

A COMPREHENSIVE PERMIT M.G.L. c. 40B THE RESIDENCES AT DARWIN COMMON IN WALPOLE, MA AUGUST 13, 2021

ZONING SCHEDULE

ZONING: RESIDENCE B / WROPD - AREA 1

LOT AREA 20,000 S.F.
NON WETLAND LOT AREA 12,000 S.F.
LOT FRONTAGE 125.00 FT.

BUILDING SETBACKS:

FRONT 30.00 FT.
SIDE 15.00 FT.
REAR 30.00 FT.

ZONING SCHEDULE:	REQUIRED/ALLOWED	PROPOSED
RESIDENCE B / WROPD-AREA 1		
LOT AREA	20,000 S.F.	150,079 S.F.
FRONTAGE	125 FT.	59.00 FT.
LOT COVERAGE BY STRUCTURE	25% MAX.	22.4%
LOT COVERAGE BY ALL IMPERVIOUS	40% MAX.	46.6%
MIN USABLE OPEN SPACE	50% MIN.	53.4%
SETBACKS:		
FRONT YARD	30 FT.	22.1 FT.
SIDE YARD	15 FT.	20.8 FT.
REAR YARD	30 FT.	16.3 FT.
BUILDING HEIGHT	35 FT	20 FT

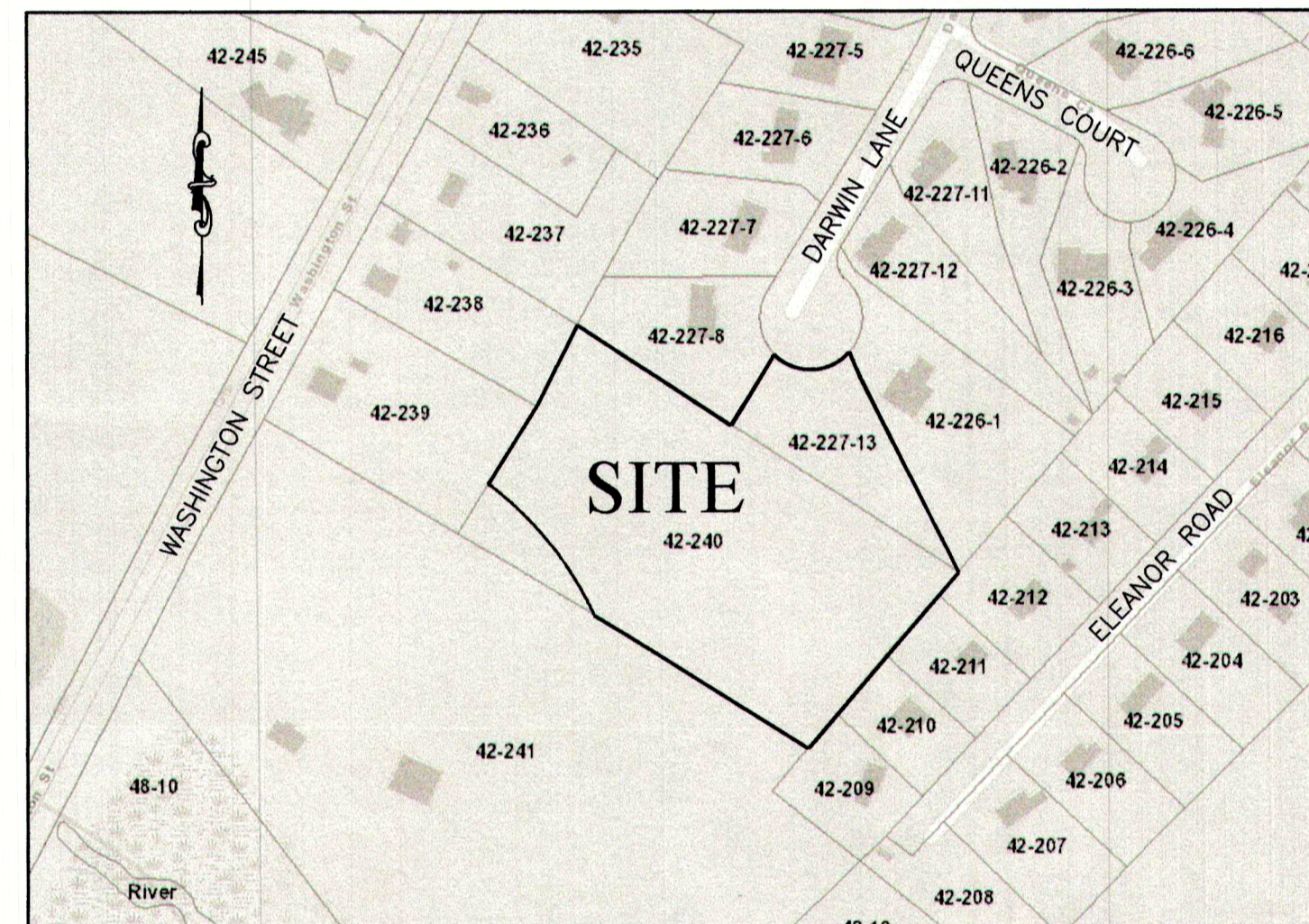
LOT COVERAGE OF MORE THAN 15% ALLOWED BY SPECIAL PERMIT PER SECTION 12.3.C (5) OF THE WALPOLE ZONING BY LAW

LOT AREA = 150,079 S.F.

TOTAL AREA OF BUILDINGS = 33,600 S.F.
PERCENTAGE OF LOT COVERED BY BUILDINGS = 22.4%

TOTAL AREA OF ROADS AND DRIVEWAYS = 36,365 S.F.
PERCENTAGE OF LOT COVERED BY PAVEMENT = 24.2%

TOTAL PERCENTAGE OF IMPERVIOUS LOT COVERAGE = 46.6%

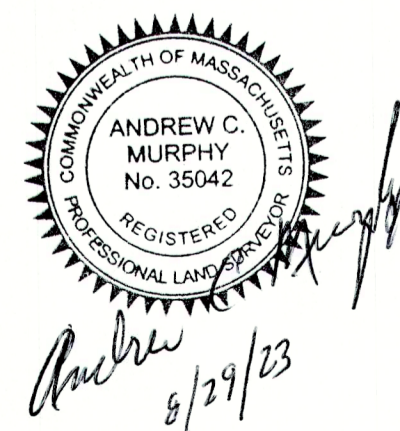


LOCUS MAP
SCALE: 1"=200'

PLAN INDEX

- SHEET 1: COVER SHEET
- SHEET 2: EXISTING CONDITIONS PLAN
- SHEET 3: SITE PLAN
- SHEET 4: GRADING AND DRAINAGE PLAN
- SHEET 5: UTILITIES PLAN
- SHEET 6: DETAILS
- SHEET 7: DRAINAGE DETAILS
- SHEET 8: CONSTRUCTION PERIOD PLAN

NO.	DATE	REVISION
1.	8/22/23	PER LOCAL REQUIREMENTS



APPROVED PURSUANT TO G.L.c. 40B
WALPOLE ZONING BOARD OF APPEALS

DATE APPROVED: _____
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I, TOWN CLERK OF THE TOWN OF WALPOLE
WALPOLE RECEIVED AND RECORDED FROM THE ZONING BOARD
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WALPOLE TOWN CLERK

DATE

APPROVAL _____, SUBJECT TO COVENANT CONDITIONS SET FORTH IN A
COVENANT EXECUTED BY _____, DATED _____ AND
TO BE (RECORDED) (REGISTERED) HEREWITH.

OWNER

JOHN HASENJAEGER
P.O. BOX 661
NORWOOD, MA 02062

APPLICANT

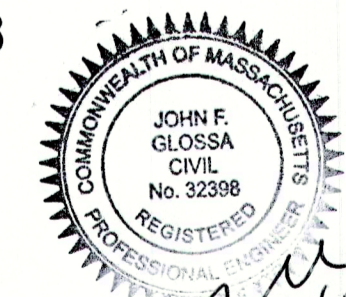
WALL STREET DEVELOPMENT CORP.
P.O. BOX 272
WESTWOOD, MA 02090

DEED REFERENCE

LAND COURT CERTIFICATE #205723
(LOT 2)
LAND COURT CERTIFICATE #154084
(LOT 16)
LAND COURT PLAN 4531-I (LOT 2)
LAND COURT PLAN 4531-L (LOT 16)

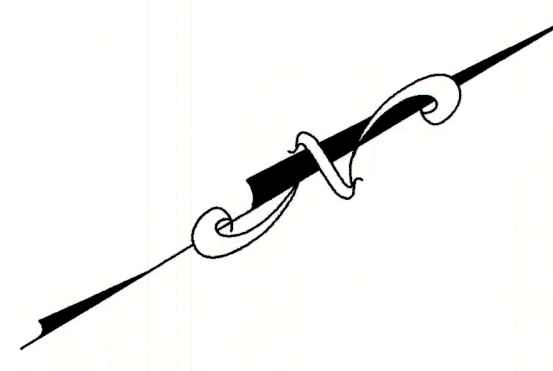
ASSESSORS PARCELS

MAP 42 LOT 240
MAP 42 LOT 227-13



ENGINEER:

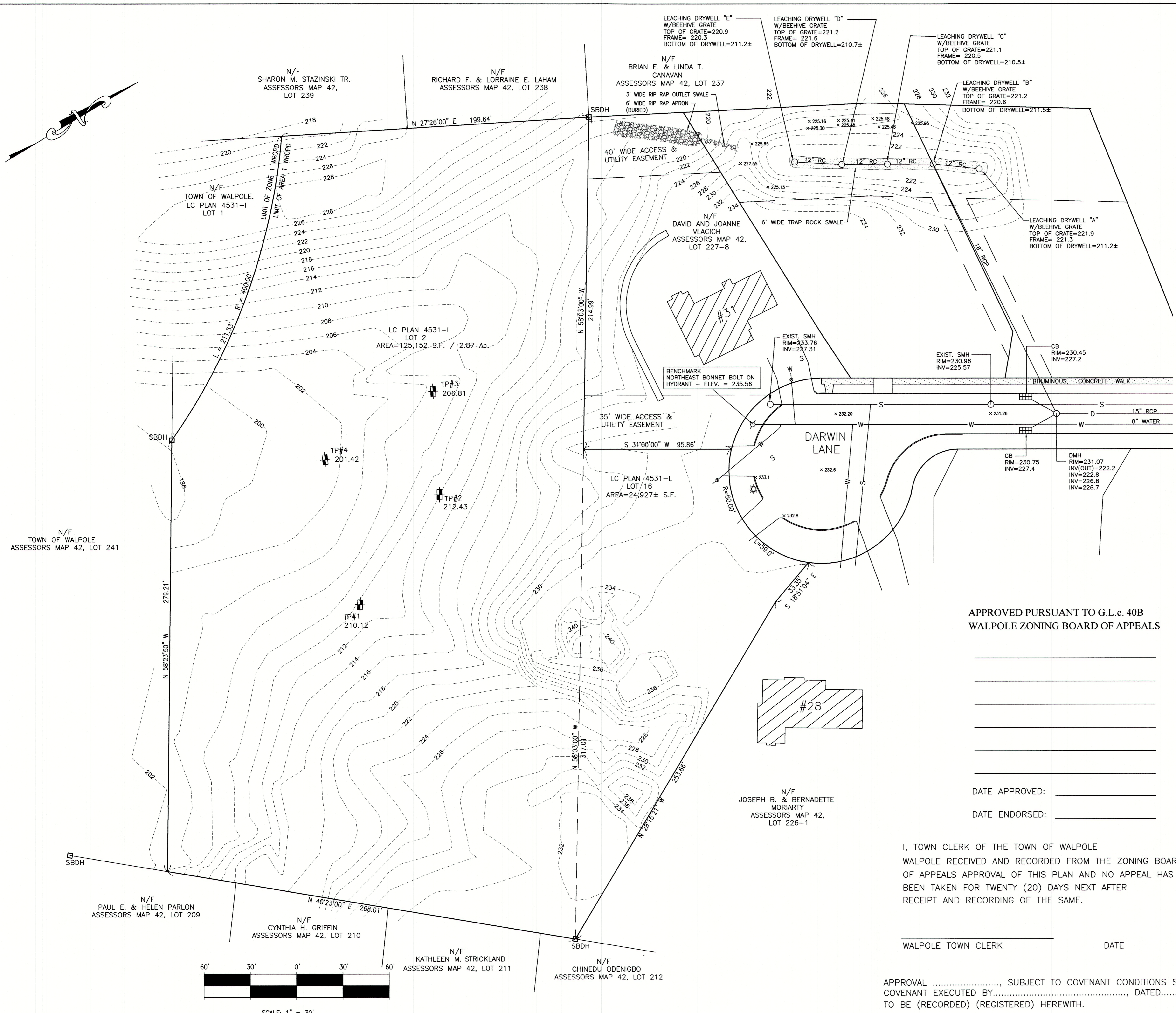
GLOSSA ENGINEERING INC.
46 EAST STREET
EAST WALPOLE, MA 02032
(508) 668 - 4401



SOIL TEST PERFORMED BY JOHN F. GLOSSA P.E. AND WITNESSED BY CHRIS JOHNSON, WALPOLE ENGINEERING DEPARTMENT ON JUNE 8, 2023.

