

# ROADWAY, PARKING LOT, SIDEWALK REPLACEMENT

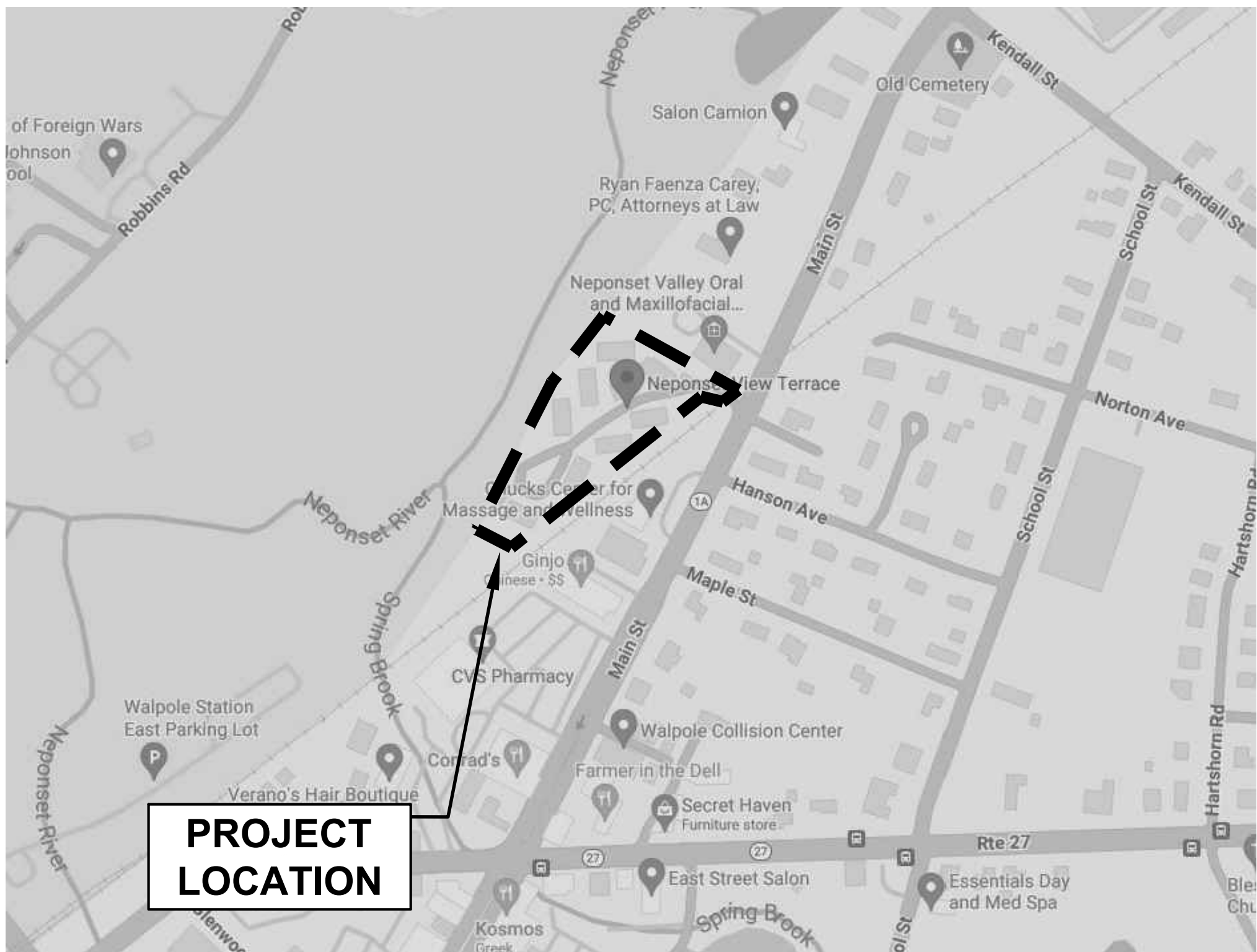
Neponset View Terrace, Walpole, Massachusetts  
DHCD Project Number 314066

Walpole Housing Authority  
8 Diamond Pond Terrace, Walpole, MA 02081

**MASSACHUSETTS EXECUTIVE OFFICE OF HOUSING AND LIVABLE COMMUNITIES**  
100 CAMBRIDGE ST. / SUITE 300  
BOSTON, MA 02114

## SHEET INDEX

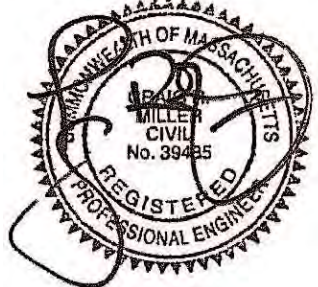
<u>DRAWING NUMBER</u>	<u>SHEET TITLE</u>
G-1	COVER SHEET
EC-1	EXISTING CONDITIONS
C-1	SITE PREPARATION & DEMOLITION
C-2	LAYOUT & MATERIALS
C-3	GRADING & DRAINAGE
D-1	DETAILS
D-2	DETAILS
D-3	DETAILS



