

Date: April 2024

Project: Roadway, Parking Lot, & Sidewalk Replacement, Neponset View Terrace, Walpole

**Roadway, Parking Lot & Sidewalk Replacement
Neponset View Terrace, Walpole
Neponset Housing Authority**

NOTICE OF INTENT

April 2024

A handwritten signature in blue ink, appearing to be 'S. R. J.', is centered on the page.

Prepared by:

WDG | Waterfield Design Group

50 Cross Street | Winchester, Massachusetts | 01890 | t 781.756.0001 f 781.756.0007

WDG Project No.: 1666-76

Date: April 2024

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PROTECT NARRATIVE

1.0 Introduction

On behalf of Walpole Housing Authority (the "Applicant"), Waterfield Design Group, Inc. is pleased to submit this Notice of Intent (NOI) application to the Walpole Conservation Commission (WCC) for an Order of Conditions authorizing the construction of roadway, parking lot, and sidewalk replacement for Neponset View Terrace. This NOI has been prepared in accordance with the Massachusetts Wetlands Protection Act (MGL C.131 §40) and Regulations (310 CMR 10.00) (the "Act"), the Walpole Wetlands Protection Bylaw, and the Town of Walpole Stormwater Management and Erosion Control Bylaw.

The project consists of the demolition and replacement of existing pavement and the conversion of some lawn areas to pavement for additional parking access and associated drainage improvements and stormwater management structures, and associated appurtenances within the existing disturbed and degraded 100- and 200-foot Riverfront Areas to the Neponset River.

2.0 Site Background

The project site is currently owned by the Walpole Housing Authority (WHA). The total lots consist of site consists of 6.8+/- acres and the total site consists of 1.3+/- acres (*Appendix B* -USGS Site Locus Map). The site currently consists of eight (8) residential low-income elderly apartment buildings, one (1) community building, and associated parking, walkways, and site amenities. The buildings were built in 1971.

An open portion of the Neponset River and associated wetlands runs through the northwest of the site approximately thirteen feet (13') lower than the existing site.

3.0 Site Description

The project site is made up of two parcels. The subject parcels are approximately 6.8+/- acres in size.

There are nine (9) buildings on the Parcels. The rest of the parcel not covered by buildings is paved with lawns areas with a few trees and shrub plantings. North of the site the Parcels contain a wooded buffer area to the Neponset River. The Parcels are abutted to the east by commercial development, to the north by wetlands, to the west by wetlands and to the south by Railroad tracks.

The entire site is previously disturbed and degraded by the existing buildings and pavement. The overall site gradient slopes from the east to the west at approximately 6.0%. Runoff currently slopes to inlet grates and the edge of pavement which outlets to the wooded area before the Neponset River.

See Attachment A - Stormwater Report for a description of site soils.

4.0 Wetland Resource Areas

Wetland resource areas were delineated in accordance with the Massachusetts Wetland Protection Act by Seekamp Environmental in January 2023. The extent of the floodplain comes from the FIRM Map Number 25021C0169E dated July 17, 2012.

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4.1 *Bordering Land Subject to Flooding*

According to 310 CMR 10.57, Bordering Land Subject to Flooding ("BLSF") is an area with low, flat topography adjacent to and inundated by flood waters rising from creeks, streams, rivers, ponds or lakes. The boundary of BLSF is the 100-year floodplain. It extends from the outer edge of Bank or BVW. Proposed work in BLSF may be permitted if compensatory storage is provided for all flood storage volume that will be lost as a result of the proposed project. Compensatory storage shall mean a volume not previously used for flood storage, with an unrestricted hydraulic connection to the same waterway or water body. Work within BLSF shall not restrict flows so as to cause an increase in flood elevation.

According to the applicable Federal Emergency Management Agency Flood Map (Map Number 25021C0169E, dated July 17, 2012), all areas of the site lower than the 133 (NAVD 1988) elevation are within the floodplain. All areas on site are above elevation 133. No work is proposed within Bordering Lands Subject to Flooding.

4.2 *Bank*

According to 310 CMR 10.54, an inland bank is the portion of the land surface which normally abuts and confines a water body. It occurs between a water body and a bordering vegetated wetland and adjacent floodplain, or in the absence of these, it occurs between a water body and upland. The upper boundary of bank is the first observable break in slope or the mean annual flood level, whichever is lower. The lower boundary of bank is the mean annual low flow level.

