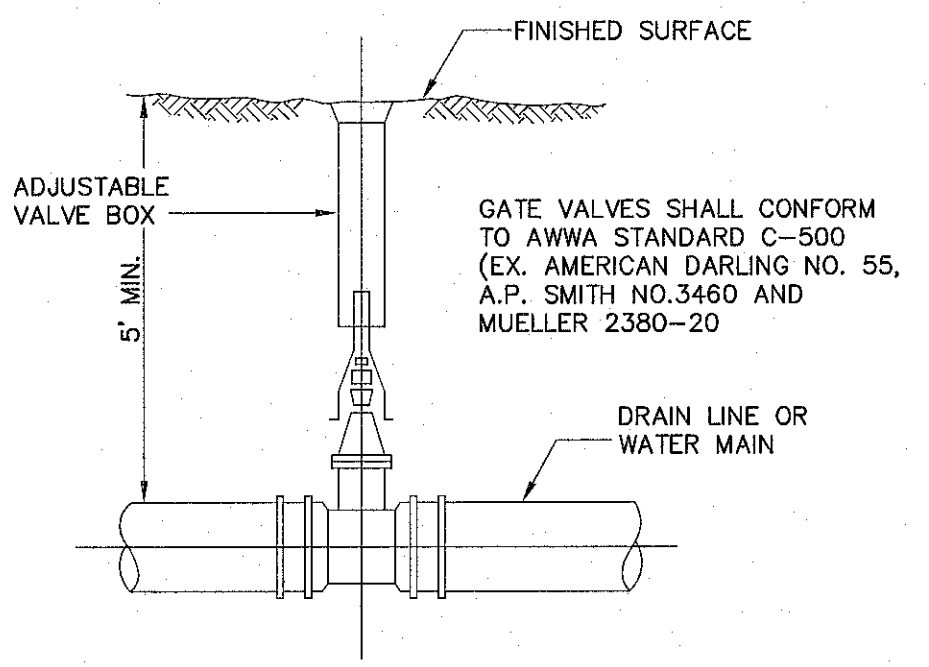


NOTE:  
1\"/>

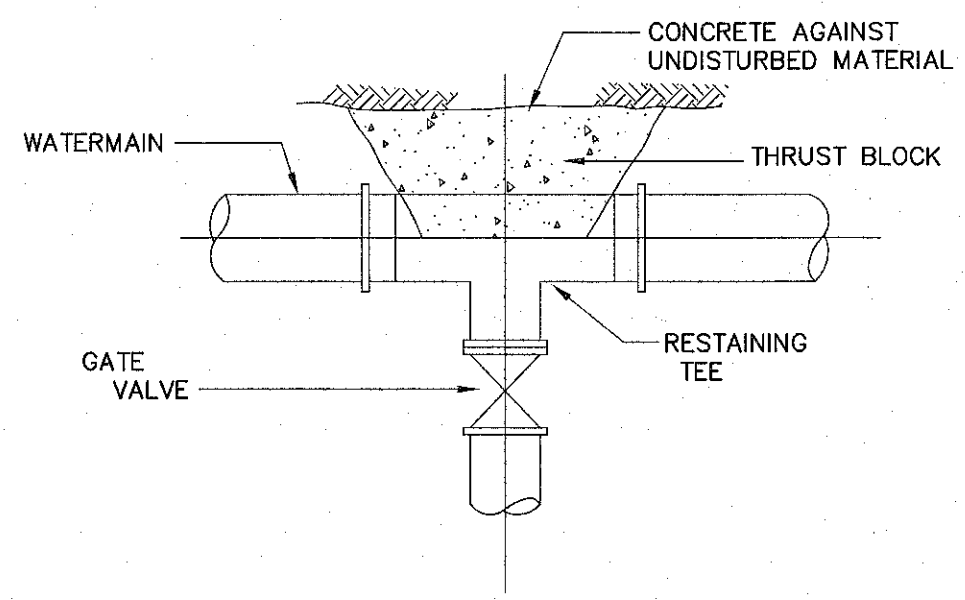
**TYPICAL SERVICE CONNECTION**  
NOT TO SCALE



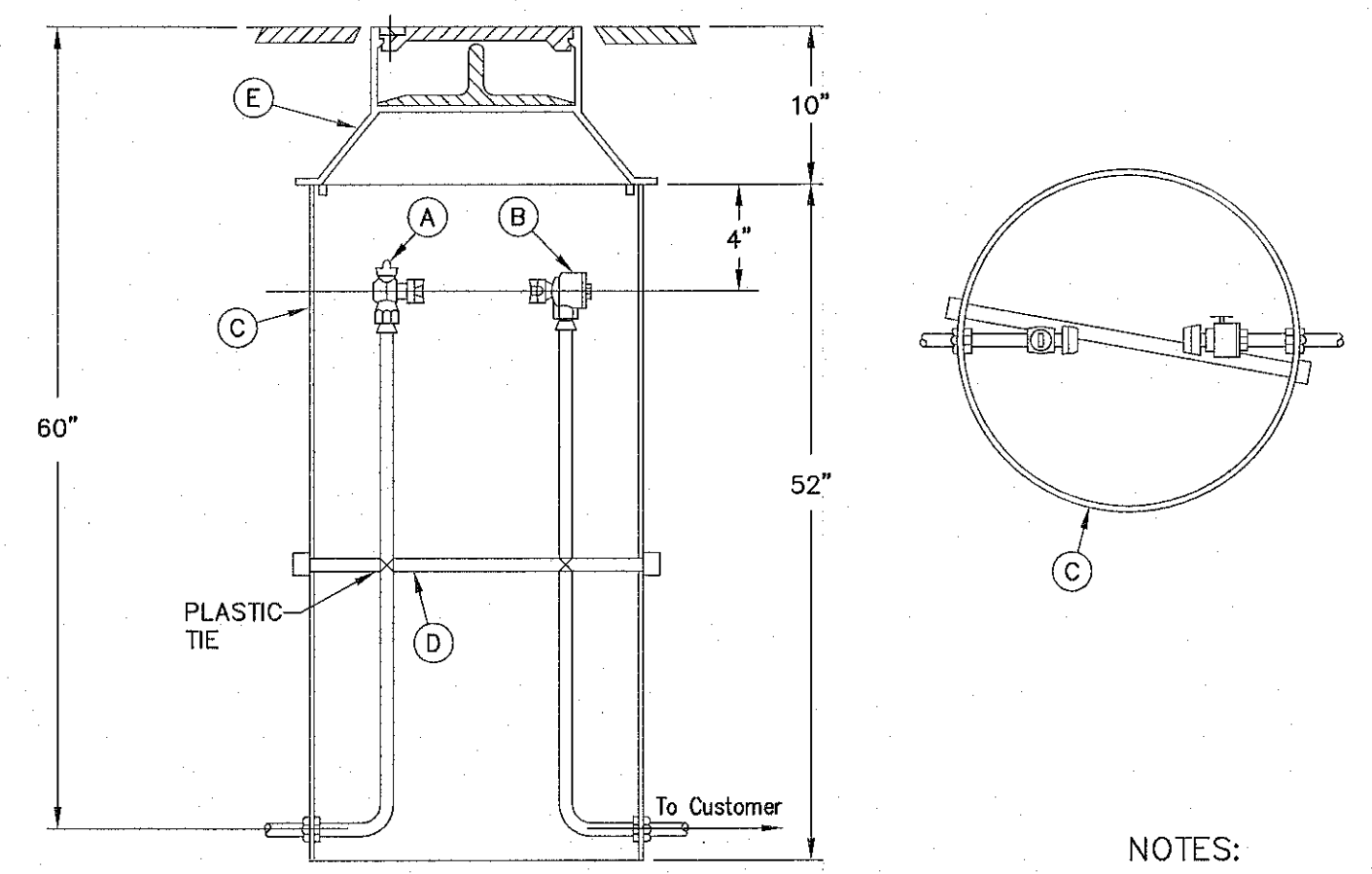
**TYPICAL TIED MECHANICAL JOINT VALVE CONNECTION DETAILS**  
NOT TO SCALE



**TYPICAL GATE VALVE**  
NOT TO SCALE



**TYPICAL LATERAL GATE VALVE CONNECTION DETAILS**  
NOT TO SCALE