SOIL DATA

TEST PIT # 1		TEST PIT # 2	
0"	A SANDY LOAM 10YR 3/2	0"	A SANDY LOAM 10YR 3/2
10"	B LOAMY SAND 10 YR 5/8	10"	B LOAMY SAND 10YR 5/8
29"	C SAND 2.5Y 5/4	27"	C SAND 2.5Y 5/4
120"	NO REFUSAL NO MOTTLING NO WEEPING	132"	NO REFUSAL NO MOTTLING NO WEEPING
TEST PIT # 3		TEST PIT # 4	
0"	A SANDY LOAM 10YR 3/2	0"	A SANDY LOAM 10YR 3/2
8"	B LOAMY SAND 10YR 5/8	8"	B LOAMY SAND 10YR 5/8
27"	C SAND 2.5Y 5/4	27"	C SAND 2.5Y 5/4
132"	NO REFUSAL NO MOTTLING NO WEEPING	150"	NO REFUSAL MOTTLING AT 96" NO WEEPING



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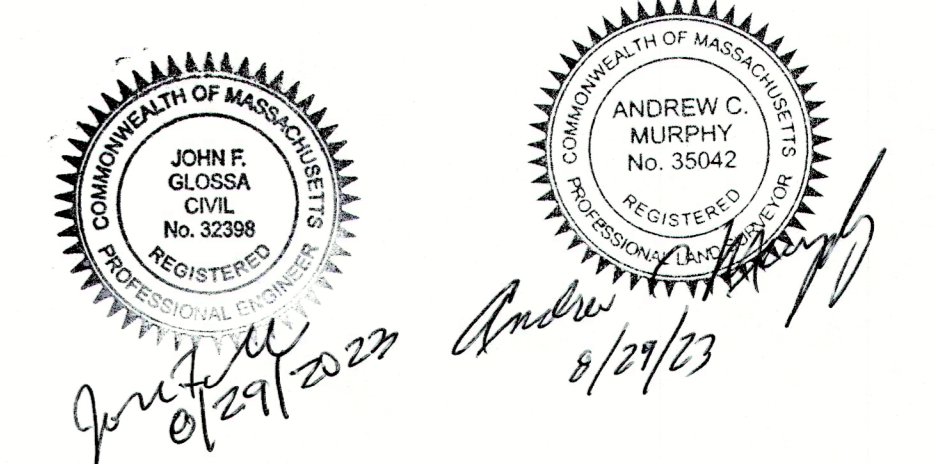
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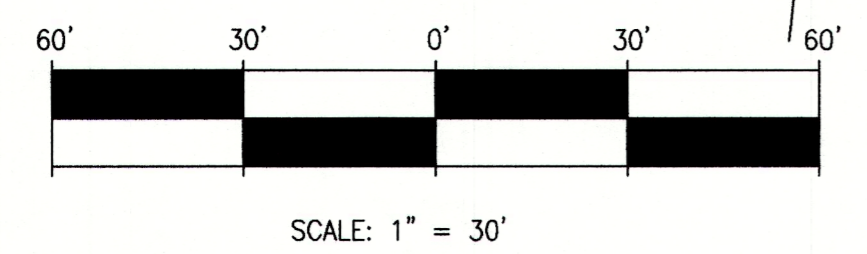
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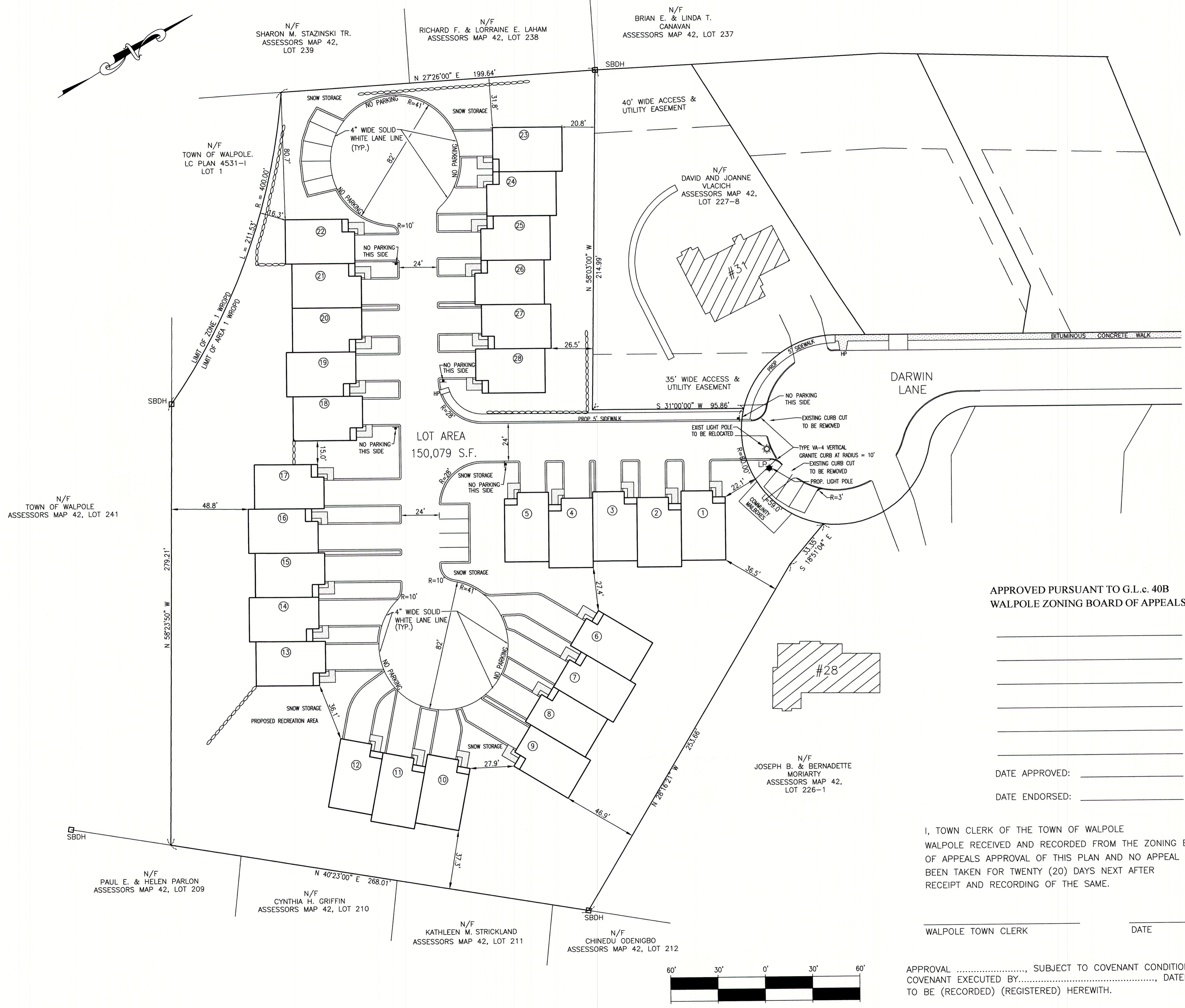
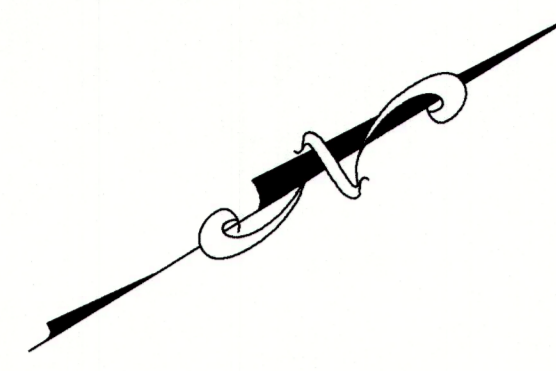


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A COMPREHENSIVE PERMIT M.G.L.c. 40B
THE RESIDENCES AT
DARWIN COMMON
EXISTING CONDITIONS
PLAN OF LAND
IN
WALPOLE, MA
SCALE: 1"=30' AUGUST 13, 2021

GLOSSA ENGINEERING, INC.
46 EAST ST
EAST WALPOLE, MA 02032
(508) 668-4401





LOT AREA
150,079 S.F.

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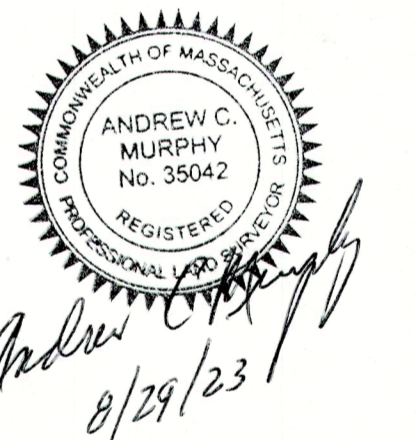
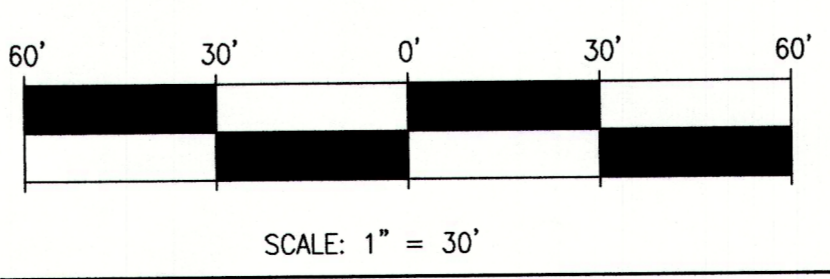
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THE RESIDENCES AT
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SITE PLAN
PLAN OF LAND
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EAST WALPOLE, MA 02032
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NOTES FOR ROOFTOP DRAINAGE
 1. ALL PIPES FROM DOWNSPOUTS TO COLLECTOR PIPES TO BE 4" PVC AT MINIMUM SLOPE OF 0.020 FT/FT
 2. ALL COLLECTOR PIPES FROM MULTIPLE DOWNSPOUTS SHALL BE 6" PVC AT MINIMUM SLOPE OF 0.020 FT/FT
 3. ALL DRAINAGE PIPING WITHIN 10' OF THE BUILDING SHALL BE INSTALLED AND INSPECTED PER MASS STATE PLUMBING CODE.