Bank identified with the Neponset River was delineated by Seekamp Environmental. There are no areas of impact proposed under this development.

4.3 *Land Under Waterbodies and Waterways*

According to 310 CMR 10.56, land under waterbodies and waterways (LUW) is the land beneath any creek, river, stream, pond or lake. The boundary of LUW is the mean annual low water level. LUW on the site is associated with the Neponset River.

No impacts to LUW are proposed under this filing, as no work will occur within the river.

4.5 *Riverfront Area*

According to 310 CMR 10.58, a Riverfront Area (RFA) is the area of land between a river's mean annual high-water line and a parallel line measured 200 feet horizontally outward. A river means any natural flowing body of water that empties to any ocean, lake, pond or other river and which flows throughout the year. Perennial streams are rivers; intermittent streams are not rivers. RFA may include or overlap other resource areas or their buffer zones. RFA does not have a buffer zone.

The applicable USGS quadrangle for the project locus identifies the Neponset River as a perennial stream. In accordance with the Act, it is presumed that this stream has a 200-foot wide RFA associated with it. The bank of this river was identified by Seekamp Environmental.

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A portion of the site is within the 100- and 200-foot Riverfront Areas.

5.0 Proposed Work

The applicant is proposing to remove and replace existing bituminous concrete roadway and sidewalks areas.

A portion of this is re-pavement work within the 100-foot Riverfront Area. No increase in pavement is proposed in the 100-foot Riverfront Area.

The applicant is proposing to remove a portion of the existing lawn island between Buildings 3 & 4 and replace that area with three (3) parking spaces, additional turnaround space for emergency and maintenance vehicles, and a dumpster pad for improved trash removal. Two (2) clumps of small pines and four (4) small shrubs will be removed as part of this parking and dumpster expansion.

The applicant is proposing to remove a portion of the existing lawn area west of Buildings 3 and replace that area with two (2) parking spaces. No additional vegetation will be removed in this area.

The applicant is proposing to remove a portion of the existing lawn behind Buildings 4 and replace that area with four (4) parking spaces. Two (2) clumps of small pines and four (4) small shrubs will be removed as part of this parking and dumpster expansion. No additional vegetation will be removed in this area.

The applicant is proposing to remove a portion of existing lawn and shrubs north of Building 4 to provide the required turnaround area for the existing parking spaces. Currently these parking spaces do not meet the required driveway width requirements. Portions of this is within the 100-foot and 200-foot Riverfront Areas. The portion within the 100- Riverfront Area will be offset by the removal of a parking space at the western end of the parking lot within the 100-Riverfront Area and replacing that area with lawn.

The applicant is proposing to remove a portion of existing pavement between Buildings 6 and 9 and replace it with lawn area and a new tree.

These new pavement areas replacing lawn are within the 200-foot Riverfront Area, but outside of the 100-foot Riverfront Area.

The increase in impervious area at the site is 4,494 SF, all outside of the 100-Riverfront Area.

The applicant is proposing to remove five dying trees at the guardrail at the north of the site which are overhanging the parking spaces and when they fall could harm and endanger residents and cause significant damage to property. These trees are within the 100-foot Riverfront Area.

5.1 Demolition

The applicant will remove and replace the old and failing bituminous concrete roadways and parking areas. The applicant will remove and stack the loam and seed in lawn areas to be removed and reused. The applicant will remove and dispose of the bituminous concrete to be removed and replaced with loam and seed and tree plantings. All site features and pavement will be removed from the site and disposed of properly.

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The site currently has 31,501 square feet of impervious area within the Riverfront Area. This existing disturbance is within the Riverfront Area and the proposed project will have a total of 35,995 square feet of impervious area within the Riverfront Area. The increase in impervious area altering the site is 4,494 square feet. The increase in impervious area will all be outside of the 100-foot Riverfront Area.

A silt sock shall be installed along the edge of the top of the slope of the wooded area before the Neponset River and associated wetlands.

5.2 *Site Preparation/Stormwater Management Structures*

The clean fill left on site will be redistributed around the site and the site will be re-graded for project construction. Stormwater management structures including two (2) underground infiltration systems will be constructed underneath the proposed parking areas.

The proposed stormwater management system includes two new systems;

System 1: System 1 is for the new parking area west of Building 4. One (1) catch basin collects runoff from the new parking area. This catch basins will connect to a proprietary separator and then to underground infiltration chambers. The underground storage system will be comprised of prefabricated chambers with an outlet control structure for overflow. The overflow will connect to the applicant's existing drainage system.