ITEM	DESCRIPTION	CAT No.
A	ANGLE BALL VALVE	BA13-232W
B	DUAL ANGLE CHECK VALVE	HA31-3230
C	20\"/>	

\* ORDERED SEPARATELY

**METER PIT SPECIFICATIONS**  
NOT TO SCALE

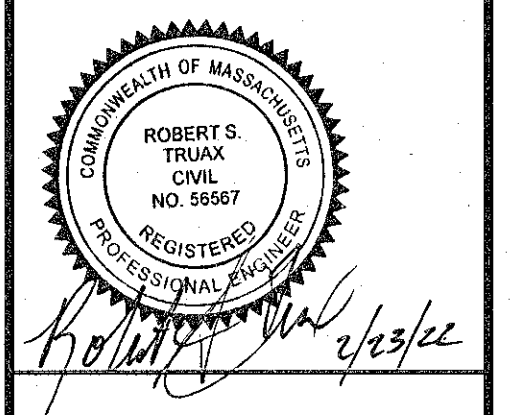
- NOTES:
- ALL SERVICE SHALL ENTER THE PIT AT A 90° ANGLE TO THE STREET.
  - TO BE USED FOR DWELLINGS WHICH EXCEED A DISTANCE OF 200' FROM FRONT PROPERTY LINES.