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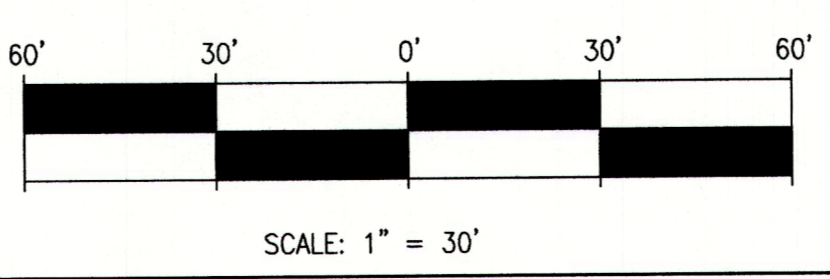
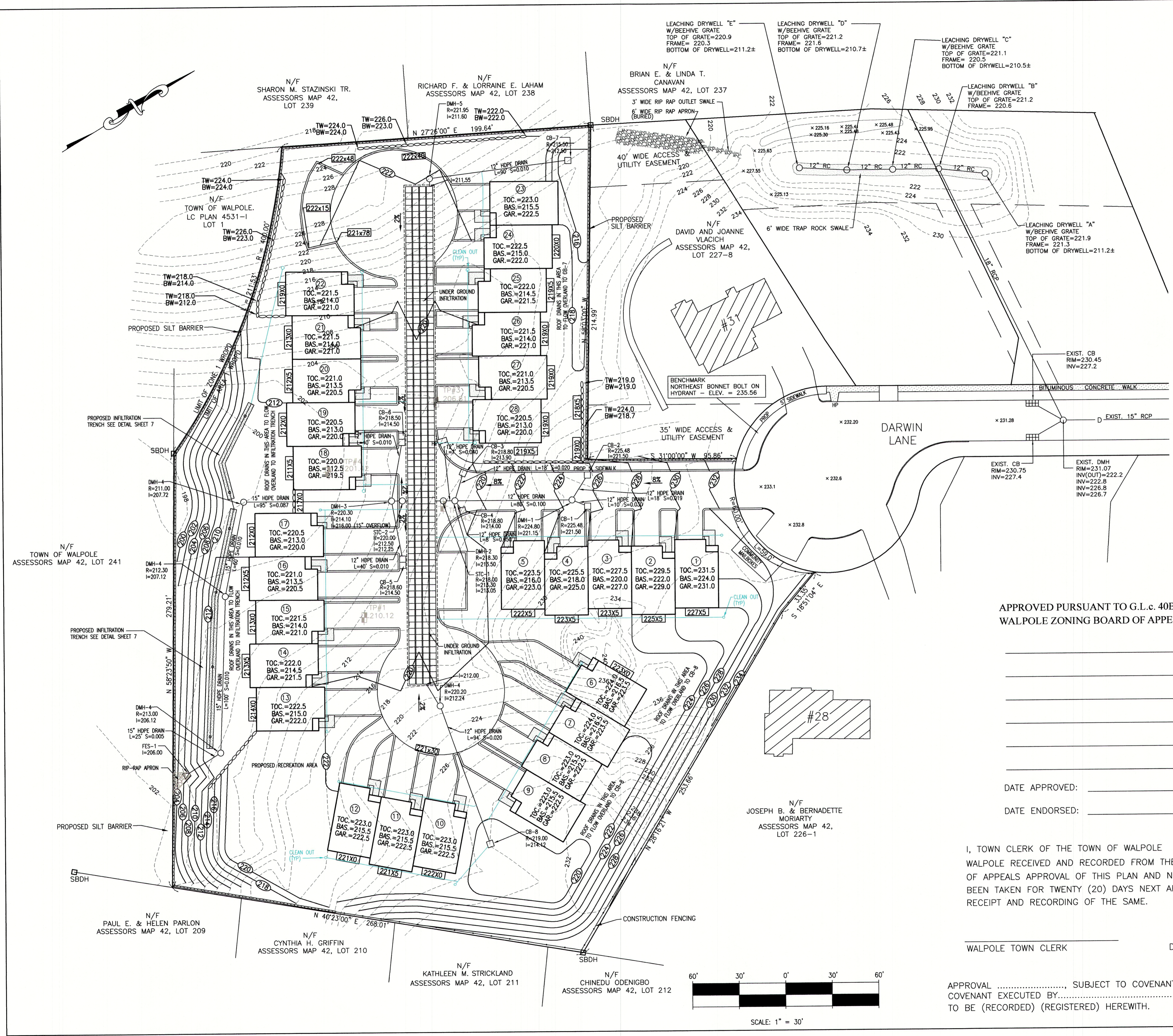
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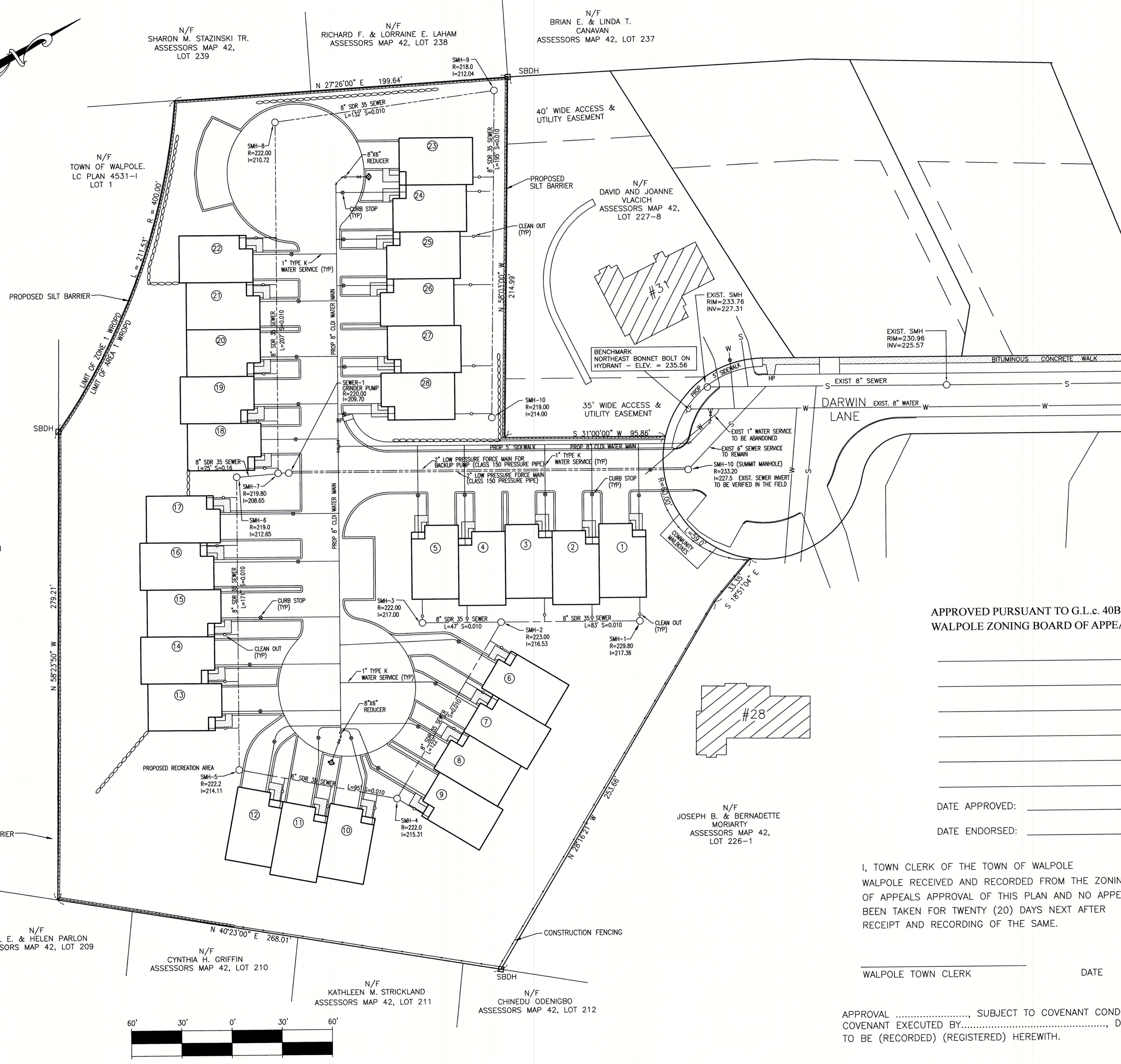
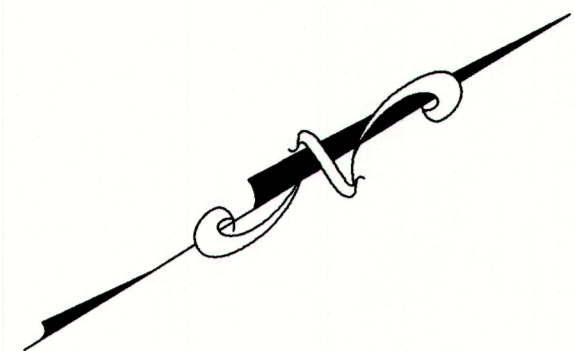
THE RESIDENCES AT
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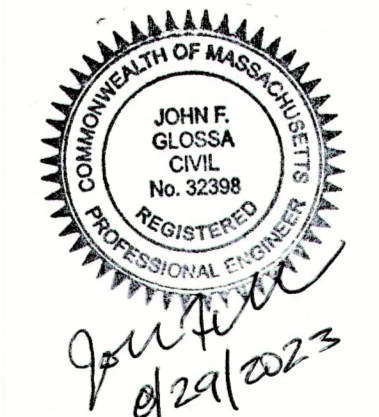
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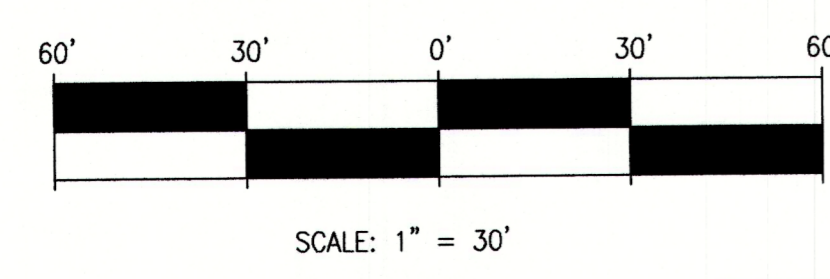