System 2: System 2 is for the new parking area at the circle between Buildings 3 & 4. One (1) catch basin collects runoff from the new parking area. This catch basins will connect to a proprietary separator and then to underground infiltration chambers. The underground storage system will be comprised of prefabricated chambers with an outlet control structure for overflow. The overflow will connect to the applicant's existing drainage system.

6.0 *Regulatory Compliance*

Project activities will be located within previously developed and degraded Riverfront Area. The Walpole Conservation Commission Bylaw requires a 25 foot No Alteration Zone from top of bank. This requirement will be met.

6.1 *Riverfront Area*

The proposed project will be conducted within currently disturbed and degraded RFA. In accordance with the provisions of 310 CMR 10.58 (4) (c) and (d), the issuing authority may allow work to redevelop a previously developed and degraded RFA provided the proposed work improves existing conditions. Redevelopment means replacement, rehabilitation or expansion of existing structures, improvements of existing roads, or reuse of degraded or previously developed areas. The previously developed RFA contains areas degraded prior to August 7, 1996, by impervious surfaces from existing structures or pavement, removal of natural vegetation, and absence of topsoil. Work to redevelop previously disturbed areas shall conform to the following summarized criteria:

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Proposed work shall result in an improvement over existing conditions of the capacity of the RFA to protect the interests identified in the Wetlands Protection Act;

Currently, structures and impervious pavement exist within close proximity of the banks of the Neponset River. Project re-development will be conducted within previously disturbed RFA to accommodate the site and stormwater management improvements at the site. The improvements are proposed to improve the degraded site conditions with broken pavement allowing fines and larger pieces of erosion to enter the nearby river. In order to conduct the proposed pavement improvements, pavement needs to increase in some areas in order to meet local access and parking requirements. Proposed work within 200 feet of the riverbank includes removal of existing deteriorating pavement, expansion of parking areas to accommodate the vehicle uses of the residents and visitors to the site expansion of the vehicle circle and driveways to bring the parking areas and emergency and maintenance vehicles access ways up to current Town standards and construction of stormwater management structures.

The increase in new pavement within the 100' RFA will be mitigated with the removal of an equal amount of pavement within the 100' RFA. No increase in impervious area will occur within the 100' RFA.

The increase in new pavement within the 200' RFA will alter less than 5,000 square feet and will alter less than the 10% of the Riverfront Area within the lot, which the issuing authority may allow for lots recorded before October 6, 1997. The total Riverfront Area within the lot is approximately 194,430 SF. The area to be altered from lawn to pavement is 4,494 square feet.

Therefore, the proposed work will result in an improvement over existing conditions within the RFA.

Stormwater management is provided according to the standards established by the Department;

The project has been designed to comply with the DEP Stormwater Management Policy. See Attachment A - Stormwater Report.

Within 200 RFA, proposed work shall not be located closer to the river than existing conditions or 100 feet, whichever is less;

Within the 200 RFA the proposed work is not located closer to the river than existing conditions. Previously, disturbances on the site extended to within 52' of the banks of the Neponset River. Proposed activities include removal and replacement of degraded pavement, upgrade of pavement to meet current Town emergency vehicle and parking requirements, underground storage drainage structures, and additional parking spaces within the 200 RFA. Activities will not be located closer to the river than existing conditions.

Proposed work shall be located outside of the RFA or toward the RFA boundary and away from the river except in accordance with 310 CMR 10.58 (5)(f) or (g);

Proposed activities have been located as far from the Riverfront Area as practical. The entire site has previously been completely altered and degraded. The proposed site is maintaining the disturbance within the 100' RFA and alters less than 5,000 and less than 10% of the lot within the 200' RFA. Therefore, this item has been met.

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The area of proposed work shall not exceed the amount of degraded area, provided that the proposed work may alter up to 5,000 square feet or 10% if the degraded area is less than 10% of the RFA, except in accordance with 310 CMR 10.58 (5)(f) or (g);

The changes are the site will alter less than 5,000 square feet of the lot and less than 10% of the lot within RFA. Therefore, this item has been met.

When an applicant proposes restoration on-site of degraded riverfront area, alteration may be allowed notwithstanding the criteria of 310 CMR 10.58 (5)(c), (d), and (e) at a ratio in s.f. of at least 1:1 of restored area to area of alteration not conforming to the criteria;

The degraded area within the 100' RFA is restored at a 1:1 ratio. Therefore, this item has been met.