Note:  
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**TOWN OF WALPOLE, MASSACHUSETTS  
DEPARTMENT OF PUBLIC WORKS  
PLAN SHOWING TYPICAL  
WATER MAIN CONSTRUCTION DETAILS**

REV. #	DATE	DESCRIPTION	BY
1	7-11-06	DRAWN TO AUTOCAD FILE	MAJ
2	11-08-08	UPDATES	MAJ

NO.	DATE	DESCRIPTION
1	05/21/20	DRAINAGE SYSTEM
2	10/22/20	CONSERVATION COMMENTS
3	02/23/22	ZBA COMMENTS: REDUCE TO 38 UNITS

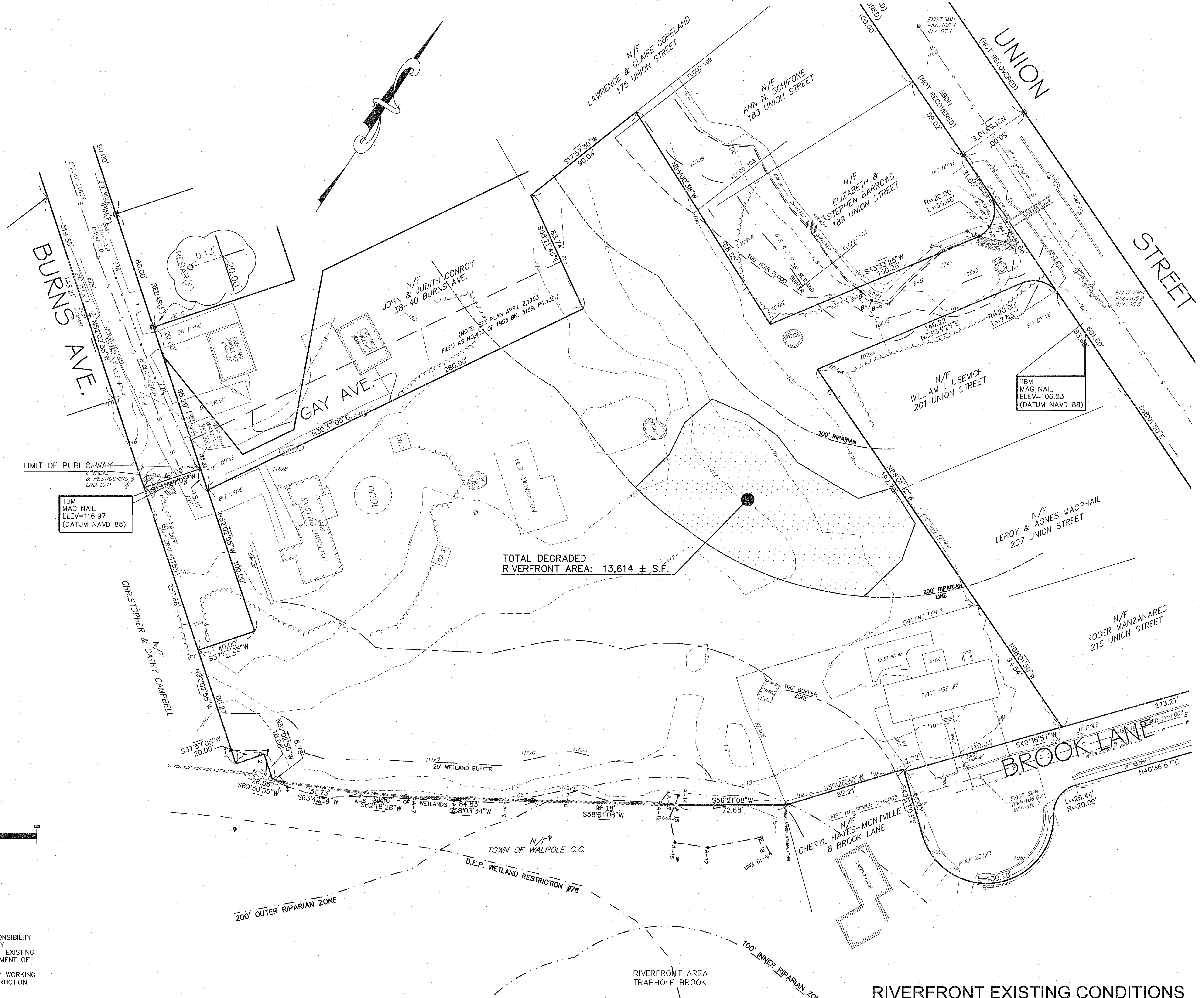


**AMENDED SITE DEVELOPMENT PLAN  
A COMPREHENSIVE PERMIT M.G.L.C. 40B  
"THE RESIDENCES AT BURNS AVENUE"  
WALPOLE, MASSACHUSETTS**  
APPLICANT:  
WALL STREET DEVELOPMENT CORP.  
P.O. BOX 272  
WESTWOOD, MA 02090

