

Lauren Michalski

From: Rick Mattson
Sent: Wednesday, October 18, 2023 8:54 AM
To: Patrick Deschenes
Cc: Lauren Michalski
Subject: FW: Message from KM_368e Potential Dense Building Project
Attachments: Walpole 478.pdf; WHP Reg handout.doc

Hi Patrick,
Attached are the DEP comments related to Darwin Lane. Please share with ZBA.
Thanks
Rick

Rick Mattson
Director of Public Works
Town of Walpole
135 School Street
Walpole, MA 02081
508-660-7305
rmattson@walpole-ma.us



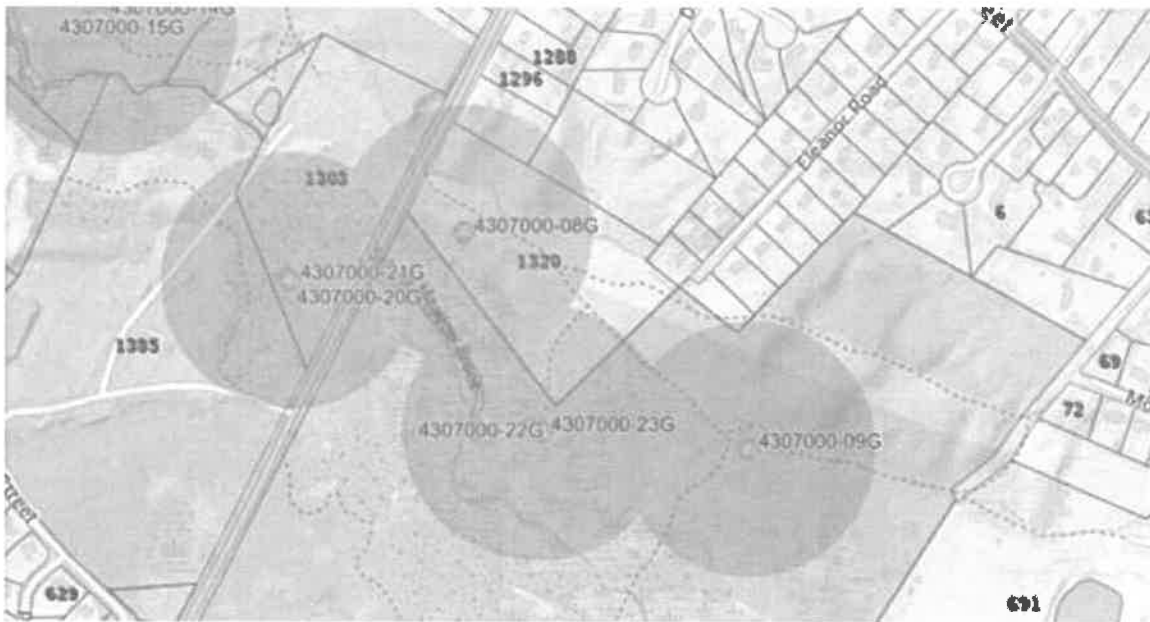
*"The Road to Success is
Always Under Construction"*

From: Sarafinas-Hamilton, Catherine (DEP) <catherine.sarafinas-hamilton@mass.gov>
Sent: Tuesday, October 17, 2023 5:16 PM
To: Rick Mattson <rmattson@walpole-ma.gov>
Cc: Regon, Michelle (DEP) <Michelle.Regon@mass.gov>; McLaughlin, James (DEP) <james.m.mclaughlin@mass.gov>
Subject: RE: Message from KM_368e Potential Dense Building Project

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Hello Rick,

The proposed residential development is located completely in Zone II (#478) of Wells 4037000 - 08G,09G,12G,13G,14G,15G,20G,21G,22G,23G. The project is proposed to be adjacent to the Zone I of Well 08G (Well#5). The Zone I of Well #5 intersects directly with the Zone I of wells 20G, 21G, 22G and 23G, and indirectly with Well 09G. It is important to note that any land use or activity posing a threat to Well #5 poses the same threat to these wells.



The Town of Walpole adopted a *Water Resource Protection District Bylaw (WRPD)* consistent with MassDEP's *Wellhead Protection Regulations (WHP)* 310 CMR 22.21(2). As adopted through zoning, these bylaws apply to all new developments.

Relevant to residential development is the *WHP Regulation* limiting impervious surfaces, 310 CMR 22.21(2)(b)(7). To exceed impervious surfaces > 15% or 2500 sq ft of the lot/parcel, a system of artificial recharge that does not degrade drinking water quality, must be provided.

WRPD Section 3.A.2(d) and (e) prohibits impervious surfaces >15% or 2500 sq ft of a lot/parcel. To exceed this limit, the applicant must apply for a Special Permit (Section.C.5) and demonstrate that the project '*Will not adversely affect an existing or potential water supply*'. The bylaw does not specify a particular method that must be used to achieve this; for guidance it is recommended that the applicant refer to MassDEP's *Stormwater Manual* [MassDEPStormwaterManual](#).

MassDEP's *WHP Regulations* do not limit the density of development in a Zone II; however the *Board of Water and Sewer Commission's* considerations (5/23/22) along with those provided by consultants *Scott Horsely* (8/30/23) and *Tetra Tech* (10/08/23) are consistent with protecting public drinking water quality and are supported by MassDEP's Drinking Water Program; in particular fencing the Zone I, reducing fertilizer use, and not locating contaminated snow piles near the well.

Thank you for reaching out to the Drinking Water Program for input on protecting public drinking water supplies in Walpole.

If you have any questions, please contact me or Michelle Regon in our regional office.

Catherine Hamilton
MassDEP Drinking Water Program
Boston MA
Catherine.sarafinas-hamilton@mass.gov

From: Rick Mattson <rmattson@walpole-ma.gov>
Sent: Monday, October 16, 2023 10:33 AM
To: Sarafinas-Hamilton, Catherine (DEP) <catherine.sarafinas-hamilton@mass.gov>
Cc: McLaughlin, James (DEP) <james.m.mclaughlin@mass.gov>; Scott Gustafson <sgustafson@walpole-ma.gov>
Subject: FW: Message from KM_368e Potential Dense Building Project

CAUTION: This email originated from a sender outside of the Commonwealth of Massachusetts mail system. Do not click on links or open attachments unless you recognize the sender and know the content is safe.

Good Morning Catherine,
Attached is some correspondence related to a 40B project that is proposed to be constructed within close proximity of Walpole's Washington Wells, most particularly Washington #5. As you can understand there is concern over the potential negative impacts that this construction could potentially have on the public water supply. We have been requested to contact the Department to seek any comments that may be applicable or guidance that may be offered relative to this project. Once you review the correspondence could you please provide any input that you think would be pertinent. Thank you in advance.
Regards,
Rick

Rick Mattson
Director of Public Works
Town of Walpole
135 School Street
Walpole, MA 02081
508-660-7305
rmattson@walpole-ma.us



*"The Road to Success is
Always Under Construction"*

From: WaterBizHub@walpole-ma.gov <WaterBizHub@walpole-ma.gov>
Sent: Monday, October 16, 2023 11:04 AM
To: Rick Mattson <rmattson@walpole-ma.gov>
Subject: Message from KM_368e

When writing or responding, please remember that the Secretary of State's Office has determined that email is a public record.