6.2 Alternative Analysis

Part of the proposed project involves work within the Riverfront Area. The proposed work within the Riverfront Area involves the re-development of approximately 61,882 square feet of site within the 200' RFA. All proposed work is in previously disturbed and degraded areas. This project proposes demolishing the existing pavement and parking areas within the Riverfront Area, restoration of parking areas to meet current parking and emergency vehicle requirements and stormwater standards for the additional pavement, and the development of new parking areas within the 200' RFA.

The proposed redevelopment of the site will replace aging and degraded paved areas with a stable and clean new pavement for the users of the WHA property.

Below is an analysis of the alternative development options for the existing site.

Alternative #1 Leave the Site in its Existing Condition

Leaving the site in its existing conditions will continue to allow untreated surface runoff from the existing roof and pavement areas to flow in the Neponset River. The site will continue to its aging and degraded state and deteriorate more with time.

Alternative #2 Repave Only in the Current Pavement Locations

Repaving the parking and driveway areas in the same location would continue the current parking and driveways layouts which do not meet the existing Town of Walpole parking space and emergency and maintenance vehicle access requirements. Therefore, repaving in the same conditions would not be beneficial to the Town or the WHA.

Alternative #3 Do Not Expand the Parking within the 200' RFA

The current parking areas were designed in the 1970s when residents used vehicles significantly less than is currently common and required by the Town regulations. Additional parking spaces are needed to properly service the residents and visitors of the Neponset View Terrace.

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To not include the spaces would be a significant hardship for the low-income housing residents using the site.

The proposed spaces are in existing lawn areas and will not be impeded on any woodlands and naturally vegetated areas at the site.

Conclusion

Since the proposed location of the re-development of the site within the Riverfront Area is in an existing disturbed and degraded location covered in impervious material and lawn areas, the proposed re-development of the site with expanded parking and access driveways to meet current Town requirements and with expanded parking within the 200' RFA that is still under the 10% of degraded areas allowed at the site. The proposed development will service the residents at the low-income housing site to meet current Town regulations while not increasing the disturbance at the site beyond what is allowed by the regulations.

7.0 Sedimentation Controls

An erosion and sediment control program will minimize the risk of impacts to the resource areas during construction of the project. The program incorporates Best Management Practices (BMPs) specified in the guidelines developed by the DEP and complies with the requirements of the National Pollutant Discharge Elimination System (NPDES) General Permit for Storm Water Discharges from construction activities. These measures include the installation of temporary erosion and sediment controls and construction sequencing. Areas of exposed soil will be kept to a minimum and a permanent vegetative cover will be established as soon as practicable after final grading. Details of the erosion and sediment control measures proposed for site preparation and development phases will be included in the attached Stormwater Report (Attachment A – Stormwater Report).

8.0 Planting Plan

In the past, the project site has been completely altered to the extent of the top of slope of the wooded area approximately 50 feet from the banks of the Neponset River. The proposed project utilizes the disturbed area as an updated and improved parking area to meet the Town's current parking and emergency and maintenance vehicle requirements and the parking needs of the low-income housing residents.

Planting installations shall be supervised by a qualified landscape architect to ensure survivability through proper spacing and appropriate field locations. Proposed planting species and locations are identified on Sheet C-2 of the site plans.

9.0 Monitoring

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Plantings conducted within the RFA will be monitored for two complete growing seasons to ensure that at least 75% of the plantings remain successful. The initial plantings will be supervised by a qualified landscape architect who will determine the appropriate location and spacing for the selected species. Planted areas will be inspected in the spring and fall of each growing season. If significant die-off of the species is observed following the first growing season, a Contingency Plan will be prepared to address the problem.

10.0 Construction Sequence

See Attachment A – Stormwater Report for construction sequencing.

11.0 Conclusion

The proposed project has been designed to provide improved parking and emergency and maintenance vehicle access to the existing site to meet current Town regulations and the needs of the low-income residents at the site. In addition, the project will re-use an existing disturbed and degraded site adjacent to the Neponset River instead of building new parking or housing closer to resource areas. The project has been designed to comply with the performance standards of the Massachusetts Wetland Protection Act and the Walpole Wetlands Protection Bylaw Regulations.