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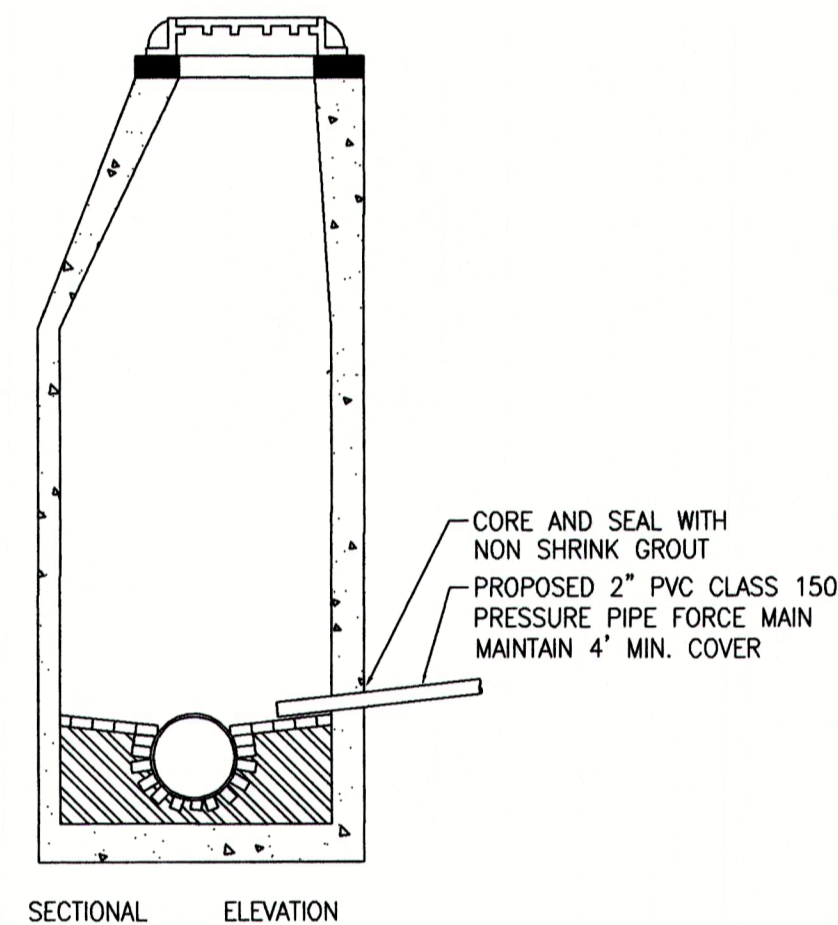
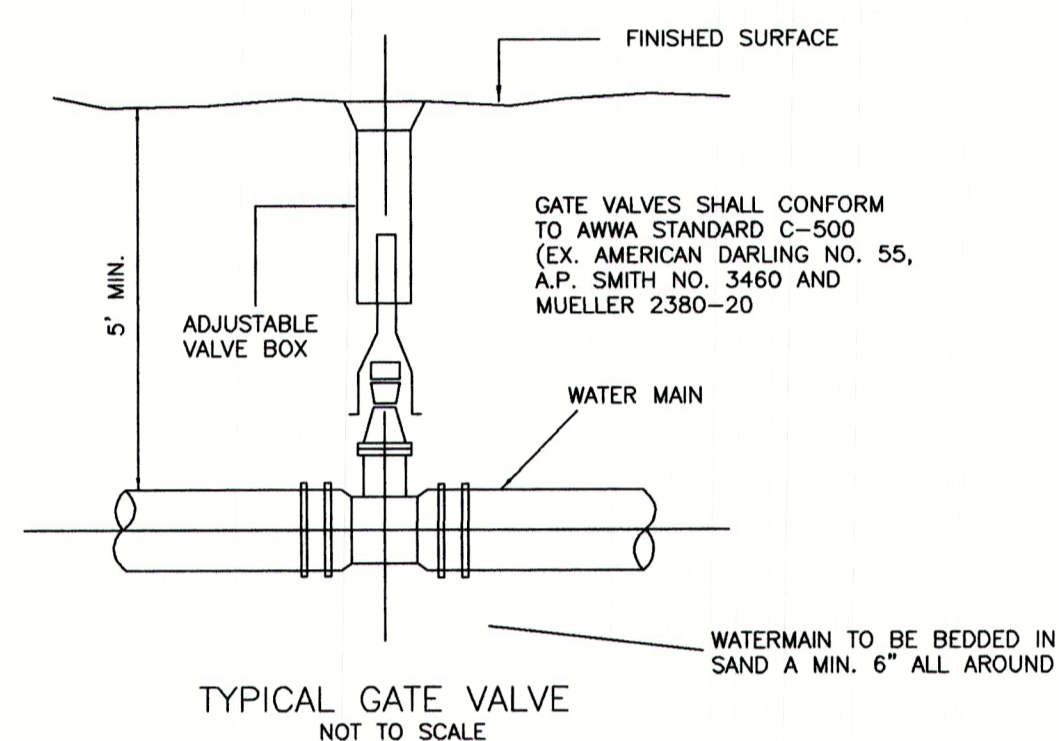
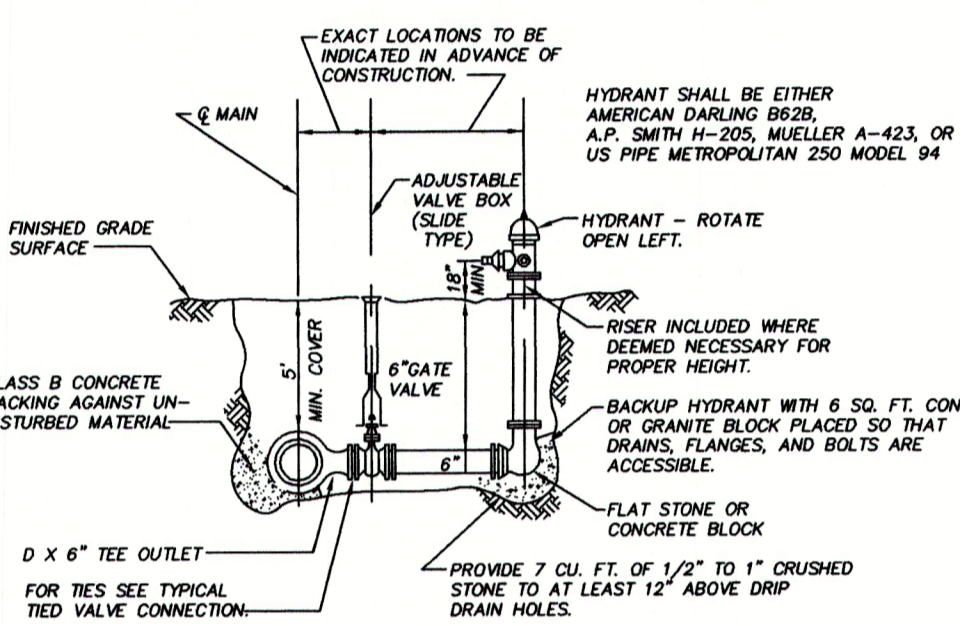
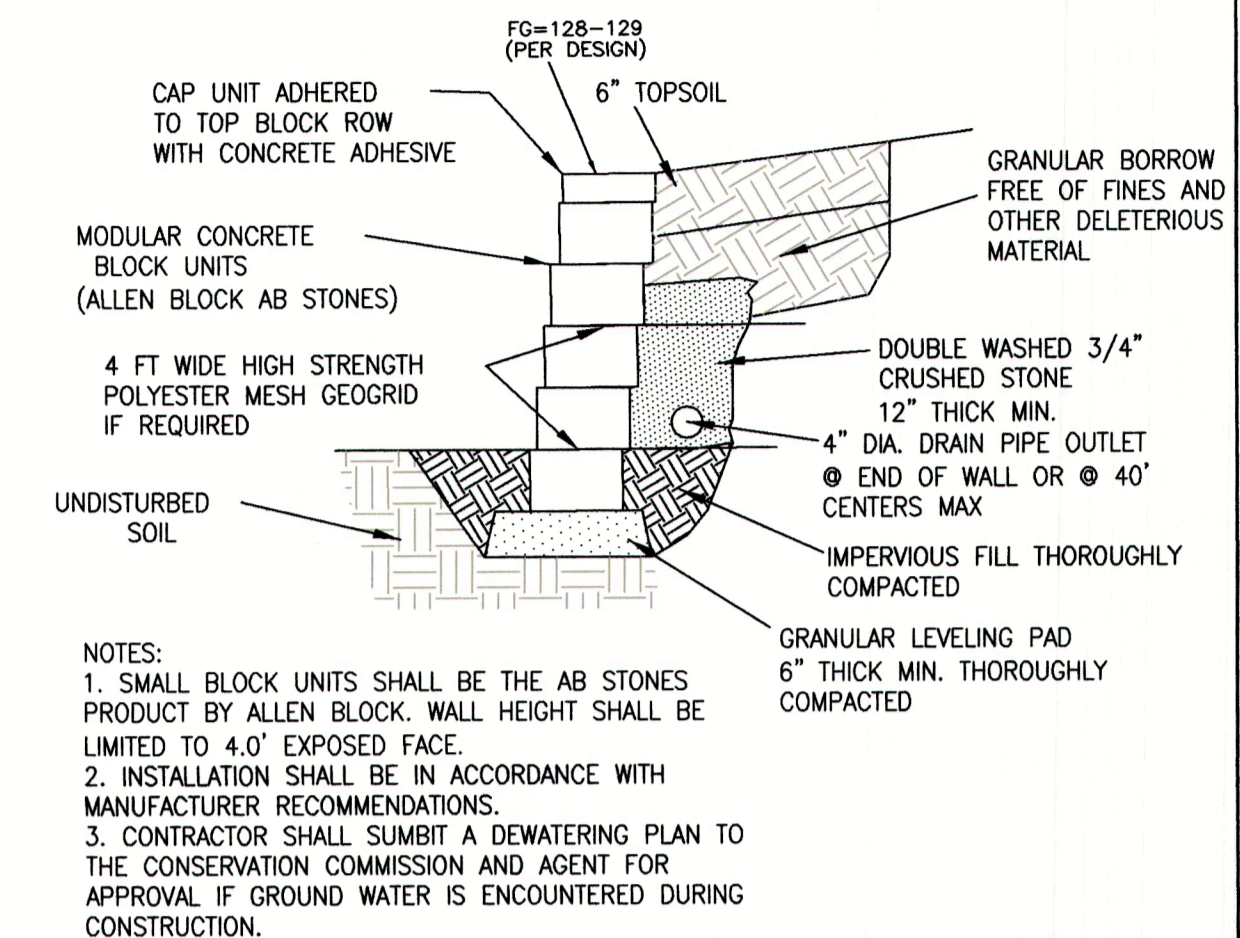
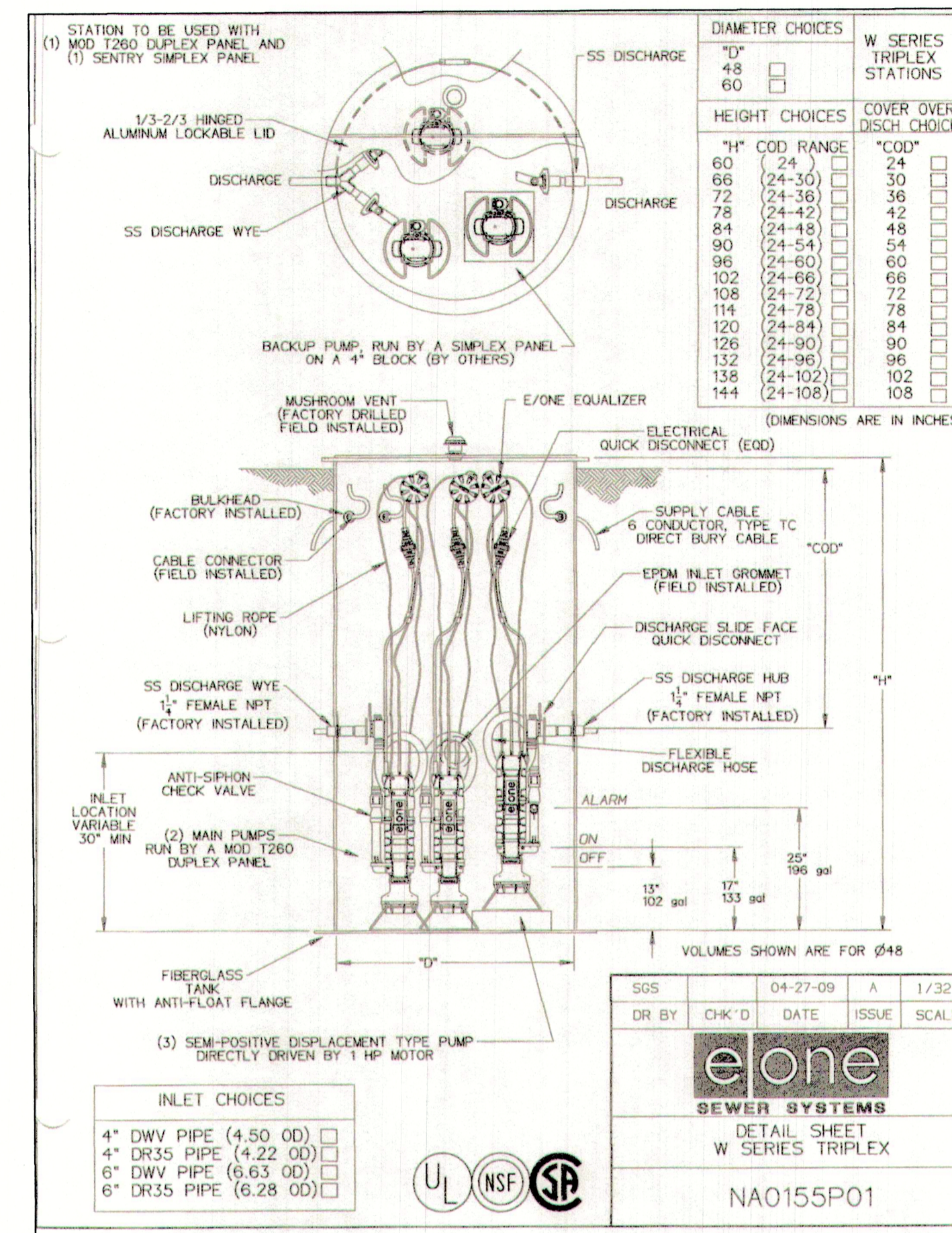
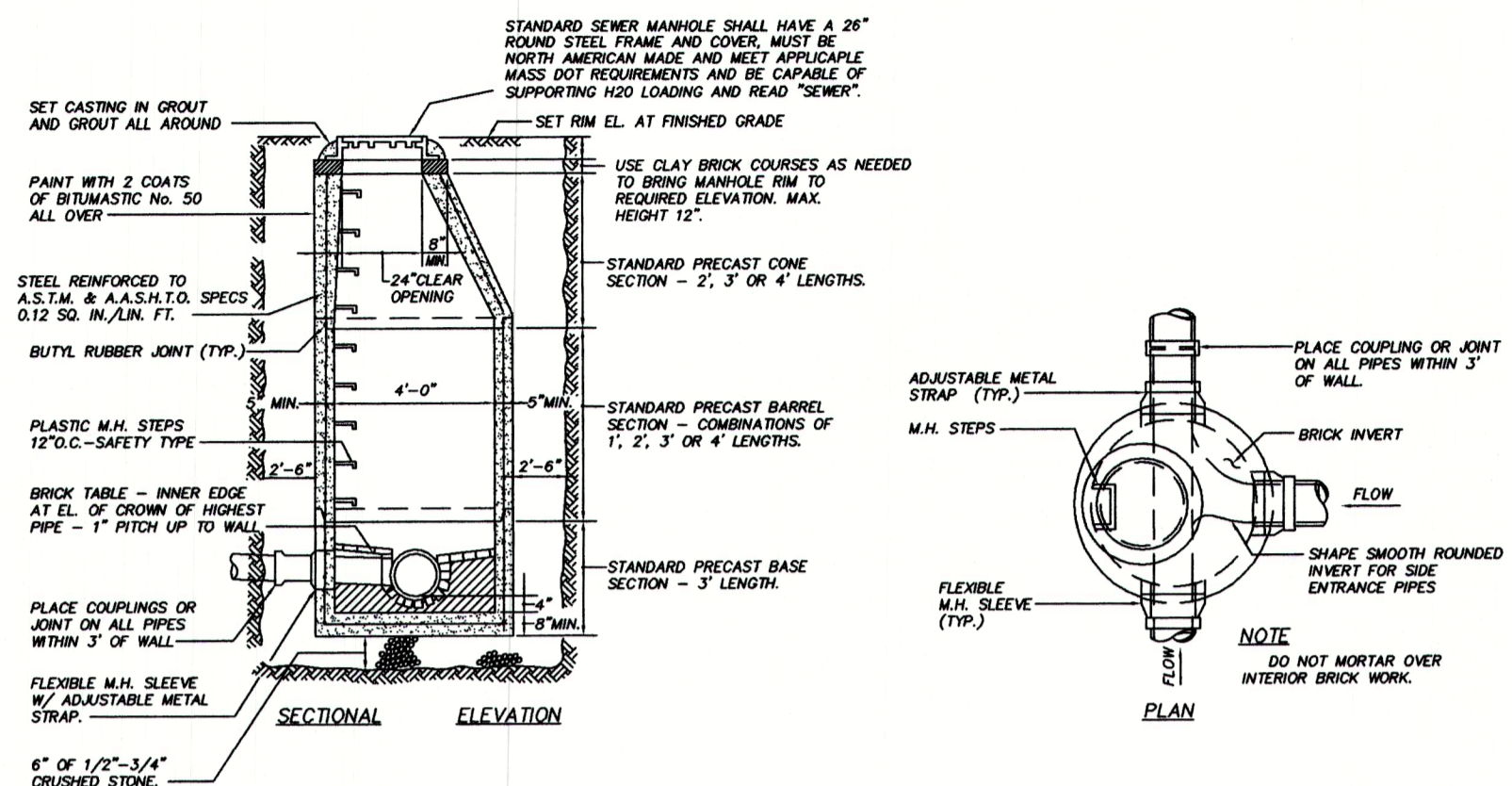
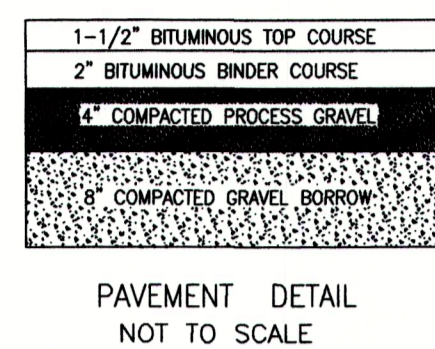
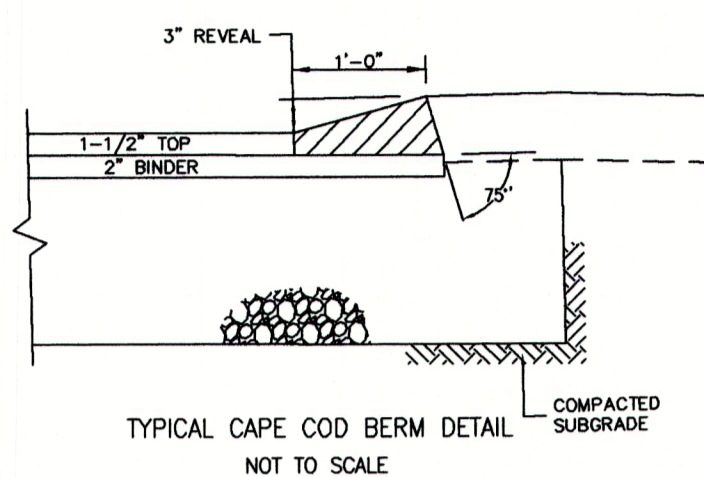
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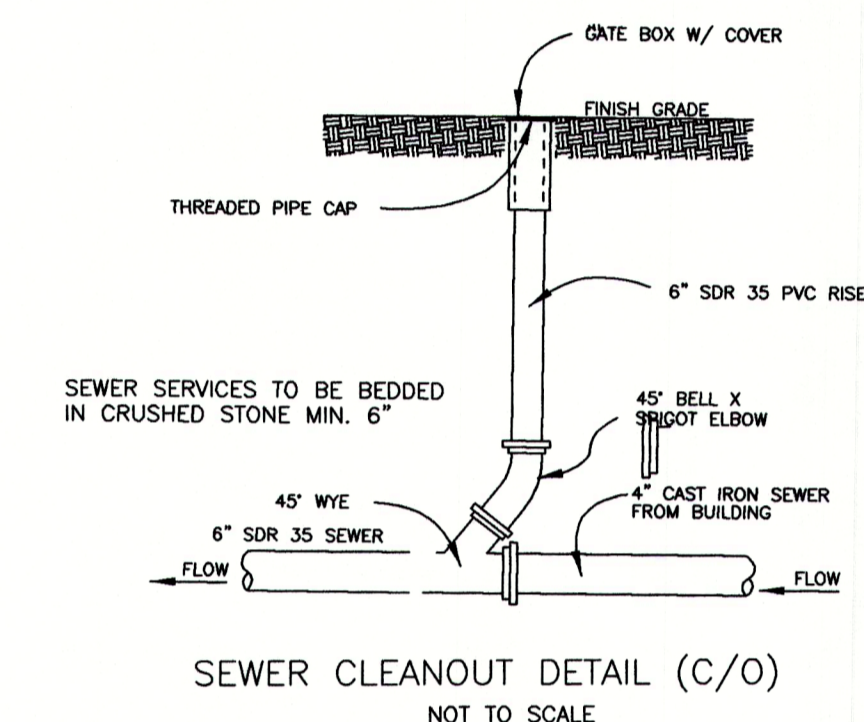