**LOCUS MAP**

## PERMITTING DOCUMENTS

**WDG** | Waterfield Design Group  
50 Cross Street | Winchester, Massachusetts | 01890  
T 781.756.0001 F 781.756.0007



**WDG #1666**  
**DRAWING NUMBER: G-1**  
**April 10, 2024**

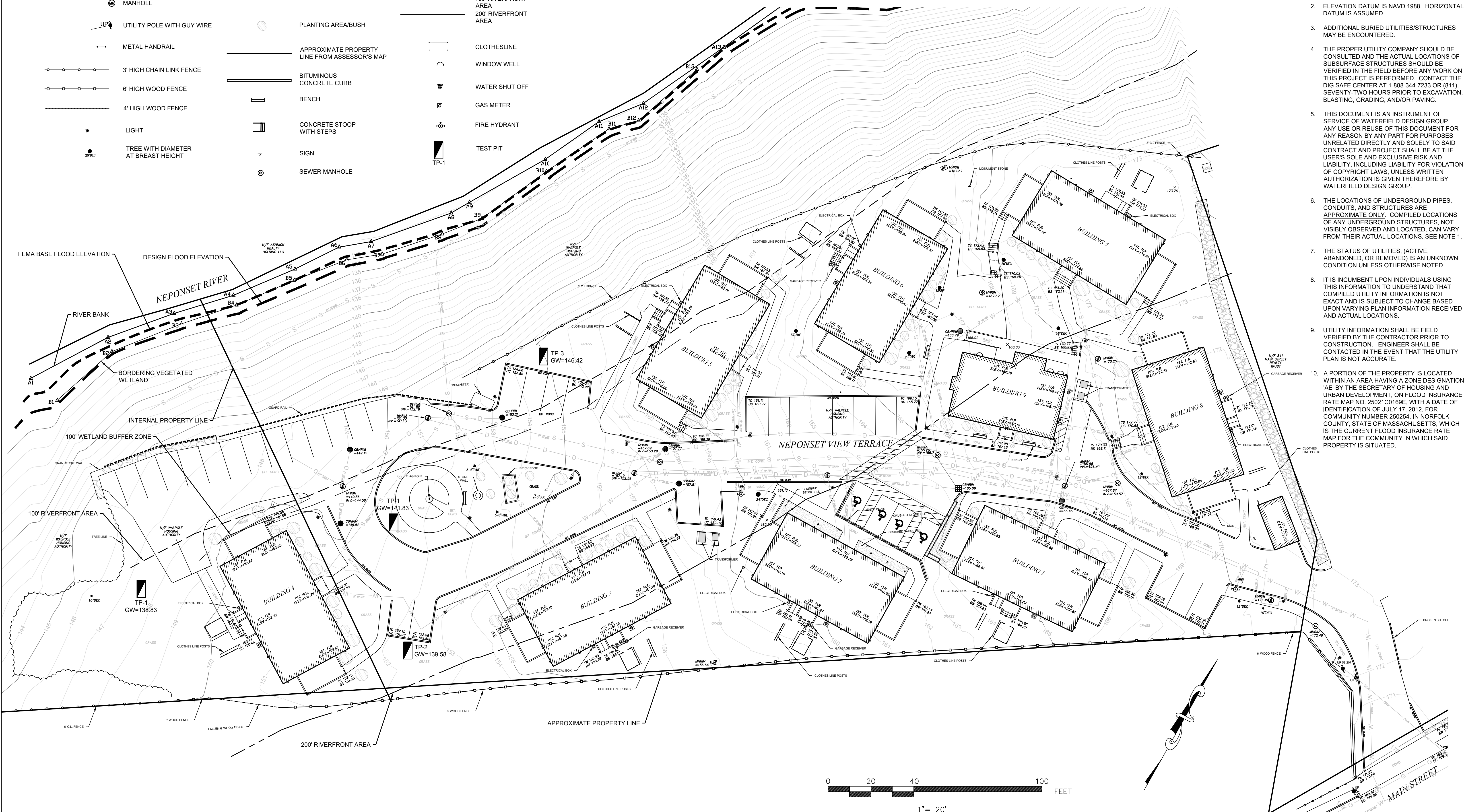


**NOTES**

1. THIS PLAN REPRESENTS THE SITE CONDITIONS FROM AN ON THE GROUND SURVEY CONDUCTED BY WATERFIELD DESIGN GROUP ON FEBRUARY 1, 2, 6, & 7, 2023.
2. ELEVATION DATUM IS NAVD 1988. HORIZONTAL DATUM IS ASSUMED.
3. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED.
4. THE PROPER UTILITY COMPANY SHOULD BE CONSULTED AND THE ACTUAL LOCATIONS OF SUBSURFACE STRUCTURES SHOULD BE VERIFIED IN THE FIELD BEFORE ANY WORK ON THIS PROJECT IS PERFORMED. CONTACT THE DIG SAFE CENTER AT 1-888-344-7233 OR (811), SEVENTY-TWO HOURS PRIOR TO EXCAVATION, BLASTING, GRADING, AND/OR PAVING.
5. THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF WATERFIELD DESIGN GROUP. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PART FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT AND PROJECT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN AUTHORIZATION IS GIVEN THEREFORE BY WATERFIELD DESIGN GROUP.
6. THE LOCATIONS OF UNDERGROUND PIPES, CONDUITS, AND STRUCTURES ARE APPROXIMATE ONLY. COMPILED LOCATIONS OF ANY UNDERGROUND STRUCTURES, NOT VISIBLY OBSERVED AND LOCATED, CAN VARY FROM THEIR ACTUAL LOCATIONS. SEE NOTE 1.
7. THE STATUS OF UTILITIES, (ACTIVE, ABANDONED, OR REMOVED) IS AN UNKNOWN CONDITION UNLESS OTHERWISE NOTED.
8. IT IS INCUMBENT UPON INDIVIDUALS USING THIS INFORMATION TO UNDERSTAND THAT COMPILED UTILITY INFORMATION IS NOT EXACT AND IS SUBJECT TO CHANGE BASED UPON VARYING PLAN INFORMATION RECEIVED AND ACTUAL LOCATIONS.
9. UTILITY INFORMATION SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ENGINEER SHALL BE CONTACTED IN THE EVENT THAT THE UTILITY PLAN IS NOT ACCURATE.
10. A PORTION OF THE PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION 'AE' BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NO. 25021C0169E, WITH A DATE OF IDENTIFICATION OF JULY 17, 2012, FOR COMMUNITY NUMBER 250254, IN NORFOLK COUNTY, STATE OF MASSACHUSETTS, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.