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Appendix A

DEP NOI Form 3



WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Walpole

City/Town

Important:

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

<u>Neponset View Terrace</u>	<u>Walpole</u>	<u>02081</u>
a. Street Address	b. City/Town	c. Zip Code
<u>Latitude and Longitude:</u>	<u>42°08'59"</u>	<u>71°15'04"</u>
	d. Latitude	e. Longitude
<u>Map 25</u>	<u>Plat 176, 177</u>	
f. Assessors Map/Plat Number	g. Parcel /Lot Number	

2. Applicant:

<u>Walople Housing Authority</u>	<u>Walople</u>	<u>MA</u>	<u>02081</u>
a. First Name	b. Last Name	f. State	g. Zip Code
<u>8 Diamond Pond Terrace</u>			
c. Organization			
<u>508-668-7878</u>	<u>Director@walpolehousing.org</u>		
d. Street Address	j. Email Address		
e. City/Town			
h. Phone Number	i. Fax Number		

3. Property owner (required if different from applicant): Check if more than one owner

Same as owner

<u>Walople</u>	<u>MA</u>	<u>02081</u>
a. First Name	b. Last Name	g. Zip Code
<u>8 Diamond Pond Terrace</u>		
c. Organization		
<u>508-668-7878</u>	<u>Director@walpolehousing.org</u>	
d. Street Address	j. Email address	
e. City/Town	f. State	g. Zip Code
h. Phone Number	i. Fax Number	

4. Representative (if any):

<u>Jacob</u>	<u>Murray</u>	
a. First Name	b. Last Name	
<u>Waterfield Design Group, Inc.</u>		
c. Company		
<u>50 Cross Street</u>		
d. Street Address		
<u>Winchester</u>	<u>MA</u>	<u>01890</u>
e. City/Town	f. State	g. Zip Code
<u>781-756-0001</u>	<u>jmurray@wdgrp.com</u>	
h. Phone Number	i. Fax Number	j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

<u>Waived for Public Entity</u>		
a. Total Fee Paid	b. State Fee Paid	c. City/Town Fee Paid



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A. General Information (continued)

6. General Project Description:

Repaving existing parking areas and driveways and expansion of parking areas into lawns to meet current needs of low-income housing residents and become closer to Town parking and emergency and maintenance access requirements.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1. Single Family Home
- 2. Residential Subdivision
- 3. Commercial/Industrial
- 4. Dock/Pier
- 5. Utilities
- 6. Coastal engineering Structure
- 7. Agriculture (e.g., cranberries, forestry)
- 8. Transportation
- 9. Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Norfolk

a. County

4671

c. Book

b. Certificate # (if registered land)

199

d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1. Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2. Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet	2. square feet
	3. cubic yards dredged	

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input type="checkbox"/> Bordering Land Subject to Flooding	0	0
	1. square feet	2. square feet
	0	0
e. <input type="checkbox"/> Isolated Land Subject to Flooding	3. cubic feet of flood storage lost	4. cubic feet replaced
	1. square feet	
f. <input checked="" type="checkbox"/> Riverfront Area	2. cubic feet of flood storage lost	3. cubic feet replaced
	Neponset River	

1. Name of Waterway (if available) - **specify coastal or inland**
2. Width of Riverfront Area (check one):
- 25 ft. - Designated Densely Developed Areas only
 - 100 ft. - New agricultural projects only
 - 200 ft. - All other projects
3. Total area of Riverfront Area on the site of the proposed project: 194,430 square feet
4. Proposed alteration of the Riverfront Area:
- | | | |
|----------------------|-------------------------------|--|
| <u>4,494</u> | <u>0</u> | <u>4,494</u> |
| a. total square feet | b. square feet within 100 ft. | c. square feet between 100 ft. and 200 ft. |

5. Has an alternatives analysis been done and is it attached to this NOI? Yes No
6. Was the lot where the activity is proposed created prior to August 1, 1996? Yes No

3. Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	1. square feet 2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	1. square feet	2. cubic yards dune nourishment

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
f. <input type="checkbox"/> Coastal Banks	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	1. square feet	
h. <input type="checkbox"/> Salt Marshes	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	1. square feet 2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above 1. cubic yards dredged	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	1. square feet	

4. Restoration/Enhancement
If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

a. square feet of BVW

b. square feet of Salt Marsh

5. Project Involves Stream Crossings

a. number of new stream crossings

b. number of replacement stream crossings



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C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

- Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

a. Yes No **If yes, include proof of mailing or hand delivery of NOI to:**

**Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581**

Online 2024 _____
b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

c. Submit Supplemental Information for Endangered Species Review*

- Percentage/acreage of property to be altered:
 - (a) within wetland Resource Area _____ percentage/acreage
 - (b) outside Resource Area _____ percentage/acreage
- Assessor's Map or right-of-way plan of site

- Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **
 - (a) Project description (including description of impacts outside of wetland resource area & buffer zone)
 - (b) Photographs representative of the site

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <http://www.mass.gov/eea/agencies/dfg/dfw/natural-heritage/regulatory-review/>). Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
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C. Other Applicable Standards and Requirements (cont'd)

(c) MESA filing fee (fee information available at http://www.mass.gov/dfwele/dfw/nhosp/regulatory_review/ mesa/ mesa_fee_schedule.htm).
Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

(d) Vegetation cover type map of site

(e) Project plans showing Priority & Estimated Habitat boundaries

(f) OR Check One of the Following

1. Project is exempt from MESA review.
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, http://www.mass.gov/dfwele/dfw/nhosp/regulatory_review/ mesa/ mesa_exemptions.htm; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2. Separate MESA review ongoing. a. NHESP Tracking # b. Date submitted to NHESP

3. Separate MESA review completed.
Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

a. Not applicable – project is in inland resource area only b. Yes No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

Division of Marine Fisheries -
Southeast Marine Fisheries Station
Attn: Environmental Reviewer
1213 Purchase Street – 3rd Floor
New Bedford, MA 02740-6694
Email: DMF.EnvReview-South@state.ma.us

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -
North Shore Office
Attn: Environmental Reviewer
30 Emerson Avenue
Gloucester, MA 01930
Email: DMF.EnvReview-North@state.ma.us

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.



WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

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C. Other Applicable Standards and Requirements (cont'd)

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
 a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
 b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
 a. Yes No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
 a. Yes No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
 a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
 1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 2. A portion of the site constitutes redevelopment
 3. Proprietary BMPs are included in the Stormwater Management System.
 b. No. Check why the project is exempt:
 1. Single-family house
 2. Emergency road repair
 3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



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D. Additional Information (cont'd)

3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4. List the titles and dates for all plans and other materials submitted with this NOI.

Roadway, Parking Lot, Sidewall Replacement

a. Plan Title

Waterfield Design Group, Inc.

Craig R. Miller

b. Prepared By

c. Signed and Stamped by

4-10-24

1" = 30'

d. Final Revision Date

e. Scale

f. Additional Plan or Document Title

g. Date

5. If there is more than one property owner, please attach a list of these property owners not listed on this form.

6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.

7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.

8. Attach NOI Wetland Fee Transmittal Form

9. Attach Stormwater Report, if needed.

E. Fees

1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

2. Municipal Check Number

3. Check date

4. State Check Number

5. Check date

6. Payor name on check: First Name

7. Payor name on check: Last Name



WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

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F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

Monique S Bergeron

1. Signature of Applicant

04/11/2024

2. Date

3. Signature of Property Owner (if different)

4. Date

5. Signature of Representative (if any)

6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.