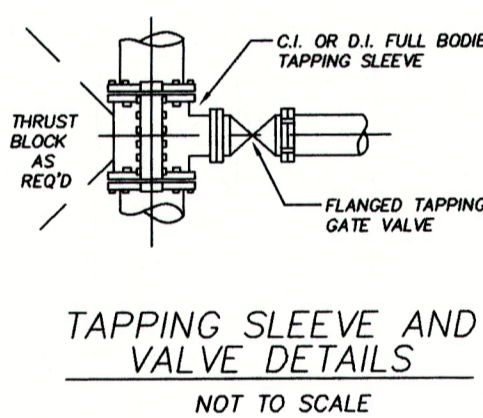
TYPICAL HYDRANT ASSEMBLY DETAIL NOT TO SCALE

TYPICAL GATE VALVE NOT TO SCALE

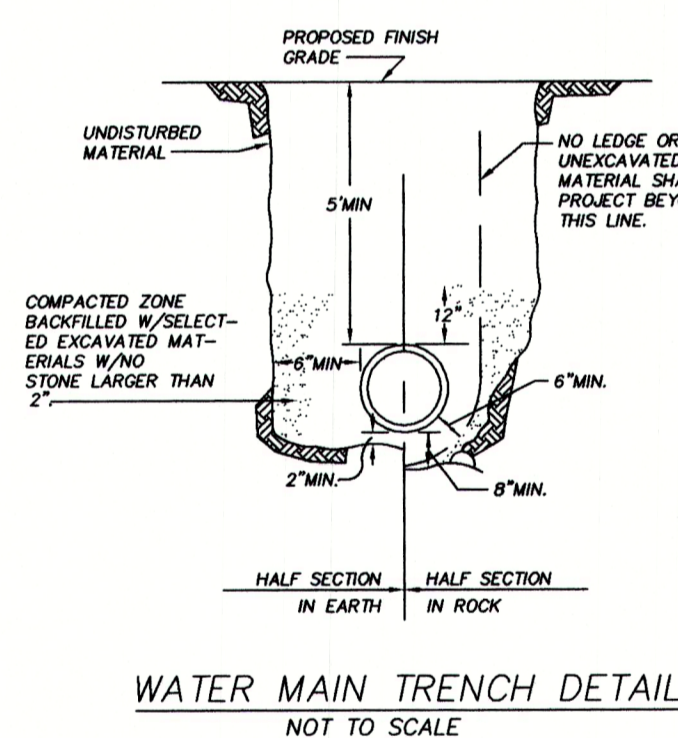
TYPICAL FORCE MAIN CONNECTION AT SEWER MANHOLE NOT TO SCALE



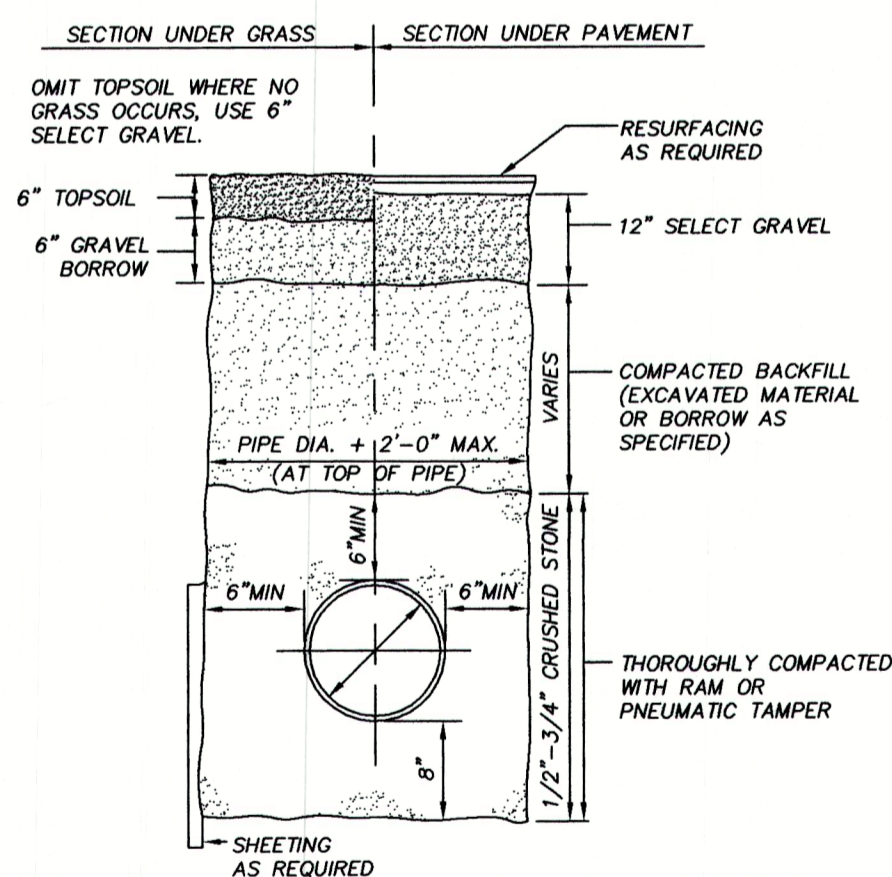
SEWER CLEANOUT DETAIL (C/O) NOT TO SCALE



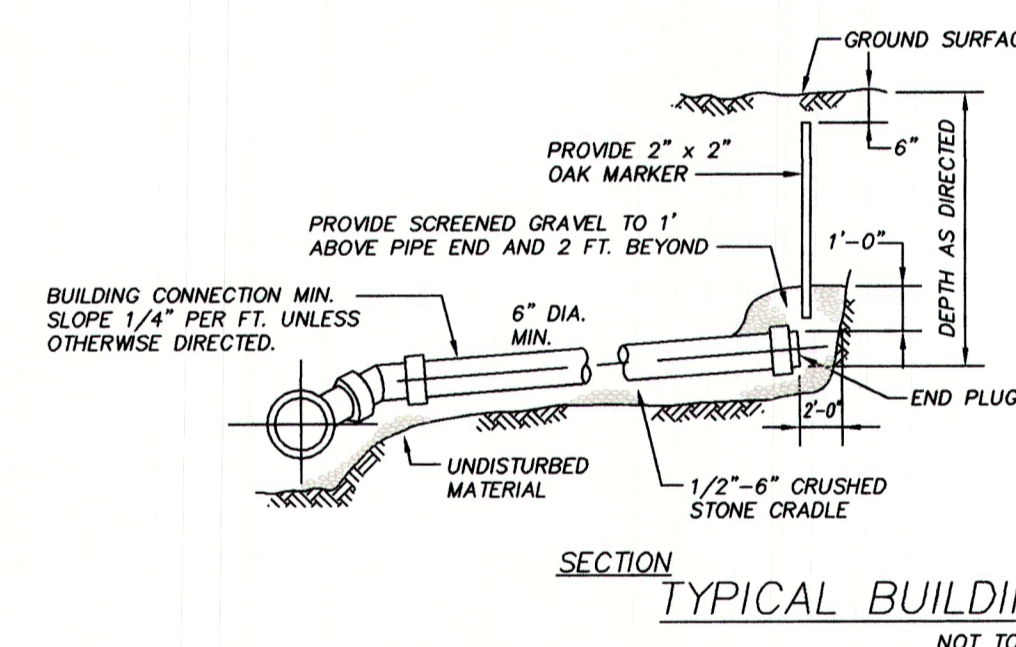
TAPPING SLEEVE AND VALVE DETAILS NOT TO SCALE



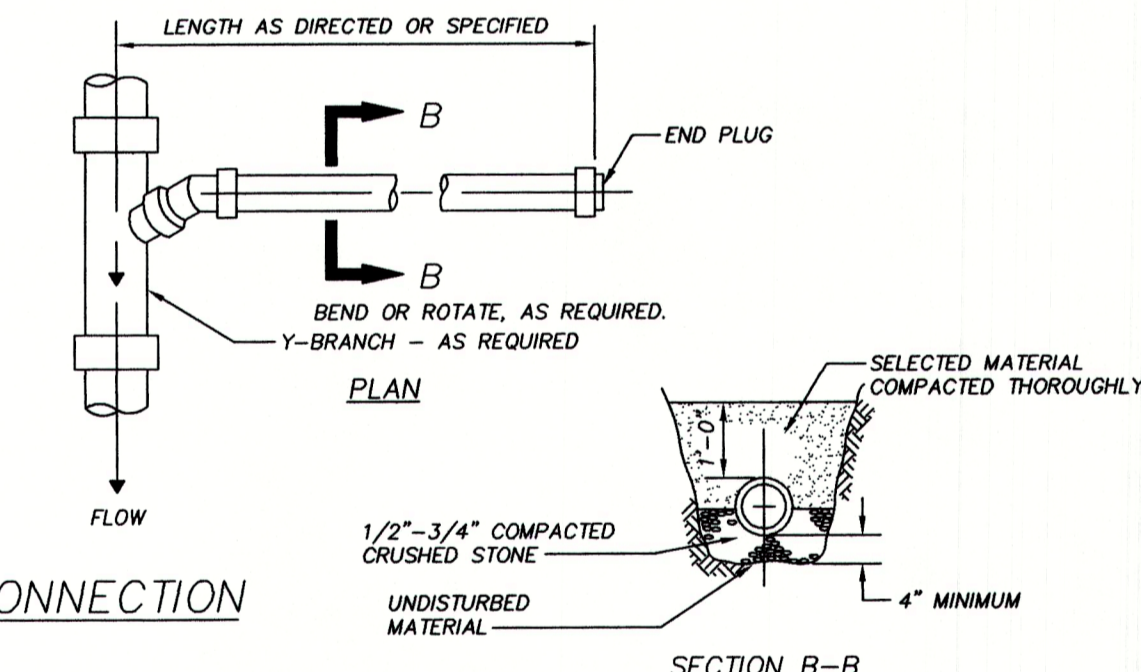
WATER MAIN TRENCH DETAIL NOT TO SCALE



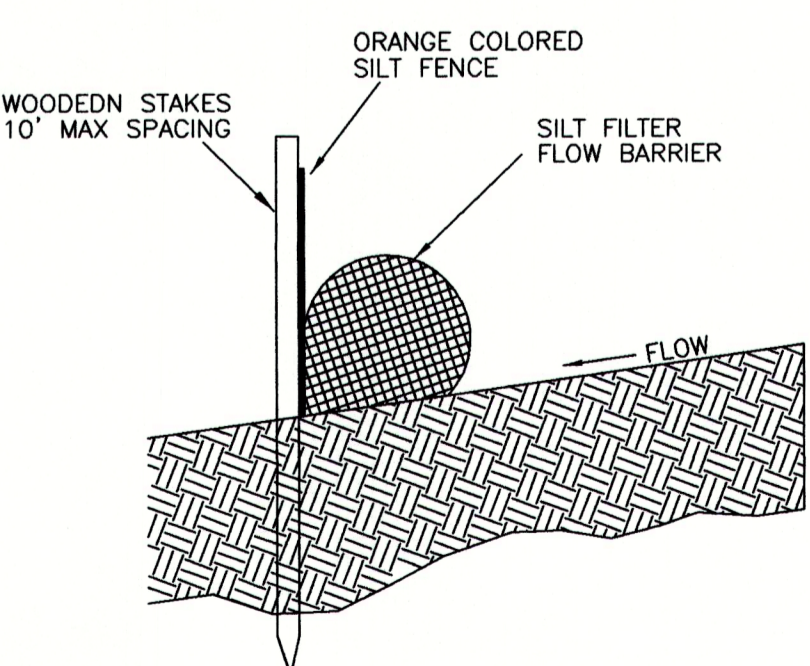
TYPICAL SEWER TRENCH DETAIL NOT TO SCALE



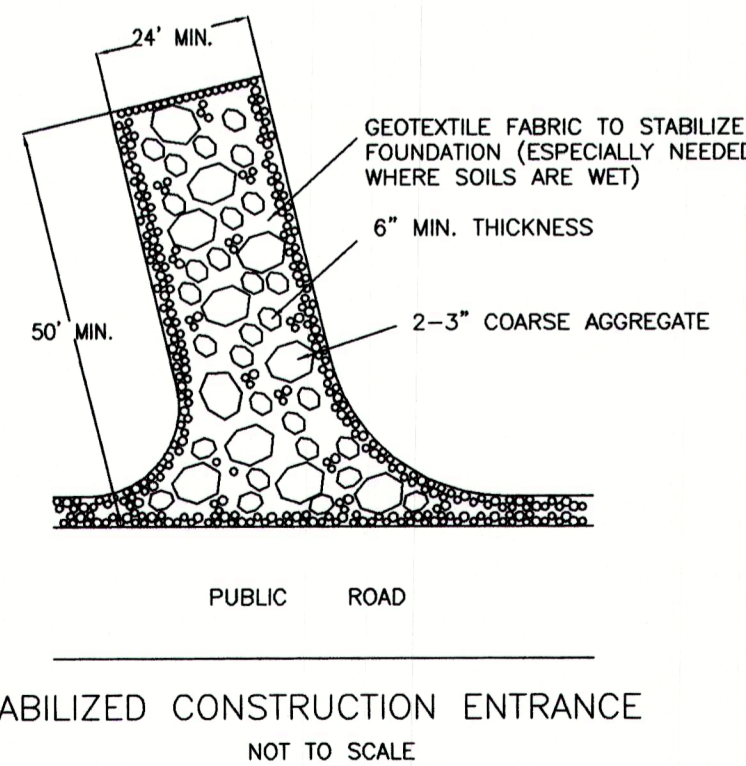
TYPICAL BUILDING CONNECTION NOT TO SCALE



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SILT BARRIER (12" COMPOST SOCK) DETAIL NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE NOT TO SCALE