**LEGEND**

- |  |                                     |  |   |  |                      |
|--|-------------------------------------|--|---|--|----------------------|
|  | CATCH BASIN                         |  | OVERHEAD WIRES                                |  | SPOT ELEVATION       |
|  | MANHOLE                             |  | CONTOUR                                       |  | 100' RIVERFRONT AREA |
|  | UTILITY POLE WITH GUY WIRE          |  | PLANTING AREA/BUSH                            |  | 200' RIVERFRONT AREA |
|  | METAL HANDRAIL                      |  | APPROXIMATE PROPERTY LINE FROM ASSESSOR'S MAP |  | CLOTHESLINE          |
|  | 3' HIGH CHAIN LINK FENCE            |  | BITUMINOUS CONCRETE CURB                      |  | WINDOW WELL          |
|  | 6' HIGH WOOD FENCE                  |  | BENCH   |  | WATER SHUT OFF       |
|  | 4' HIGH WOOD FENCE                  |  | CONCRETE STOOP WITH STEPS                     |  | GAS METER            |
|  | LIGHT                               |  | SIGN  |  | FIRE HYDRANT         |
|  | TREE WITH DIAMETER AT BREAST HEIGHT |  | SEWER MANHOLE                                 |  | TEST PIT             |



DESIGN BY:  
DRAWN BY: AM  
CHECK BY:

DRAWING TITLE: <b>EXISTING CONDITIONS</b>			
REV	DATE	BY	

CLIENT:  
**MASSACHUSETTS EXECUTIVE OFFICE OF HOUSING AND LIVABLE COMMUNITIES**  
100 CAMBRIDGE ST. SUITE 300  
BOSTON, MA 02114

PROJECT TITLE:  
**ROADWAY, PARKING LOT, & SIDEWALK REPLACEMENT**  
**NEPONSET VIEW TERRACE**  
WALPOLE, MASSACHUSETTS

**WDG** Waterfield Design Group  
50 Cross Street | Winchester, Massachusetts | 01890  
T 781.756.0001 F 781.756.0007

SCALE:  
1" = 20'  
DATE:  
4-10-24  
FILENAME:  
W-1666

DRAWING NUMBER:  
**EC-1**  
SHEET 2 OF 8

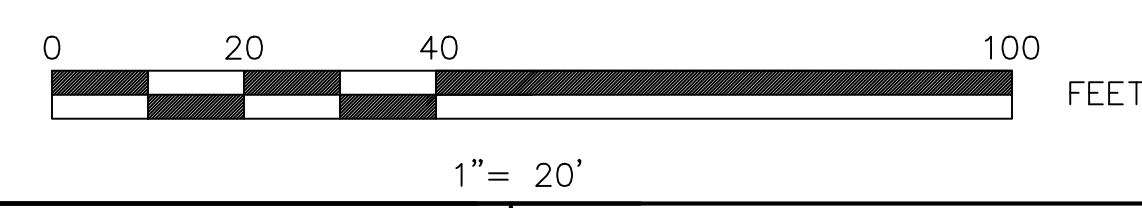
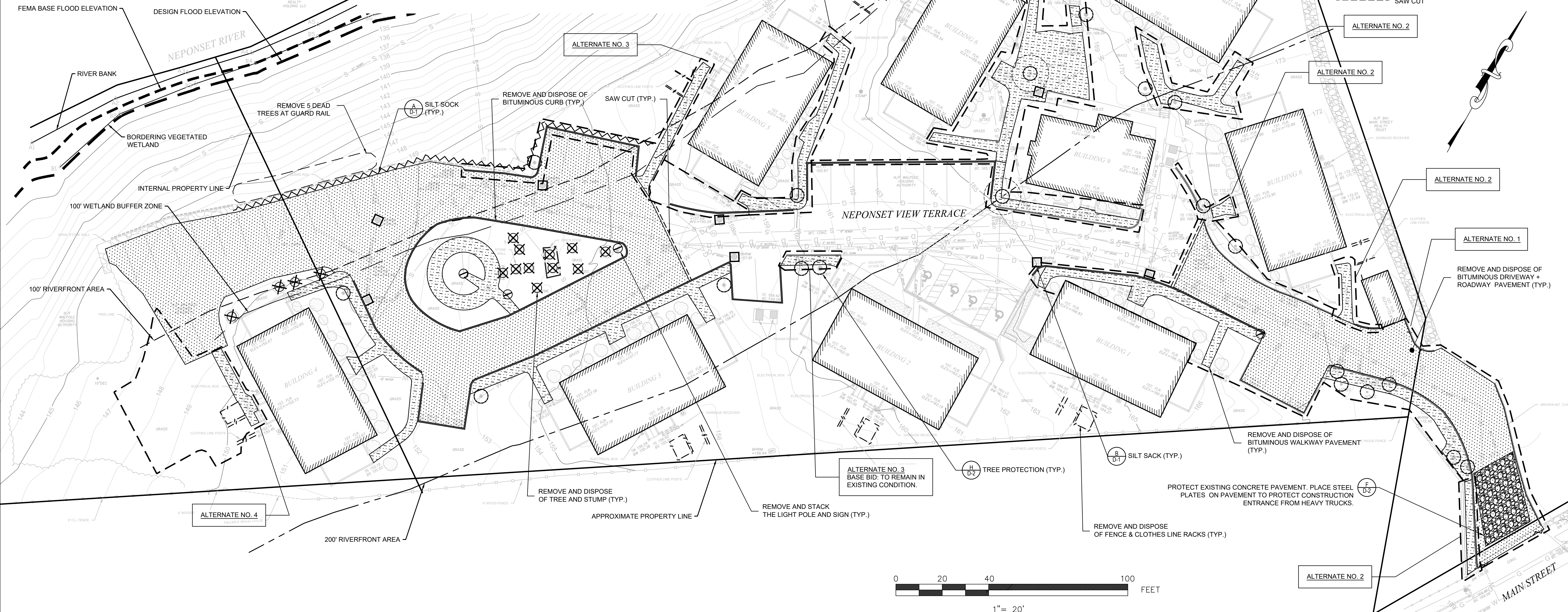