**GLM** Engineering Consultants, Inc.  
19 EXCHANGE STREET  
HOLLISTON, MA 01746  
P: 508-429-1100  
F: 508-429-7160  
www.GLMengineering.com

DRW:	rst
JOB No.	15,588
DATE:	APRIL 21, 2020
SCALE:	1" = 30'
SHEET:	12 of 12
PLAN #:	27,096



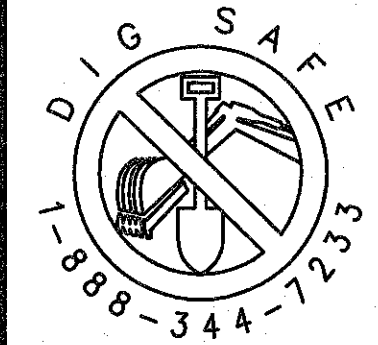
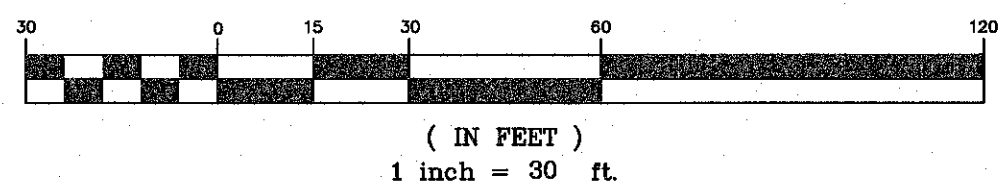


**LEGEND:**

- 186 --- EXISTING CONTOUR
- 163x2 EXISTING SPOT ELEVATION
- EXISTING WATER GATE
- EXISTING TREE LINE
- EXISTING WETLAND FLAG
- EXISTING TEST PIT LOCATION
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED HYDRANT
- PROPOSED DRAIN MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED DOUBLE CATCHBASIN
- PROPOSED SEWER LINE
- PROPOSED SEWER MANHOLE
- PROPOSED WATER LINE
- PROPOSED STREET TREE
- PROPOSED CAPE COD BERM

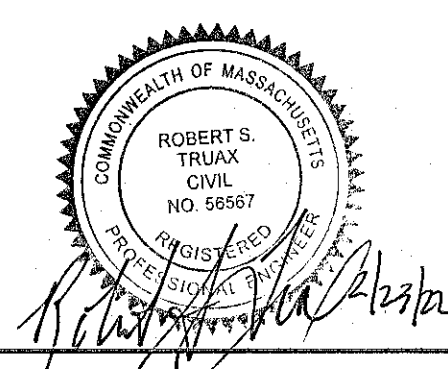
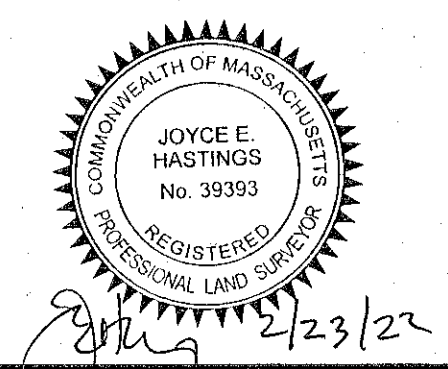
TBM  
MAG NAIL  
ELEV=116.97  
(DATUM NAVD 88)

**GRAPHIC SCALE**



NOTE: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. DIGSAFE IS TO BE NOTIFIED 72 WORKING HOURS IN ADVANCE OF CONSTRUCTION. DIGSAFE 1-888-344-7233

REVISIONS	NO	DATE	DESCRIPTION
	1	05/21/20	DRAINAGE SYSTEM
	2	10/22/20	CONSERVATION COMMENTS
	3	02/23/22	ZBA COMMENTS, REDUCE TO 38 UNITS



**AMENDED SITE DEVELOPMENT PLAN  
A COMPREHENSIVE PERMIT M.G.L.C. 40B  
"THE RESIDENCES AT BURNS AVENUE"  
WALPOLE, MASSACHUSETTS**