Date: April 2024

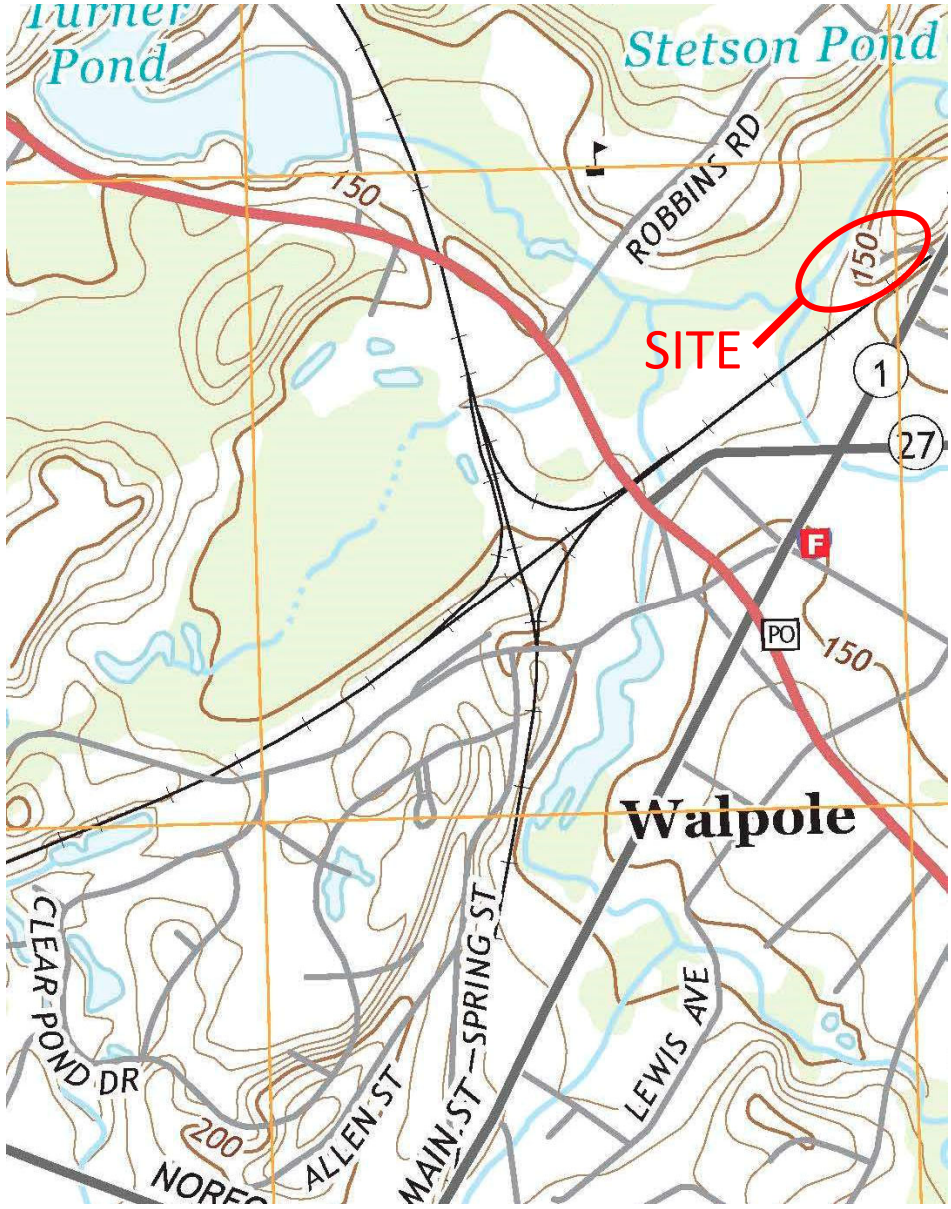
Project: Roadway, Parking Lot, & Sidewalk Replacement, Neponset View Terrace, Walpole