# SITE PREPARATION & DEMOLITION NOTES

- ALL DEMOLITION DEBRIS SHALL BE LEGALLY DISPOSED OF OFF SITE AND SHALL BE CONSIDERED INCIDENTAL WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND LICENSES, FEES AND APPROVALS REQUIRED TO CORRECTLY COMPLETE THE WORK, INCLUDING STREET OCCUPANCY PERMITS.
- THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY AND LIABILITY FOR THE SAFETY OF ALL WHO WILL TRAVERSE THROUGH THE SITE AND THE STRUCTURAL INTEGRITY AND SAFETY OF ALL EXCAVATIONS, STORED ITEMS, WORK AND UTILITIES TO REMAIN DURING CONSTRUCTION.
- COMPLETELY DEMOLISH ALL FOUNDATIONS, SLABS AND FOOTINGS AND OTHER BELOW GRADE STRUCTURES UNLESS OTHERWISE SPECIFIED OR CALLED OUT IN THE DRAWING.
- ALL EXISTING SURFACE CASTINGS THAT ARE LOCATED IN THE CONSTRUCTION AREA SHALL BE ADJUSTED OR MODIFIED TO MEET THE PROPOSED FINISH GRADES.
- ALL CATCH BASIN AND INLET STRUCTURES SHALL BE CLEARED OF DEBRIS AND FLUSHED FOR POSITIVE DRAINAGE UPON COMPLETION OF WORK.
- SEE LAYOUT PLANS FOR ACCURATE DIMENSIONS TO NEW PAVING, CURBING, ETC. CONSULT ALL DRAWINGS FOR COORDINATING WORK PRIOR TO COMMENCING.
- THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE INSIDE AND OUTSIDE OF LIMITS OF WORK DUE TO CONTRACT OPERATIONS. DAMAGED MATERIAL SHALL INCLUDE BUT IS NOT LIMITED TO PROTECTING GRANITE AND CONCRETE CURBS, WALLS, GATES, FENCES, PLANTERS, SIGNS, AND FIRE HYDRANTS. IF MATERIAL IS DAMAGED IT SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- CONTRACTOR SHALL CLEAN CONSTRUCTION SITE DAILY TO PREVENT DUST AND DEBRIS FROM LEAVING THE SITE. DUST CONTROL MUST BE AVAILABLE AT ALL TIMES. CONSTRUCTION AREA MUST BE BROOM SWEEPED AND WASHED DOWN AS OFTEN AS REQUIRED TO MAINTAIN A CLEAN SITE ACCEPTABLE TO THE OWNER.
- CONTRACTOR SHALL PROVIDE EMERGENCY ACCESS TO SITE AT ALL TIMES. ANY EQUIPMENT NOT IN USE MUST BE CONFINED TO THE LIMIT OF WORK AREA. CONTRACTOR SHALL COORDINATE EQUIPMENT, DISRUPTION, STAGING AREAS, AND SEQUENCE OF WORK DAILY WITH OWNER OR OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL CRUSH ONSITE AND REUSE CONCRETE AND BITUMINOUS CONCRETE MATERIAL. PRIOR TO REUSE SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER SHOWING THAT THE REUSED MATERIAL MEETS THE APPROPRIATE GRADATION AND A 10 LB. SAMPLE OF THE MATERIAL TO BE REUSED SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL.
- CONTRACTOR SHALL STRIP AND STOCKPILE TOPSOIL, COMPACTED GRAVEL, AND BITUMINOUS MATERIAL FOR POTENTIAL REUSE.
- EXISTING TOPSOIL SHALL BE USED FOR LOAM MIXTURES ONLY IF TESTING INDICATES TOTAL CONFORMITY TO THE SPECIFICATION FOR LOAM BORROW.
- ALL STUMPS FROM EXISTING TREES AND SHRUBS SHALL BE REMOVED TO THEIR FULL DEPTH. GRIND STUMPS TO 6" BELOW SURFACE IF FULL REMOVAL WILL DISTURB EXISTING TREES OR PAVEMENT TO REMAIN.