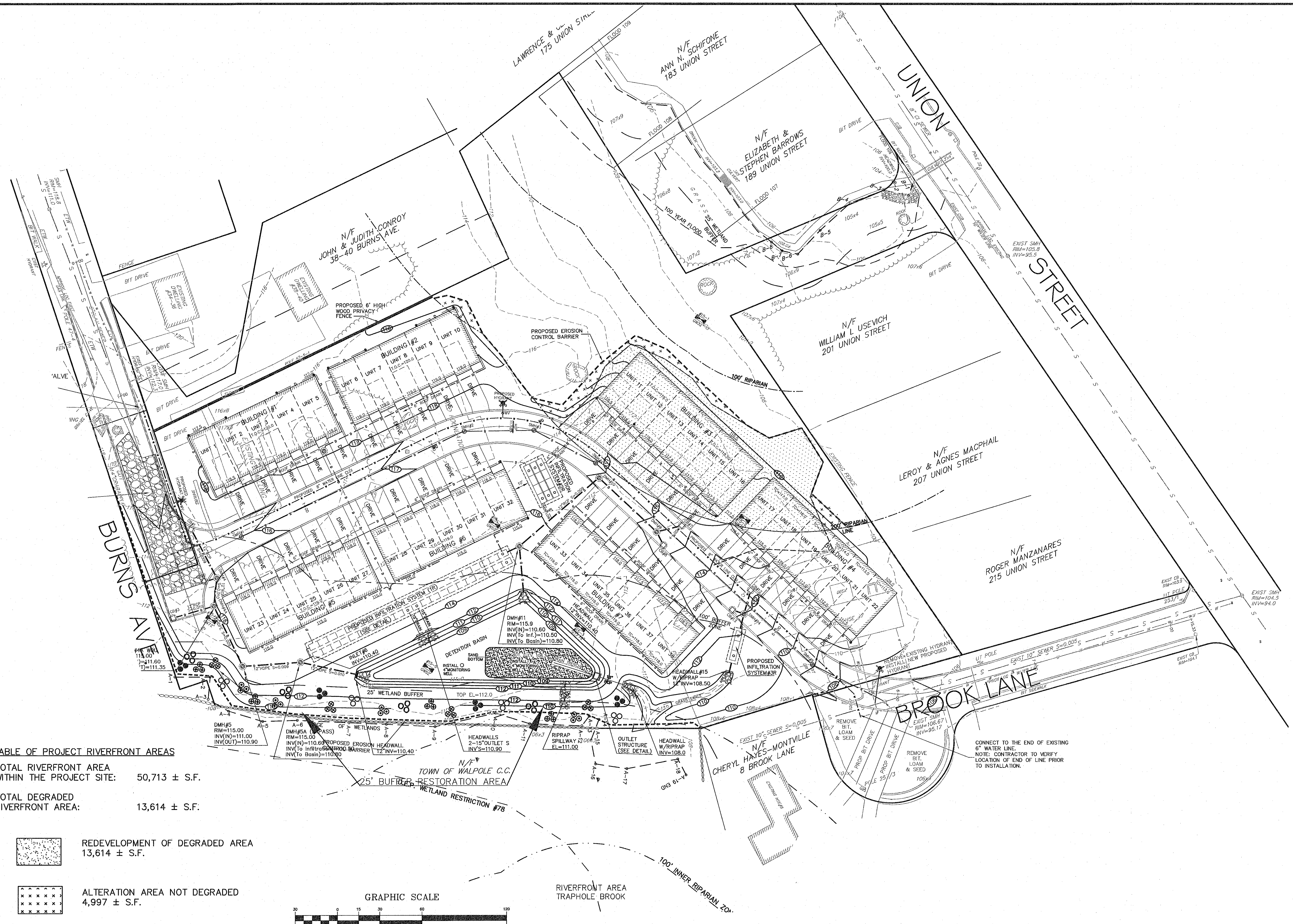
APPLICANT:  
WALL STREET DEVELOPMENT CORP.  
P.O. BOX 272  
WESTWOOD, MA 02090

**GLM** Engineering  
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F: 508-429-7160  
www.GLMengineering.com

DRW.:	RST
JOB No.	15,588
DATE:	APRIL 21, 2020
SCALE:	1" = 30'
SHEET:	SUP-A
PLAN #:	27,096

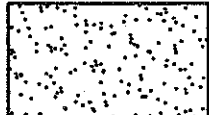

**RIVERFRONT EXISTING CONDITIONS**

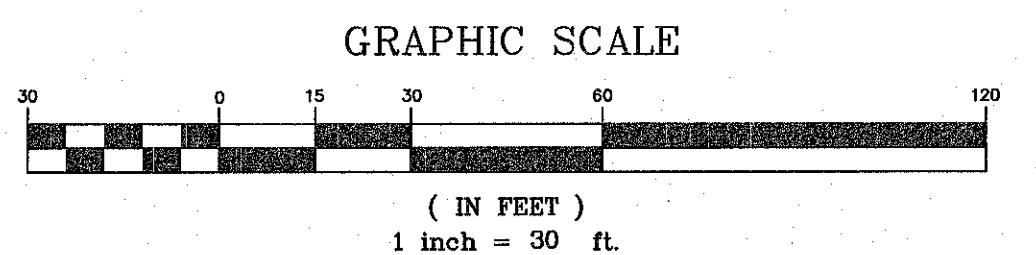




**TABLE OF PROJECT RIVERFRONT AREAS**

TOTAL RIVERFRONT AREA WITHIN THE PROJECT SITE:	50,713 ± S.F.
TOTAL DEGRADED RIVERFRONT AREA:	13,614 ± S.F.

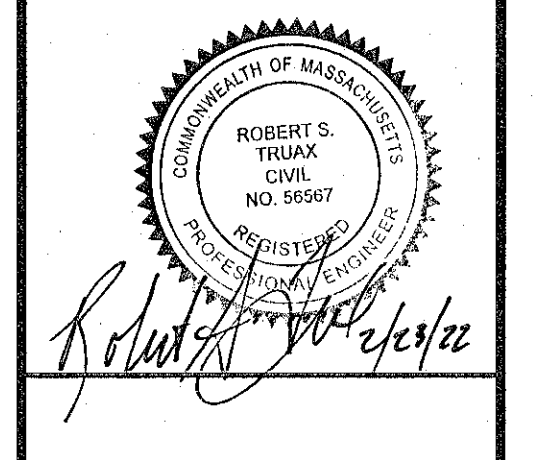
-  REDEVELOPMENT OF DEGRADED AREA  
13,614 ± S.F.
-  ALTERATION AREA NOT DEGRADED  
4,997 ± S.F.



**RIVERFRONT AREA DISTURBANCE**

**REVISIONS**

No.	DATE	DESCRIPTION
1	05/21/20	DRAINAGE SYSTEM
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**AMENDED SITE DEVELOPMENT PLAN  
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DRW.:	rst
JOB No.	15,588
DATE:	APRIL 21, 2020
SCALE:	1" = 30'
SHEET:	SUP-B
PLAN #:	27,096