Appendix B

USGS & FEMA Site Locus Map

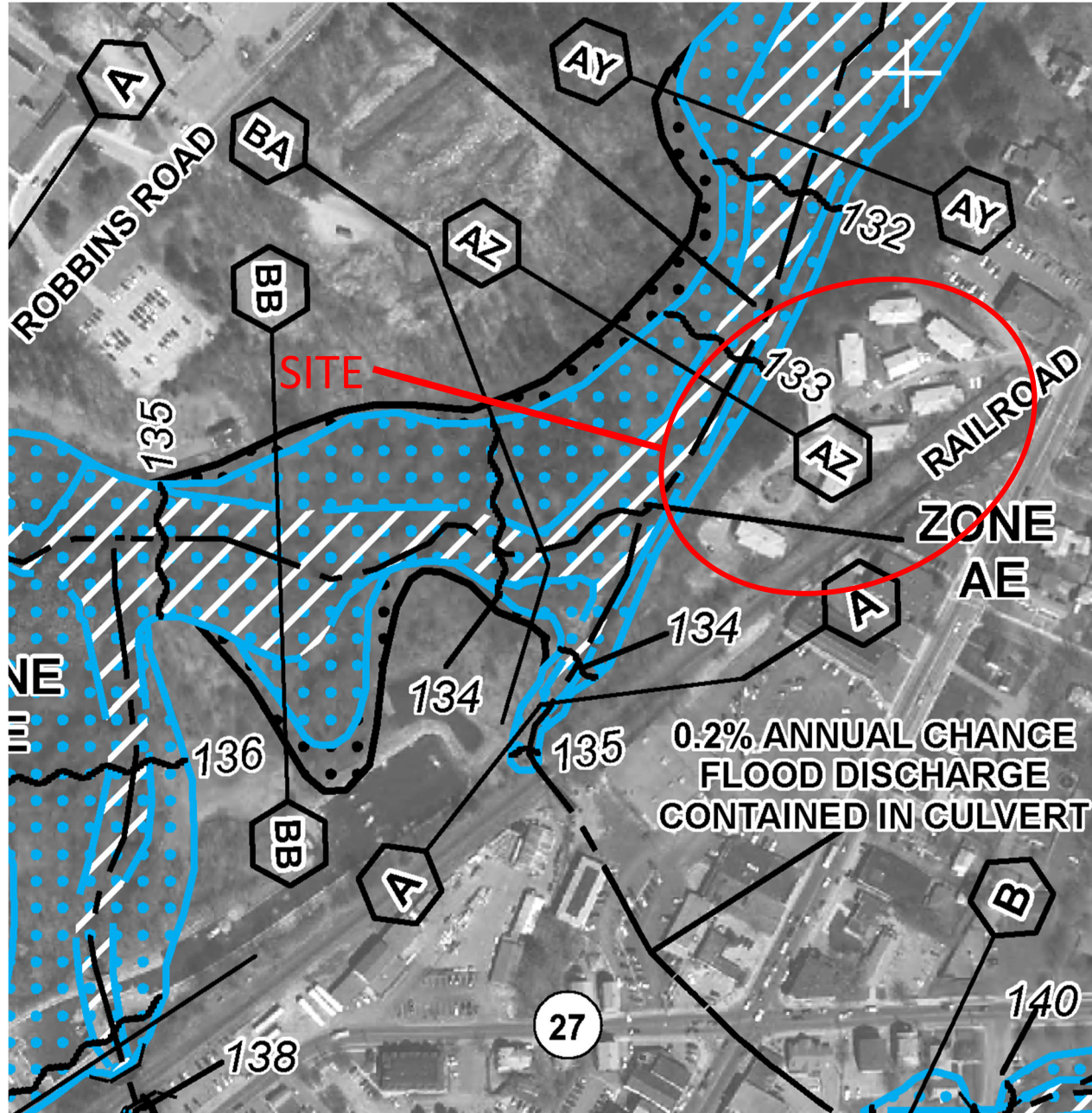
Regional Locus

Neponset View Terrace, Walpole, MA



FEMA Flood Plain Map

Neponset View Terrace, Walpole, MA



Date: April 2024

Project: Roadway, Parking Lot, & Sidewalk Replacement, Neponset View Terrace, Walpole

Appendix C

Abutter Notification

**Notification to Abutters Under the
Massachusetts Wetlands Protection Act**

In accordance with the second paragraph of Massachusetts General Laws Chapter 131, Section 40, you are hereby notified of the following.

- A. The name of the applicant is Walpole Housing Authority
- B. The applicant has filed a Notice of Intent with the Conservation Commission for the municipality of Town of Walpole seeking permission to remove, fill, dredge, or alter an Area Subject to Protection Under the Wetlands Protection Act (General Laws Chapter 131, Section 40). The proposed activity consists of the: Redevelopment of parking and driveway areas and expansion of parking and driveway areas to move closer to Town regulations within the 200-foot Riverfront Area.
- C. The address of the lot where the activity is proposed is _____
Neponset View Terrace, Walpole, MA
- D. Copies of the Notice of Intent may be examined at _____ the Town of Walpole Conservation Commission Office between the hours of 7:30 a.m. and 2:00 p.m. on the following days of the week: Monday-Thursday
- For more information, call (508) 660-7268.
- E. Copies of the Notice Intent may be obtained from at the Town of Walpole Conservation Department Office between the hours of 7:30 a.m. and 2:00 p.m. from Monday through Thursday. For more information, call (508) 660-7268.
- F. A public hearing will be held at 7:00 PM on Wednesday 5/8/24 at Room 112 at the Walpole Town Hall.

NOTE: Notice of the public hearing, including its date, time, and place, will be published at least five (5) days in advance in the Walpole Times.

NOTE: Notice of the public hearing, including its date, time, and place, will be posted in the Town Hall not less than forty eight (48) hours in advance.

NOTE: You also may contact your local Conservation Commission or the nearest Department of Environmental Protection Regional Office for more information about this application or the Wetlands Protection Act. To contact DEP, call:

Central Region: 508-792-7650

XX Southeast Region: 508-946-2700

Northeast Region: 978-694-3200

Western Region: 413-784-1100

Date: April 2024

Project: Roadway, Parking Lot, & Sidewalk Replacement, Neponset View Terrace, Walpole

Attachment A

Stormwater Report