- SEWER SERVICES SHALL BE LAID AT LEAST 10'-0" HORIZONTALLY FROM WATER LINES AND SERVICES OR FOLLOW "DEP 2001 GUIDELINES AND POLICES FOR PUBLIC WATER SYSTEMS" REGARDING VERTICAL SEPARATION. WATER PIPE CROSSINGS MUST PROVIDE A 0'-18" VERTICAL SEPARATION AND FOLLOW "DEP 2001 GUIDELINES AND POLICES FOR PUBLIC WATER SYSTEMS".
- NO BACKFILL WHATSOEVER SHALL BE PLACED UNTIL PERMITTED BY THE TOWN ENGINEER OR HIS/HER AGENT.
- MAXIMUM TRENCH WIDTH SHALL BE THE PIPE DIAMETER PLUS 2'-0".
- LEDGE, ROCK, Boulders AND LARGE STONES SHALL BE REMOVED TO PROVIDE A MINIMUM CLEARANCE OF 0'-6" BELOW AND ON EACH SIDE OF THE PIPE.
- SEWER SERVICES SHALL BE BEDDED ON A MINIMUM OF 0'-4" THOROUGHLY COMPACTED GRANULAR BEDDING CONSISTING OF 3/4" CRUSHED STONE M.H.D. (M2.01.4).
- SEWER SERVICES SHALL HAVE A MINIMUM DIAMETER OF 0'-6" AND A MINIMUM SLOPE OF 2.0% (FT/FT).
- THE SIDES OF THE SERVICES SHALL BE BACKFILLED AND HAND TAMPED. INITIAL BACKFILL MATERIAL SHALL CONTAIN NO STONES LARGER THAN 0'-3".
- DEBRIS, FROZEN MATERIAL, LARGE CLODS OR STONES, ORGANIC MATTER, OR OTHER MATERIAL DEEMED UNSUITABLE BY THE ENGINEER SHALL NOT BE USED AS BACKFILL WITHIN TWO (2) FEET OF THE TOP OF THE PIPE.
- SEWER SERVICES SHALL HAVE A MINIMUM COVER OF 4'-0" FROM THE TOP OF THE PIPE. SERVICES UNDER PAVED SURFACES OR SIDEWALKS SHALL BE FORMED OF SUCCESSIVE LAYERS NOT MORE THAN ONE (1) FOOT IN DEPTH UNIFORMLY DISTRIBUTED AND EACH LAYER THOROUGHLY COMPACTED TO NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY OF THE MATERIAL. JACKING IS NOT ALLOWED.
- NO FLOODING OR SETTING IS ALLOWED WITHIN THE PUBLIC LAYOUT WITHOUT WRITTEN PERMISSION OF THE TOWN ENGINEER.

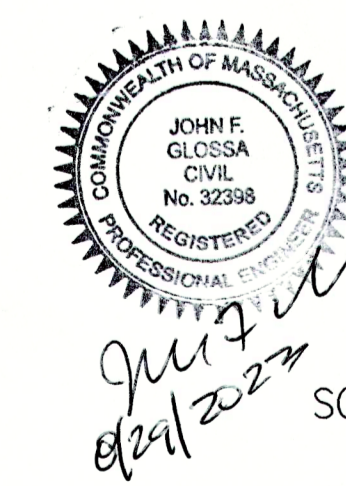
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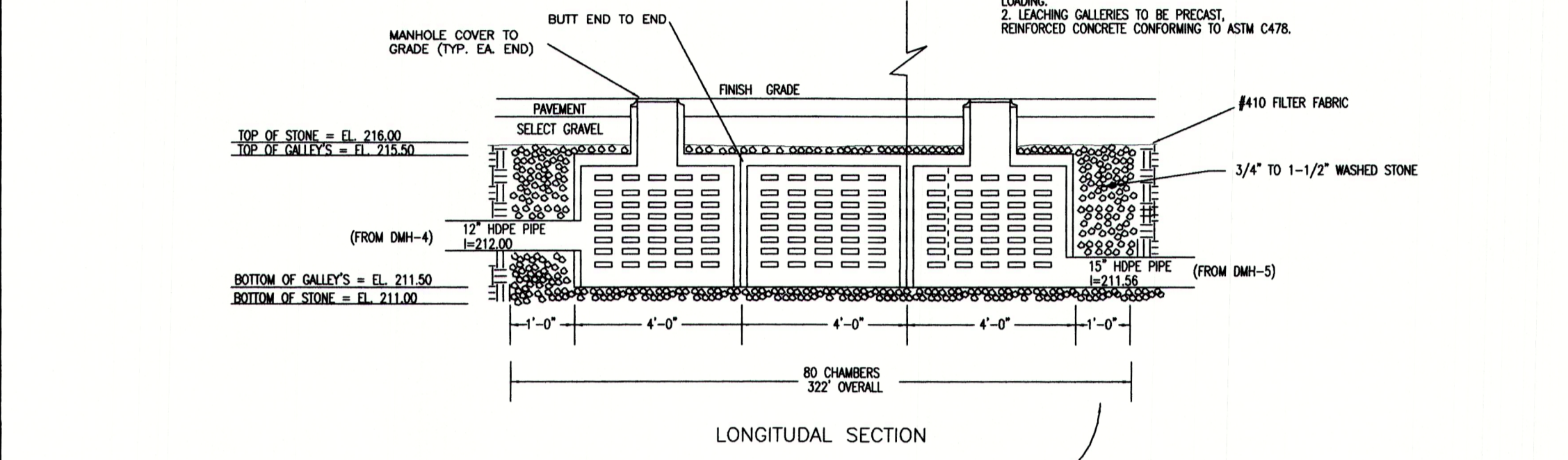
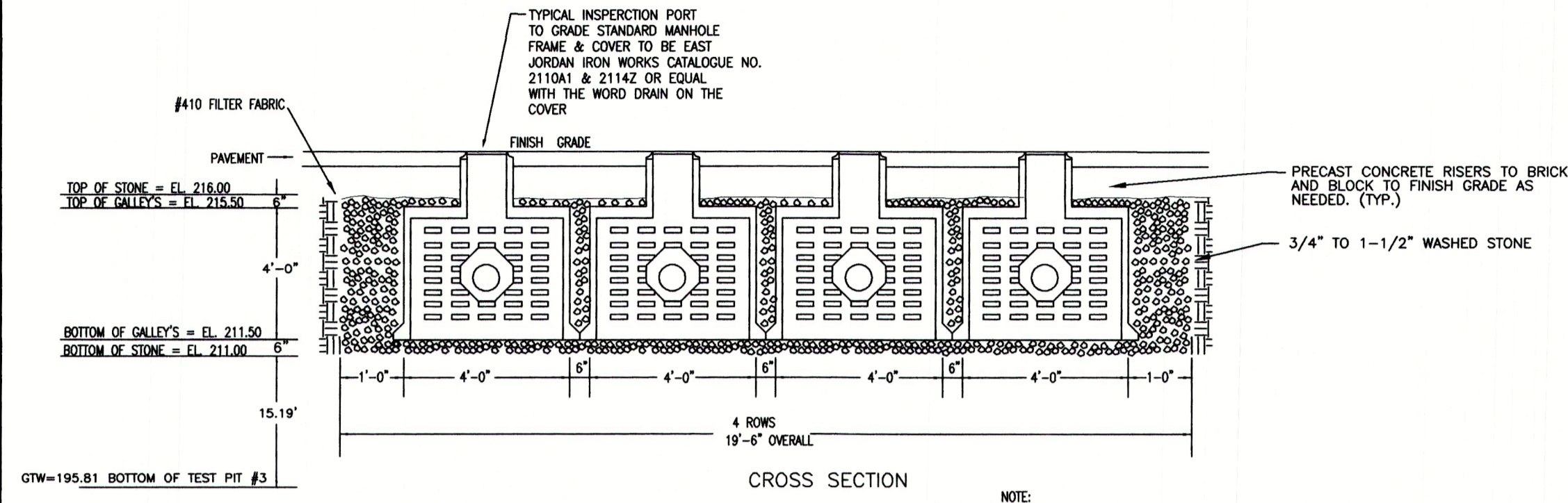
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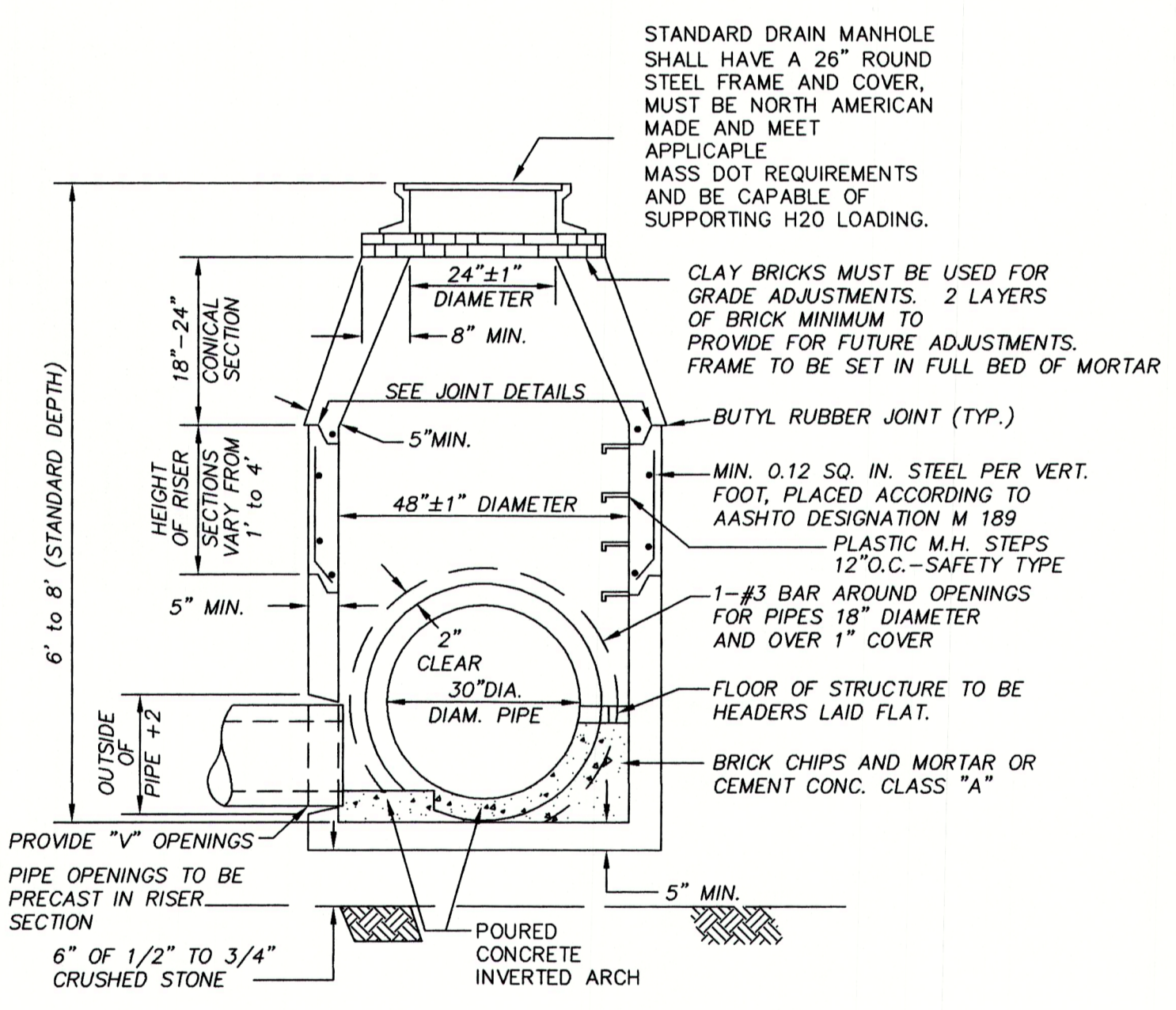
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GLOSSA ENGINEERING, INC. 46 EAST ST EAST WALPOLE, MA 02032 (508) 668-4401

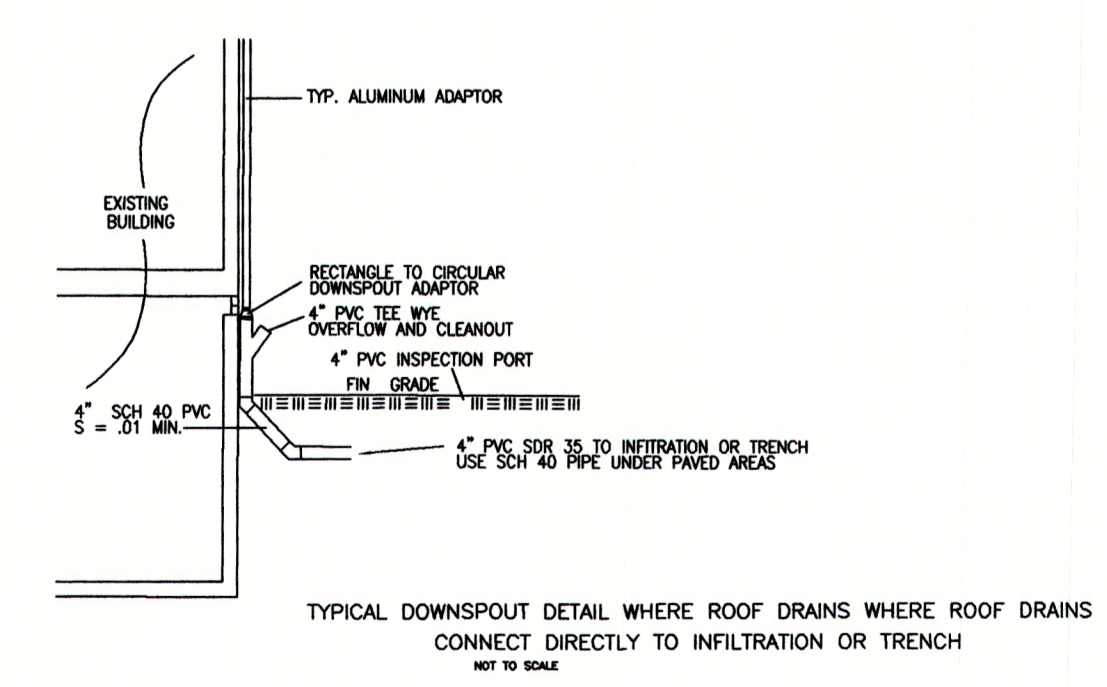


NOTE: REMOVE ALL UNSUITABLE MATERIAL FROM BENEATH THE INFILTRATION BASIN TO THE TOP OF THE SAND AND GRAVEL LAYER AS DETERMINED BY A DEP APPROVED SOIL EVALUATOR. REPLACE WITH SEPTIC SAND