- TREE PROTECTION FOR EXISTING TREES TO REMAIN SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITY AND SHALL REMAIN THROUGHOUT CONSTRUCTION.
- ALL GRASS AND LANDSCAPED AREAS MARKED FOR DEMOLITION SHALL BE CLEARED AND GRUBBED.
- ALL CONCRETE POSTS AND FOOTINGS WITHIN OF WORK EXCEPT FOR THOSE IN THE TOWN SIDEWALK SHALL BE REMOVED AND DISPOSED OF.
- APPROVED PLANS SHALL BE ON SITE AT ALL TIMES.
- CHANGES TO THIS PLAN MAY OCCUR AS UNFORESEEN CONDITIONS ARISE. ALL CHANGES SHALL BE APPROVED BY FIELD INSPECTOR.
- CALCIUM CHLORIDE/ WATER FOR DUST CONTROL SHALL BE AVAILABLE AT ALL TIMES.
- ALL MATERIALS AND METHODS SHALL CONFORM TO CITY OF SPRINGFIELD D.P.W. AND WATER AND SEWER COMMISSION STANDARDS.
- THE CONTRACTOR SHALL ENSURE THE MAINTENANCE OF SAFETY AND TRAFFIC ON THE PUBLIC AND PRIVATE WAYS AFFECTED BY THE CONSTRUCTION OF THIS PROJECT.
- THE CONTRACTOR SHALL PROTECT ALL SLOPES, VEGETATION, PAVING, WALKS AND IMPROVEMENTS OUTSIDE THE AREAS TO BE AFFECTED BY THE CONSTRUCTION OF THIS PROJECT.
- ALL DRAINAGE STRUCTURES ( CATCH BASINS / LEACHING BASINS) IN THE AREA SHALL BE PROTECTED FROM RUNOFF.
- "AS-BUILT" UTILITY DRAWINGS ARE TO BE SUBMITTED TO THE ENGINEERING DIVISION UPON COMPLETION OF THIS PROJECT.
- ALL PAVEMENT MARKINGS CHANGED, ALTERED OR REMOVED SHALL BE RE-APPLIED.
- WALPOLE D.P.W. APPROVAL IS NOT TO BE CONSTRUED AS AN ALL-INCLUSIVE APPROVAL, AS OTHER APPROVALS MAY BE NECESSARY, I.E. TOWN FORESTER, CONSERVATION, FIRE DEPT. AND WATER AND SEWER COMMISSION, ETC.
- WHERE NEW BITUMINOUS CONCRETE PAVEMENT MEETS EXISTING BITUMINOUS CONCRETE PAVEMENT, THE EXISTING BITUMINOUS CONCRETE PAVEMENT SHALL BE SAW CUT AND THE FINAL SURFACE JOINED WITH A SANDED JOINT WITH RS-1 TACK COAT.
- CONTRACTOR MAY REUSE EXISTING DRIVEWAY AND WALKWAY PAVEMENT BASE MATERIAL FOR REUSE, UPON APPROVAL OF THE ENGINEER. REJECTED BASE MATERIAL SHALL BE DISPOSED OF BY THE CONTRACTOR.
- SEE SHEET C-2 FOR GENERAL NOTES.

## LEGEND

- REMOVE AND DISPOSE OF BITUMINOUS WALKWAYS + PAVEMENT
- CONSTRUCTION ENTRANCE
- REMOVE AND DISPOSE OF BITUMINOUS DRIVEWAY + ROADWAY PAVEMENT
- REMOVE AND DISPOSE OF TREE, STONE WALL AND BENCH
- REMOVE AND STACK LIGHT POLE, FLAG POLE AND SIGN
- REMOVE AND DISPOSE OF BIT. CONC. CURB
- SILT SACK
- SILT SOCK
- TREE & UTILITY POLE PROTECTION
- REMOVE AND DISPOSE OF FENCE AND CLOTHES LINE POST
- REMOVE AND DISPOSE OF WOOD WALL
- SAW CUT



	DESIGN BY:	DRAWING TITLE: <b>SITE PREPARATION &amp; DEMOLITION</b>			CLIENT: <b>MASSACHUSETTS EXECUTIVE OFFICE OF HOUSING AND LIVABLE COMMUNITIES</b>		SCALE: 1" = 20'	DRAWING NUMBER: <b>C-1</b>
	DRAWN BY: AM	REV	DATE	BY	PROJECT TITLE: <b>ROADWAY, PARKING LOT, &amp; SIDEWALK REPLACEMENT</b>		DATE: 4-10-24	
	CHECK BY:				<b>NEPONSET VIEW TERRACE</b> WALPOLE, MASSACHUSETTS		FILENAME: W-1666 50 Cross Street   Winchester, Massachusetts   01890 T 781.756.0001 F 781.756.0007	
					BOSTON, MA 02114			SHEET 10F 81