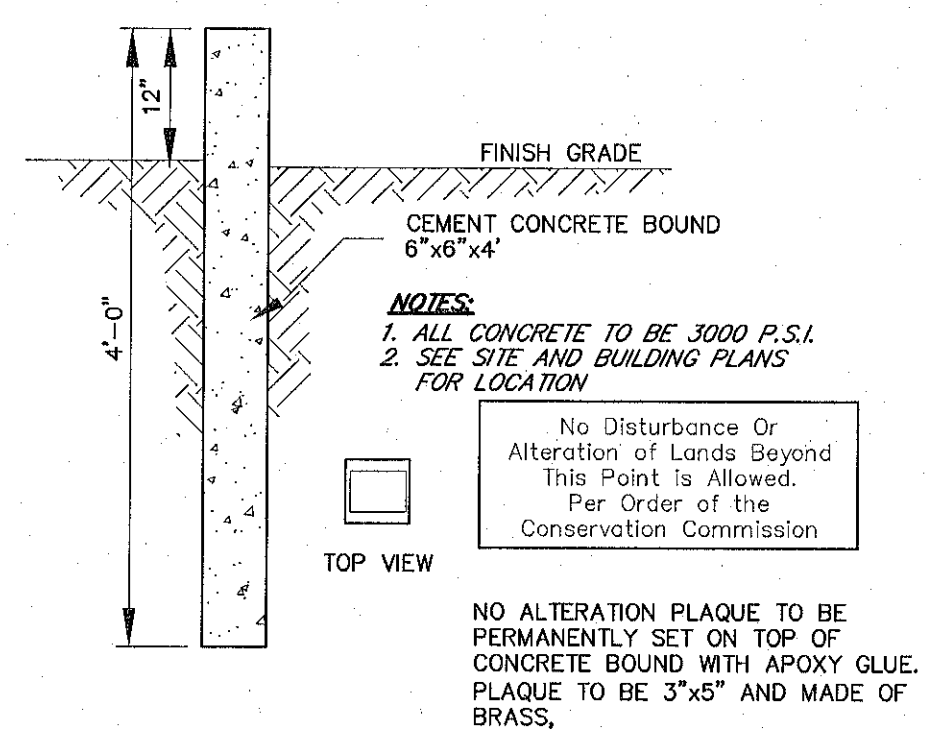


**Proposed 25' Buffer Zone Restoration Area Protocol**

- ( 9,200 ± sf)
- All metal and other solid waste debris will be removed from the area and properly disposed off-site;
  - The area will be graded to a stable slope;
  - The area will be covered with a minimum of 6 inches of high quality topsoil;
  - The area will be planted with native shrubs, minimum 1 gallon, container grown, as shown. Plant species will be from the following list (or other species as approved by WCC Staff prior to installation):
    - Highbush Blueberry *Vaccinium corymbosum*
    - Witch Hazel *Hamamelis virginiana*
    - Hazelnut *Corylus americana*
    - Maple-leaved viburnum *Viburnum acerifolium*
    - Flowering dogwood *Cornus florida*
    - Serviceberry *Amelanchier canadensis*