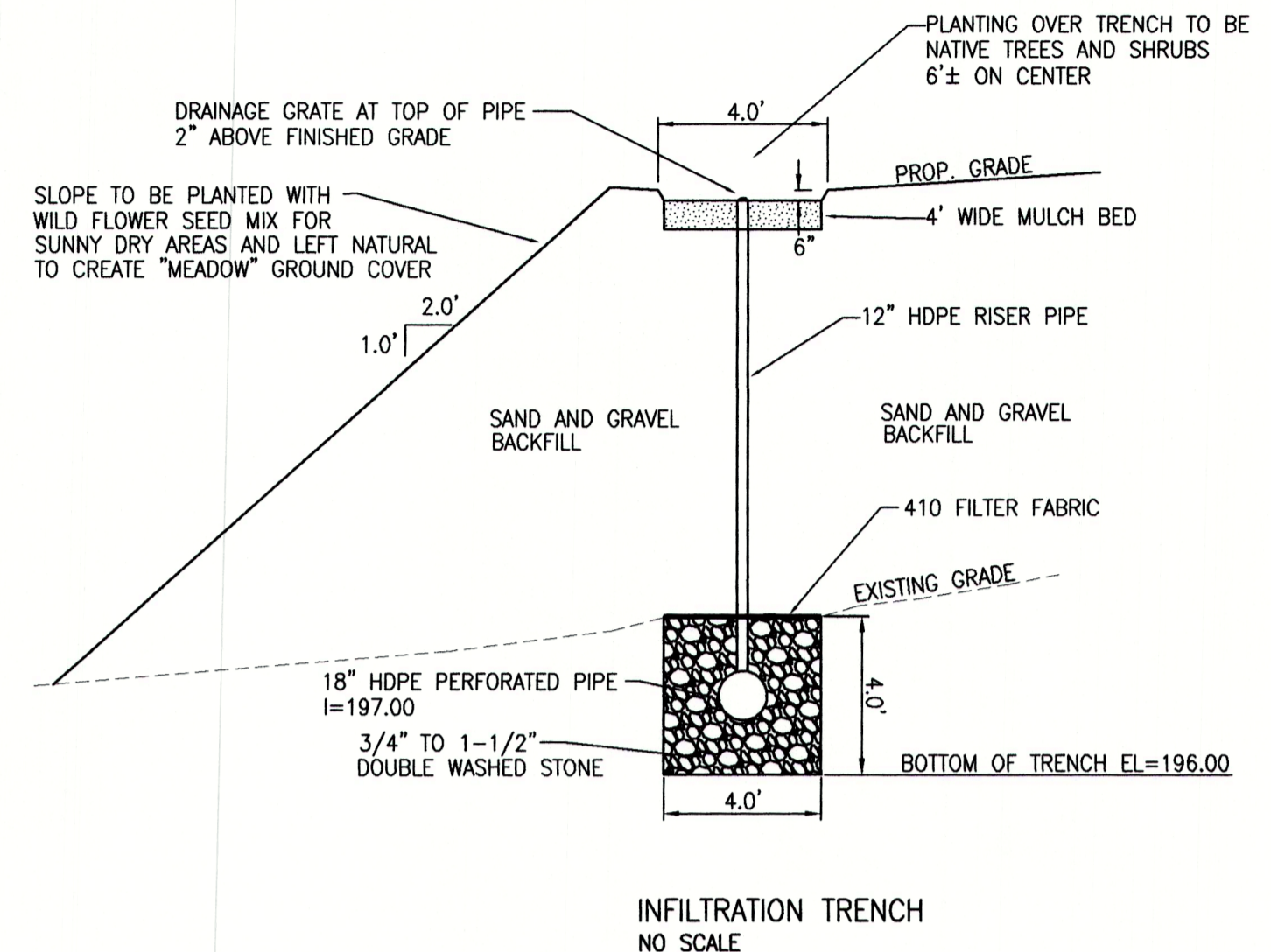
UNDERGROUND INFILTRATION BASIN 1
NOT TO SCALE



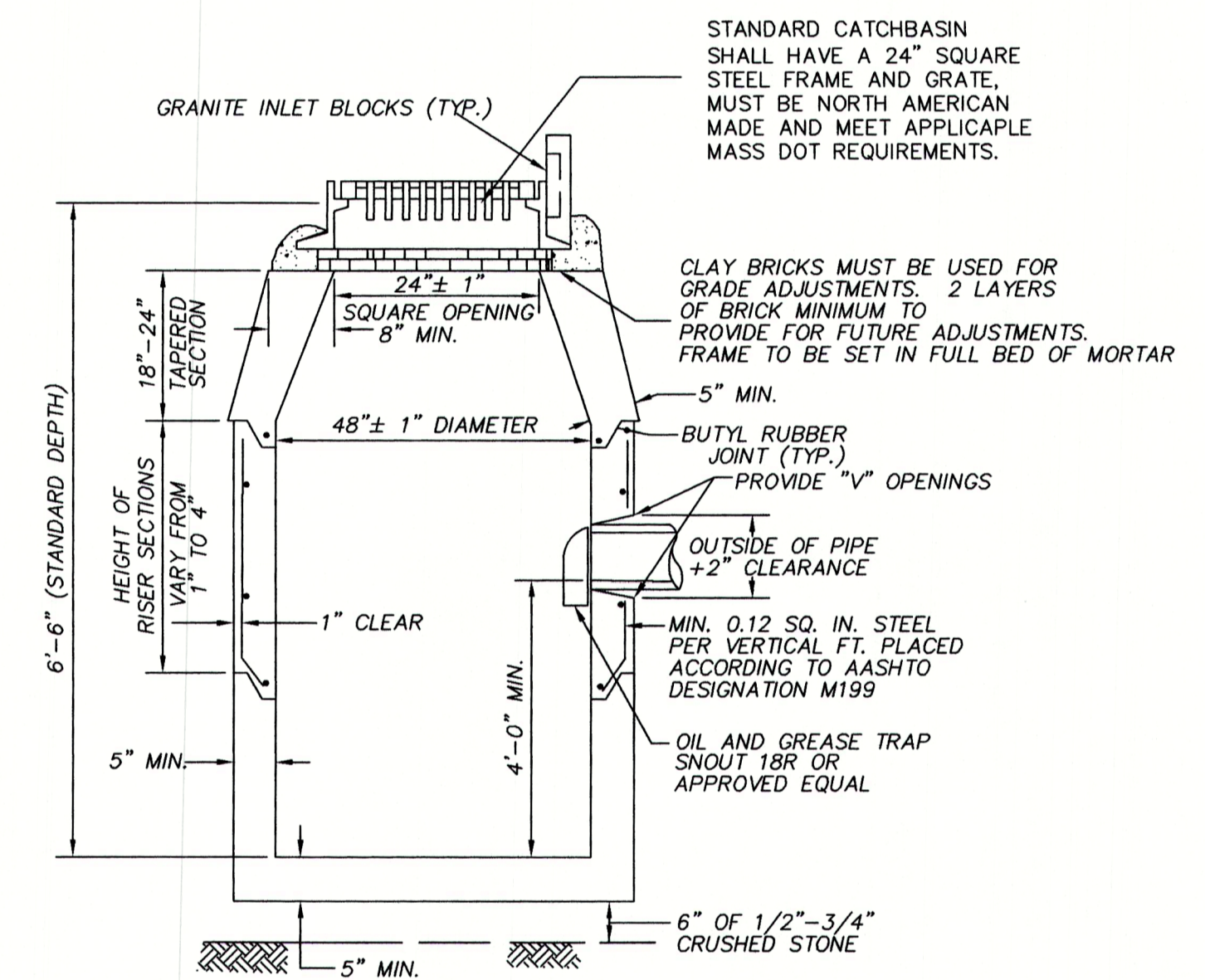
PRECAST CONCRETE MANHOLE DETAILS
E202.4.0
NOT TO SCALE



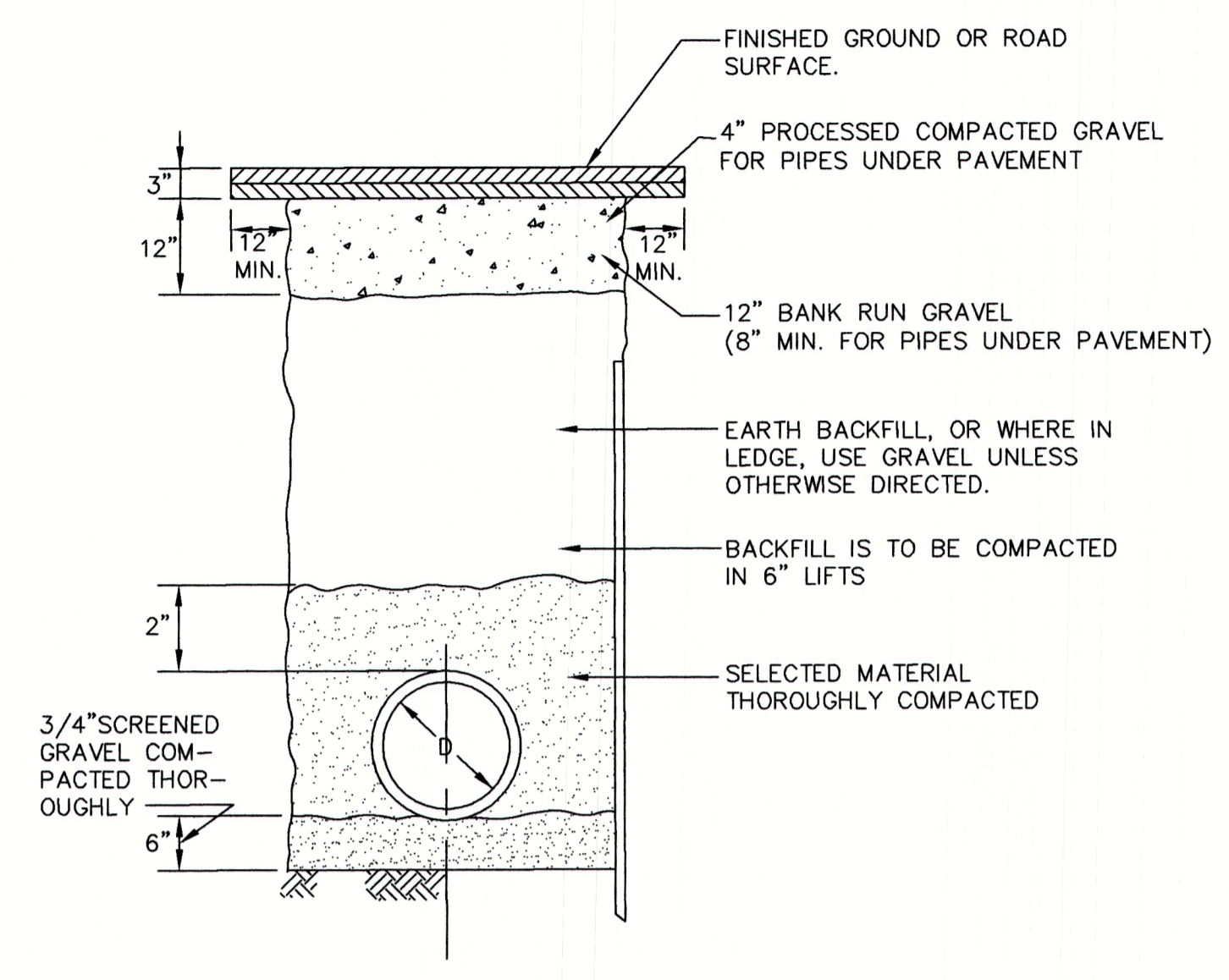
TYPICAL DOWNSPOUT DETAIL WHERE ROOF DRAINS WHERE ROOF DRAINS CONNECT DIRECTLY TO INFILTRATION OR TRENCH
NOT TO SCALE