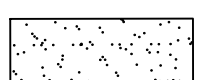
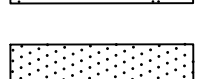



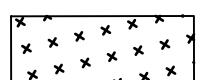




**GENERAL NOTES**

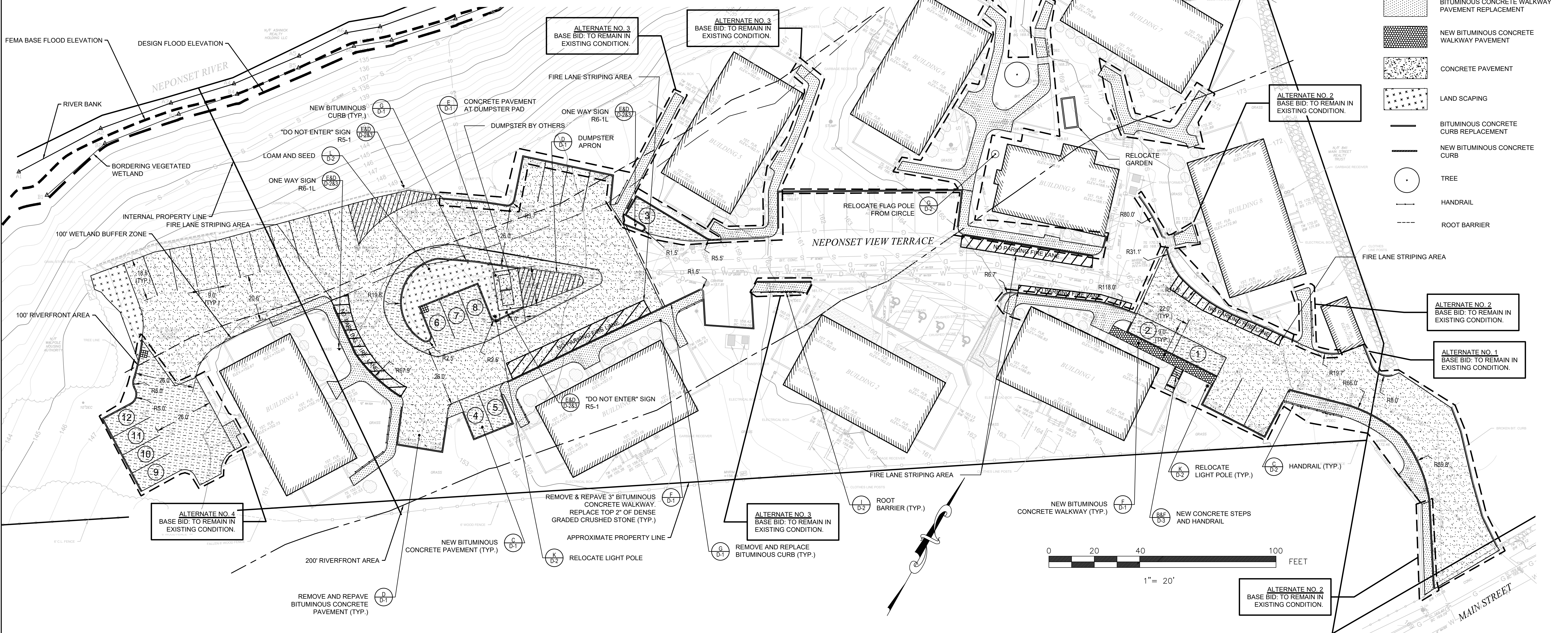
- ALL WORK SHALL CONFORM TO THE 1988 COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS (M.D.P.W.) STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGES INCLUDING THE JUNE 6, 2006 AND FEBRUARY 25, 2010 SUPPLEMENTAL SPECIFICATIONS, THE M.D.P.W. 1977 CONSTRUCTION STANDARDS INCLUDING THE APRIL 2003 SUPPLEMENTAL DRAWINGS, THE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, AND THE TOWN OF WALPOLE STANDARDS, WHERE APPLICABLE.
- THE APPROXIMATE LOCATIONS OF EXISTING UTILITIES ARE BASED UPON THE BEST INFORMATION AVAILABLE. THE LOCATION PRECISION IS NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY APPLICABLE EXISTING CONDITIONS AT THE SITE PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL WORK WITH THE FALMOUTH PUBLIC WORKS DEPARTMENT AND THE OWNER IN LOCATING EXISTING UTILITIES WHEN DIRECTED BY THE CONTRACTING OFFICER.
- THE CONTRACTOR SHALL CALL THE DIG SAFE NUMBER AND NOTIFY PRIVATE AND PUBLIC UTILITY COMPANIES AT LEAST 72 HOURS PRIOR TO EXCAVATING NEAR ANY UTILITIES THAT MAY BE AFFECTED BY ANY PORTION OF THIS CONSTRUCTION. THE CONTRACTOR SHALL CONFORM WITH THE SPECIFIC REQUIREMENTS FOR EXCAVATION AS SET FORTH IN MASSACHUSETTS GENERAL LAW, CHAPTER 82, SECTION 40A AND OSHA REGULATIONS 29CFR1926.651(a). THE CONTRACTOR SHALL COORDINATE ALL WORK INVOLVING UTILITY COMPANY FACILITIES, WHETHER THOSE FACILITIES BE EXISTING OR PROPOSED.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SUPPORT AND PROTECT EXISTING UTILITIES IN AND AROUND EXCAVATIONS, AND IN PARTICULAR, WHEN CROSSING UNDER ANY DUCT OR PIPE. THIS SHALL INCLUDE THE USE OF HAND TOOL EXCAVATION WHERE NEEDED. THE CONTRACTOR SHALL MAINTAIN CONTINUOUS UTILITY CUSTOMER SERVICE AND SHALL ENSURE THAT ADEQUATE AND SAFE ACCESS IS PROVIDED TO LOCAL VEHICULAR AND PEDESTRIAN TRAFFIC AT ALL TIMES DURING CONSTRUCTION. SAFE AND CLEAR RESIDENT ACCESS WILL BE MAINTAINED FOR AT LEAST ONE DOOR AT ALL TIMES.
- ALL TREES, SHRUBS, GRASS AND LANDSCAPED AREAS, AND PHYSICAL SITE FEATURES (BUILDINGS, FENCES, EXISTING WALKWAYS NOT INCLUDED IN THIS PROJECT, LIGHT POLES, SIGNS, BUILDING STAIRS, ETC.) ALONG WITH ALL OTHER PROPERTY OF THE FALMOUTH HOUSING AUTHORITY NOT INCLUDED IN THIS PROJECT SHALL BE PROTECTED DURING CONSTRUCTION OPERATIONS AT ALL TIMES. THIS INCLUDES ABUTTING PRIVATE PROPERTY AS WELL. ANY DAMAGE OR LOSS TO THE ABOVE ITEMS OR AREAS CAUSED BY THE ACTIONS OF THE CONTRACTOR SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER. THE CONTRACTOR IS ALSO RESPONSIBLE FOR THE ACTIONS OF ALL SUB-TRADES AND SUBCONTRACTORS THAT THE CONTRACTOR MAY INVITE TO PERFORM THE WORK OF THIS CONTRACT.