  - The area will be planted with New England wetland plants conservation/wildlife mix at 1750 sf/lb or approved substitute; and
  - The area will be watered as necessary during the first six weeks after planting.

**Riverfront Restoration Area (RFA) Protocol**

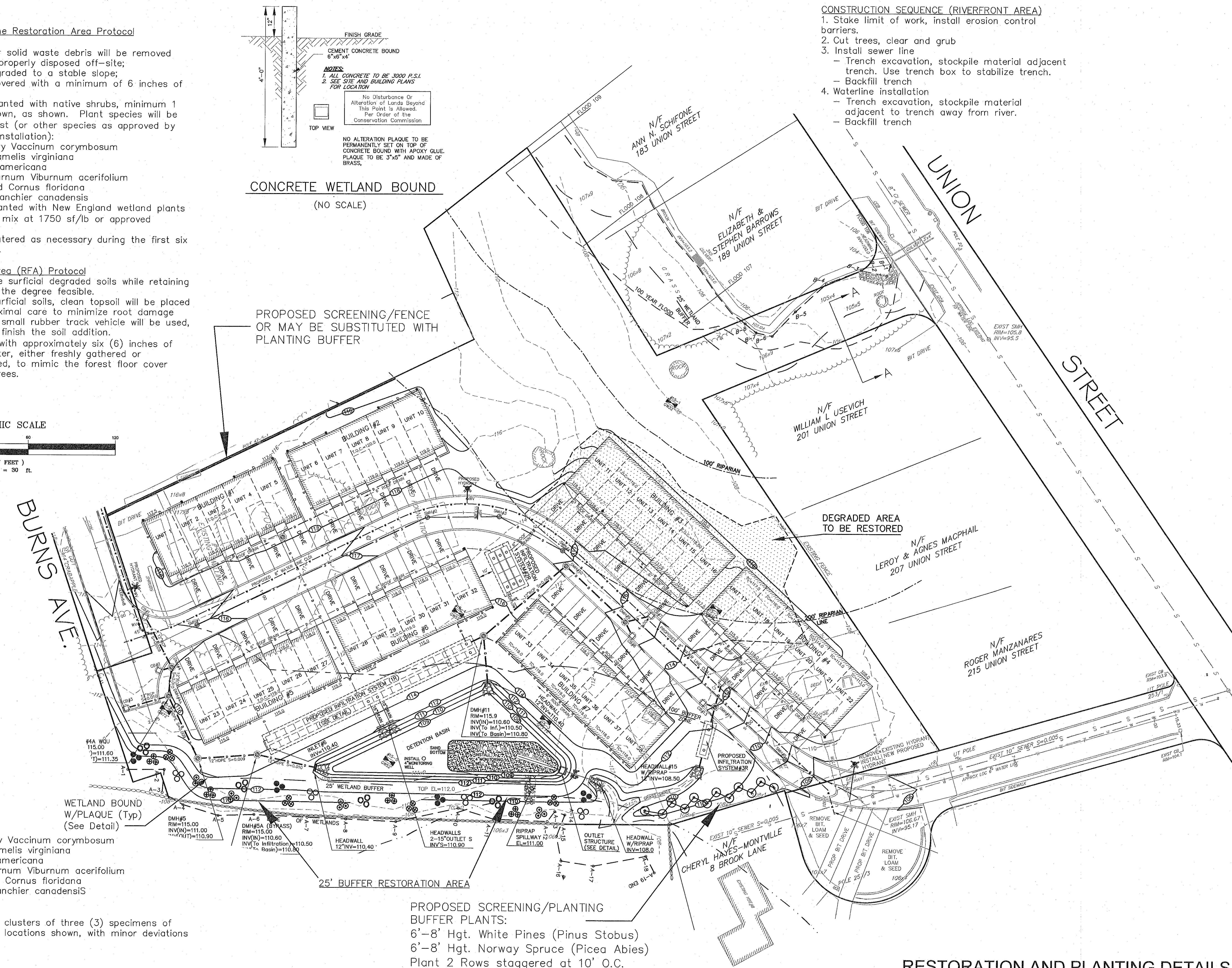
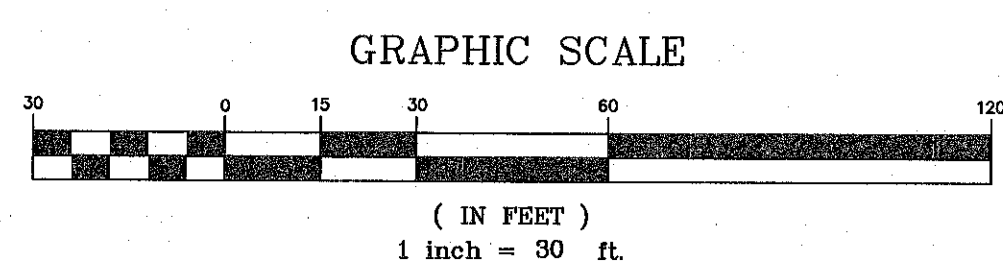
- Remove and replace surficial degraded soils while retaining the extant trees to the degree feasible.
- Upon removal of surficial soils, clean topsoil will be placed and spread with maximal care to minimize root damage and compression. A small rubber track vehicle will be used, with hand raking to finish the soil addition.
- Disperse the area with approximately six (6) inches of clean, native leaf litter, either freshly gathered or moderately composted, to mimic the forest floor cover among the extant trees.