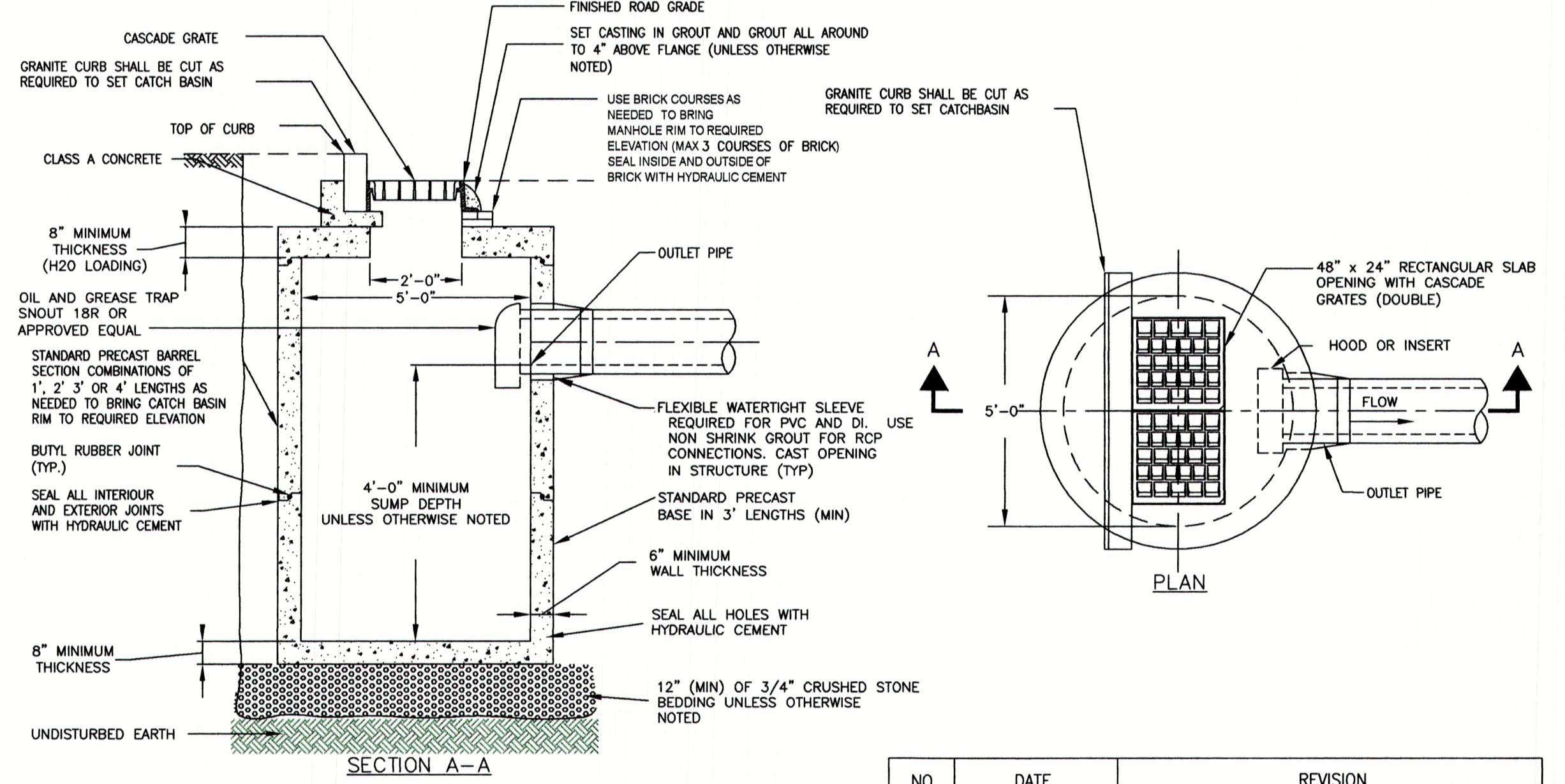
INFILTRATION TRENCH
NO SCALE



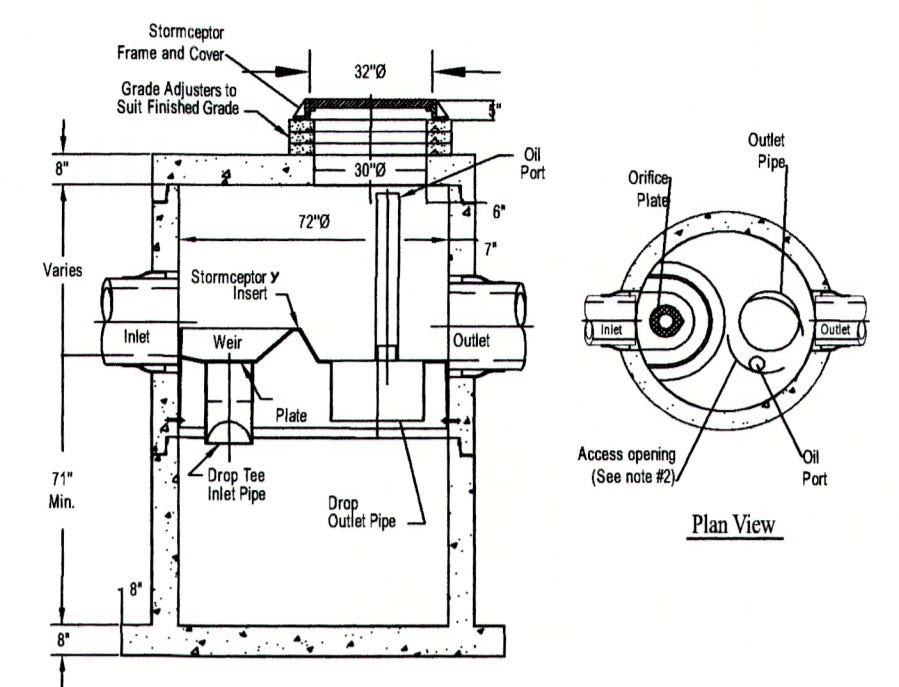
PRECAST CONCRETE CATCH BASIN DETAILS
NOT TO SCALE



TYPICAL DRAIN TRENCH DETAILS
NOT TO SCALE



PRECAST CONCRETE DOUBLE CATCH BASIN DETAILS
NOT TO SCALE



Section Thru Chamber
STC 1200 Precast Concrete Stormceptor
(1200 U.S. Gallon Capacity)

Notes:
1. The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.
2. The Cover Should be Positioned Over The Inlet Drop Pipe and The 18\"/>

NO.	DATE	REVISION
1.	8/22/23	PER LOCAL REQUIREMENTS

APPROVED PURSUANT TO G.L.c. 40B
WALPOLE ZONING BOARD OF APPEALS

I, TOWN CLERK OF THE TOWN OF WALPOLE
WALPOLE RECEIVED AND RECORDED FROM THE ZONING BOARD
OF APPEALS APPROVAL OF THIS PLAN AND NO APPEAL HAS
BEEN TAKEN FOR TWENTY (20) DAYS NEXT AFTER
RECEIPT AND RECORDING OF THE SAME.

WALPOLE TOWN CLERK _____ DATE _____

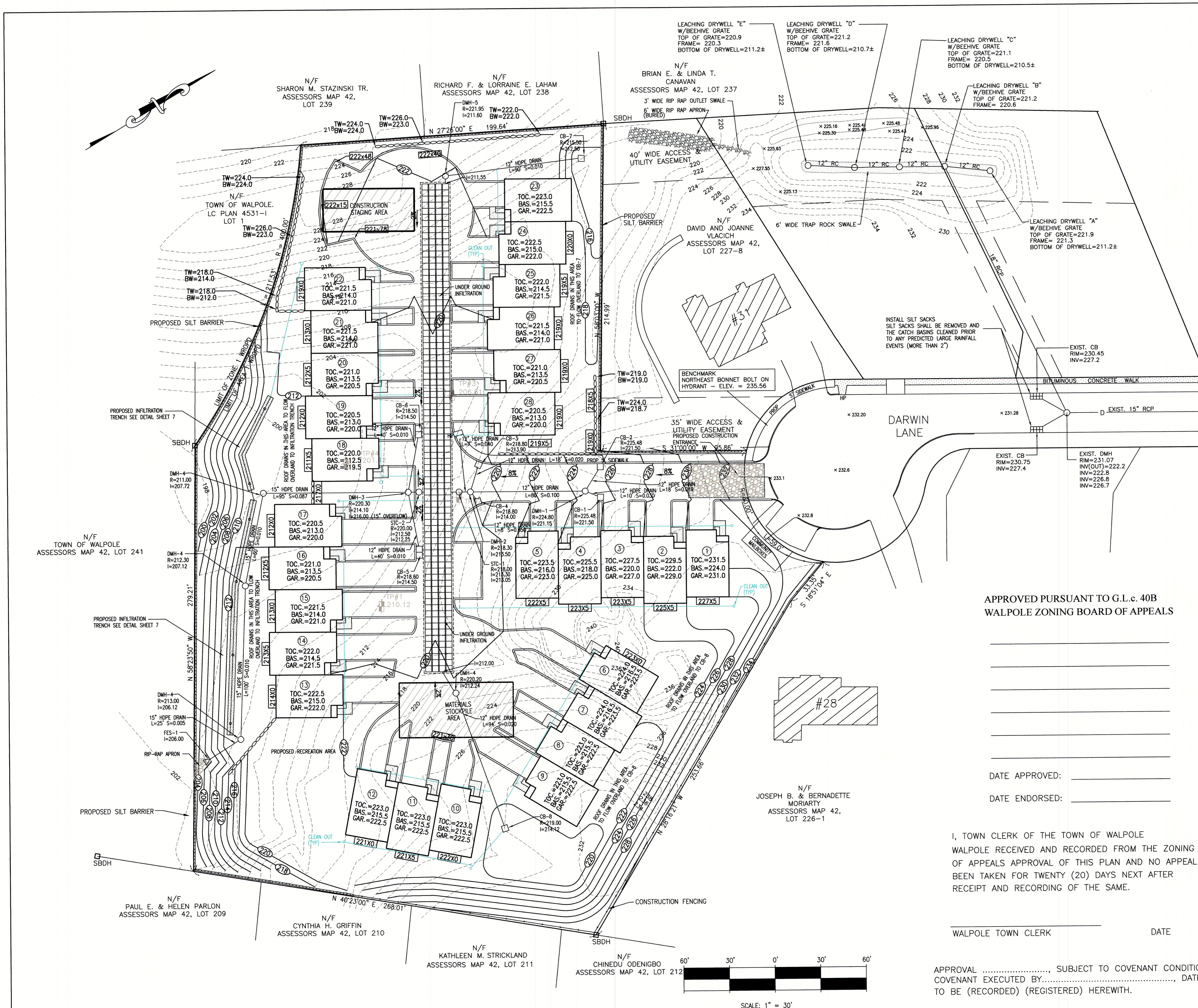
APPROVAL _____, SUBJECT TO COVENANT CONDITIONS SET FORTH IN A
COVENANT EXECUTED BY _____, DATED _____ AND
TO BE (RECORDED) (REGISTERED) HERewith.

DATE APPROVED: _____
DATE ENDORSED: _____

A COMPREHENSIVE PERMIT M.G.L.c. 40B
THE RESIDENCES AT
DARWIN COMMON
28 UNITS
DRAINAGE DETAILS
PLAN OF LAND
IN
WALPOLE, MA
SCALE: NOT TO SCALE AUGUST 13, 2021

GLOSSA ENGINEERING, INC.
46 EAST ST
EAST WALPOLE, MA 02032
(508) 668-4401

John F. Glossa
8/29/2023



- CONSTRUCTION SEQUENCING:**
1. THE LIMIT OF WORK SHALL BE CLEARLY MARKED IN THE FIELD BY THE DESIGN ENGINEER
 2. DESIGNATE THE MATERIAL STOCKPILE AREAS IN THE FIELD
 3. INSTALL SILT CONTROLS AS SHOWN ON THE PLAN
 4. INSTALL STABILIZED CONSTRUCTION ENTRANCES
 5. INSTALL SILT SACKS IN ALL EXISTING NEARBY CATCH BASINS
 6. REMOVE AND STOCKPILE TOP AND SUB SOILS FROM ALL AREAS TO BE DISTURBED
 7. INSTALL TEMPORARY SEDIMENTATION AREAS
 8. INSTALL THE INFILTRATION BASIN
 9. BRING ROADWAY TO SUB GRADE WITH BANK GRAVEL
 10. INSTALL SEWER, WATER AND OTHER UNDERGROUND UTILITIES
 11. USE SILTSACKS FOR SILT CONTROL, BRING ROADWAY TO GRAVEL GRADE AND PAVE WITH BINDER COURSE
 12. CONSTRUCT BUILDINGS
 13. INSTALL CURBING, SIDEWALKS AND LOAM STRIPS
 14. INSTALL THE INFILTRATION TRENCH
 15. LOAM AND SEED ALL SIDE SLOPES AND OTHER DISTURBED AREAS
 16. INSTALL FINAL PAVEMENT
 17. REMOVE SILTATION CONTROLS AND CLEAN UP AREAS INCLUDING CATCH BASIN SUMPS

- CONSTRUCTION NOTES:**
1. ALL AREAS TO BE ALTERED SHALL BE BROUGHT TO SUB GRADE OR FINAL GRADE AT THE START OF CONSTRUCTION
 2. AREAS ONCE BROUGHT TO GRADE THAT WILL NOT BE ALTERED AGAIN SHALL BE LOAMED AND SEEDDED AND PROTECTED WITH STRAW GUARD AS NEEDED
 3. INFILTRATION BASINS AS SHOWN SHALL NOT BECOME OPERATIONAL UNTIL THE SITE IS FINISHED AND SWEEPED OF ALL DEBRIS
 4. TEMPORARY SEDIMENT BASINS SHALL BE USED AND MAINTAINED UNTIL ALL PROPOSED PAVED AREAS ARE COMPLETE AND SWEEPED OF ALL DEBRIS
 5. CATCH BASINS SHALL BE PROTECTED FROM SEDIMENTS AT ALL TIMES UNTIL CONSTRUCTION IS COMPLETE
 6. INSTALL SILT SACKS IN ALL EXISTING AND PROPOSED CATCH BASINS
 7. THE DEVELOPER SHALL MAINTAIN EROSION / SEDIMENTATION CONTROLS DURING CONSTRUCTION AND UNTIL THE SALE OF THE UNITS
 8. EROSION / SEDIMENTATION CONTROLS SHALL BE INSPECTED WEEKLY AND IMMEDIATELY AFTER RAINFALL EVENTS GREATER THAN 1/2"
 9. TEMPORARY GROUND COVER OR EROSION / SILTATION CONTROL SHALL BE ESTABLISHED ON ANY UNBUILT UNITS OR BUILDINGS WHERE REQUIRED BY THE ZONING BOARD

APPROVED PURSUANT TO G.L.c. 40B
WALPOLE ZONING BOARD OF APPEALS

DATE APPROVED: _____

DATE ENDORSED: _____

NO.	DATE	REVISION
1.	8/22/23	PER LOCAL REQUIREMENTS

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WALPOLE TOWN CLERK _____ DATE _____

A COMPREHENSIVE PERMIT M.G.L.c. 40B
THE RESIDENCES AT
DARWIN COMMON
28 UNITS
CONSTRUCTION PERIOD
PLAN OF LAND
IN
WALPOLE, MA

SCALE: 1"=30' AUGUST 13, 2021

GLOSSA ENGINEERING, INC.
46 EAST ST
EAST WALPOLE, MA 02032
(508) 668-4401

John F. Glossa
8/29/2023

APPROVAL _____, SUBJECT TO COVENANT CONDITIONS SET FORTH IN A
COVENANT EXECUTED BY _____, DATED _____ AND
TO BE (RECORDED) (REGISTERED) HEREWITH.