- CONTRACTOR SHALL DEVELOP A CONSTRUCTION STAGING PROGRAM FOR REVIEW BY ENGINEER PRIOR TO THE START OF CONSTRUCTION AND PROVIDE SHOP DRAWINGS OF PROPOSED WORK CLOSURE AREA. CONTRACTOR SHALL IN ADVANCE BARRICADE AND PREVENT PARKING FROM AREAS THAT WILL SOON BE WORKED ON. COORDINATE WITH WALPOLE HOUSING AUTHORITY TO ENSURE ADEQUATE ADVANCE RESERVATION OF PARKING AREAS FOR CONSTRUCTION PHASING, AND PROVIDE MOVABLE WARNING SIGNS ON BOTH SIDES OF CONSTRUCTION ZONE TO WARN PEDESTRIANS OF WORK IN PROGRESS.
- DURING THE COURSE OF CONSTRUCTION, THE ENGINEER MAY DIRECT THE CONTRACTOR TO ERECT, RELOCATE, AND/OR PLACE ADDITIONAL SIGNS AS DETERMINED NECESSARY.
- THE CONTRACTOR WILL ENSURE NO SOIL IS TRACKED OUTSIDE OF THE CONSTRUCTION AREA AND AT ANY AREAS SO IDENTIFIED BY OWNER INSIDE PROJECT AREA.
- THE INFORMATION CONTAINED ON THE DISK OR ELECTRONIC DRAWING FILES ACCOMPANYING THESE DRAWINGS MUST BE COMPARED TO THE HARD COPY OF THE DRAWINGS TO ENSURE THE ACCURACY OF ALL INFORMATION AND TO ENSURE NO CHANGES, ALTERATIONS, OR MODIFICATIONS HAVE BEEN MADE. RELIANCE SHALL NOT BE MADE ON A DOCUMENT TRANSMITTED BY COMPUTER OR OTHER ELECTRONIC MEANS UNLESS FIRST COMPARED TO THE ORIGINAL SEALED DOCUMENT ISSUED AT THE TIME OF THE BID OPENINGS.
- CONTRACTOR MUST BE ABLE TO SAFELY AND PROPERLY PROTECT ALL OPEN EXCAVATIONS AND ALL ELEMENTS OF THE OWNER'S PROPERTIES AND OPERATIONS FROM WEATHER (ESPECIALLY, BUT NOT LIMITED TO EXCESSIVE WEATHER) AT ALL TIMES. IF EXCESSIVE RAINS OCCUR, CONTRACTOR SHALL REMOVE SILT SACKS TO FACILITATE PROPER SITE DRAINAGE DURING CONSTRUCTION. THE CONTRACTOR SHALL PROTECT ALL EXISTING CATCH BASINS WITH SILT SACKS AND PREVENT ALL CONSTRUCTION DEBRIS FROM ENTERING THE DRAINAGE SYSTEM. UPON COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL CLEAR CATCH BASINS OF ALL SILT AND DEBRIS AND FLUSH THE DRAINAGE LINE. CONTRACTOR TO CLOSELY MONITOR SITE DRAINAGE AT ALL TIMES DURING CONSTRUCTION TO ENSURE THAT NO FLOODING CAN THREATEN EXISTING FACILITIES. IF SILT SACKS ARE TEMPORARILY REMOVED DUE TO IMPENDING HARSH WEATHER, CONTRACTOR SHALL TAKE OTHER MEANS TO PREVENT SOIL, ETC. FROM ENTERING THE DRAINAGE SYSTEMS. ANY SILT/SOIL/DEBRIS THAT DOES ENTER SUCH SYSTEM MUST BE REMOVED TO ENGINEER'S COMPLETE SATISFACTION BY CONTRACTOR.
- DEMOLITION, SITE WORK, AND LANDSCAPING SHALL BE SEQUENCED SO AS TO AVOID LONG PERIODS OF DISTURBANCE TO RESIDENTS. CONSTRUCTION SEQUENCING SHALL BE SCHEDULED SO THAT WORK PROGRESSES QUICKLY, EFFICIENTLY AND WITH THE LEAST AMOUNT OF DISTURBANCE TO RESIDENTS. AS DEMOLITION IN ONE AREA IS COMPLETE, ROUGH GRADING AND BASE COURSES OF PAVING SHALL BE SCHEDULED TO BEGIN IMMEDIATELY. THE GENERAL CONTRACTOR WILL BE REQUIRED TO SUBMIT A DETAILED SCHEDULE OUTLINING THE WORK OF ALL SUBCONTRACTORS FOR APPROVAL AND RESIDENT NOTIFICATION BEFORE CONSTRUCTION BEGINS.
- CONTRACTOR SHALL HIRE A TENANT COORDINATOR TO ACT AS LIAISON BETWEEN THE TENANTS AND THE CONTRACTOR. THE TENANT COORDINATOR SHALL BE REQUIRED EACH AND EVERY DAY THE CONTRACTOR PERFORMS WORK AT THE SITE/DEVELOPMENT UNTIL THE PROJECT IS SUBSTANTIALLY COMPLETE. SEE SPECIFICATIONS.