**CONCRETE WETLAND BOUND**  
(NO SCALE)

**PROPOSED SCREENING/FENCE OR MAY BE SUBSTITUTED WITH PLANTING BUFFER**

- CONSTRUCTION SEQUENCE (RIVERFRONT AREA)**
- Stake limit of work, install erosion control barriers.
  - Cut trees, clear and grub
  - Install sewer line
    - Trench excavation, stockpile material adjacent trench. Use trench box to stabilize trench.
    - Backfill trench
  - Waterline installation
    - Trench excavation, stockpile material adjacent to trench away from river.
    - Backfill trench

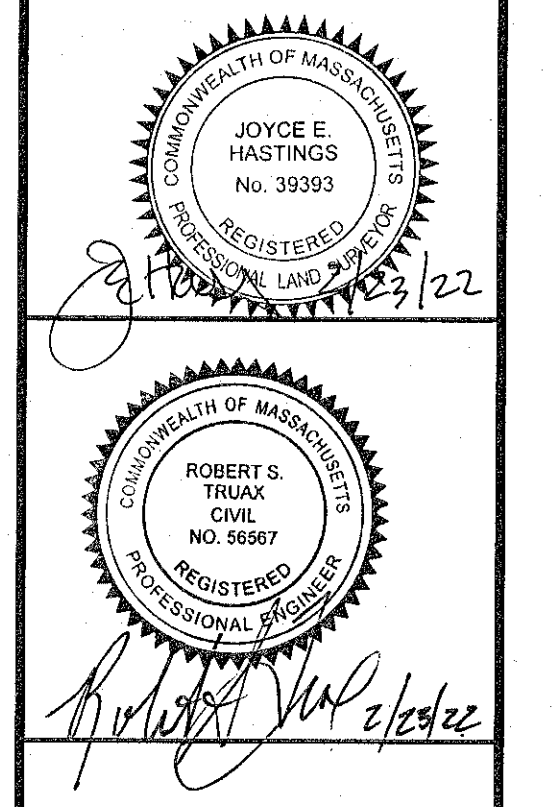


- PLANTING LEGEND**
- - Highbush Blueberry *Vaccinium corymbosum*
  - ⊕ - Witch Hazel *Hamamelis virginiana*
  - ⊙ - Hazelnut *Corylus americana*
  - - Maple-leaved viburnum *Viburnum acerifolium*
  - ⊗ - Flowering dogwood *Cornus florida*
  - - Serviceberry *Amelanchier canadensis*

Note:  
Shrubs will be planted in clusters of three (3) specimens of the same species at the locations shown, with minor deviations due to site conditions.

**PROPOSED SCREENING/PLANTING BUFFER PLANTS:**  
6'-8' Hgt. White Pines (*Pinus Stobus*)  
6'-8' Hgt. Norway Spruce (*Picea Abies*)  
Plant 2 Rows staggered at 10' O.C.

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**AMENDED SITE DEVELOPMENT PLAN**  
**A COMPREHENSIVE PERMIT M.G.L.C. 40B**  
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**WALPOLE, MASSACHUSETTS**

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DRW.: rst  
JOB No. 15,588  
DATE: APRIL 21, 2020  
SCALE: 1" = 30'  
SHEET: SUP-C  
PLAN #: 27,096

**RESTORATION AND PLANTING DETAILS**