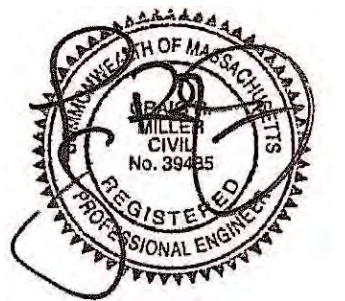

**LAYOUT & MATERIALS NOTES**

- LAYOUT LINES ARE PARALLEL OR PERPENDICULAR TO LINES FROM WHICH THEY ARE MEASURED, UNLESS OTHERWISE NOTED. DIMENSIONS ARE TO: WALL FACE, PAVEMENT EDGE, EDGE OF IMPROVEMENT, OR AS OTHERWISE NOTED.
- DIMENSIONS SHOWN ON THE DRAWINGS SHOW DESIGN INTENT AND MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- SITE LAYOUT IS BASED ON THE EXISTING CONDITIONS SURVEY. ANY DISCREPANCY BETWEEN THIS DRAWING AND ACTUAL FIELD CONDITIONS ARE TO BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR IS TO RECEIVE WRITTEN INSTRUCTIONS PRIOR TO PROCEEDING WITH CONSTRUCTION.
- MEET EXISTING GRADE WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT TO REMAIN. MATCH EXISTING PAVEMENT GRADE WHERE NEW PAVEMENT MEETS ENTRYWAY STAIRS OR STOOP.
- CONTRACTOR SHALL APPLY WITH SPRINGFIELD PUBLIC WORKS DEPARTMENT FOR ALL NECESSARY CURB CUT PERMITS.
- CONTRACTOR SHALL LOAM AND SEED ANY AREA WITH IN THE LIMITS OF WORK THAT IS DISTURBED BY CONSTRUCTION.

**LEGEND**

-  NEW BITUMINOUS CONCRETE DRIVEWAY PAVEMENT
-  BITUMINOUS CONCRETE DRIVEWAY PAVEMENT REPLACEMENT
-  BITUMINOUS CONCRETE WALKWAY PAVEMENT REPLACEMENT
-  NEW BITUMINOUS CONCRETE WALKWAY PAVEMENT
-  CONCRETE PAVEMENT
-  LAND SCAPING
-  BITUMINOUS CONCRETE CURB REPLACEMENT
-  NEW BITUMINOUS CONCRETE CURB
-  TREE
-  HANDRAIL
-  ROOT BARRIER



	DESIGN BY:	DRAWING TITLE: <b>LAYOUT &amp; MATERIALS</b>			CLIENT: <b>MASSACHUSETTS EXECUTIVE OFFICE OF HOUSING AND LIVABLE COMMUNITIES</b>		SCALE: <b>1" = 20'</b>	DRAWING NUMBER: <b>C-2</b>
	DRAWN BY: AM	REV	DATE	BY	PROJECT TITLE: <b>ROADWAY, PARKING LOT, &amp; SIDEWALK REPLACEMENT</b>		DATE: <b>4-10-24</b>	<b>WALPOLE, MASSACHUSETTS</b> 50 Cross Street   Winchester, Massachusetts   01890 T 781.756.0001 F 781.756.0007
	CHECK BY:				PROJECT TITLE: <b>NEPONSET VIEW TERRACE</b>		FILENAME: <b>W-1666</b>	

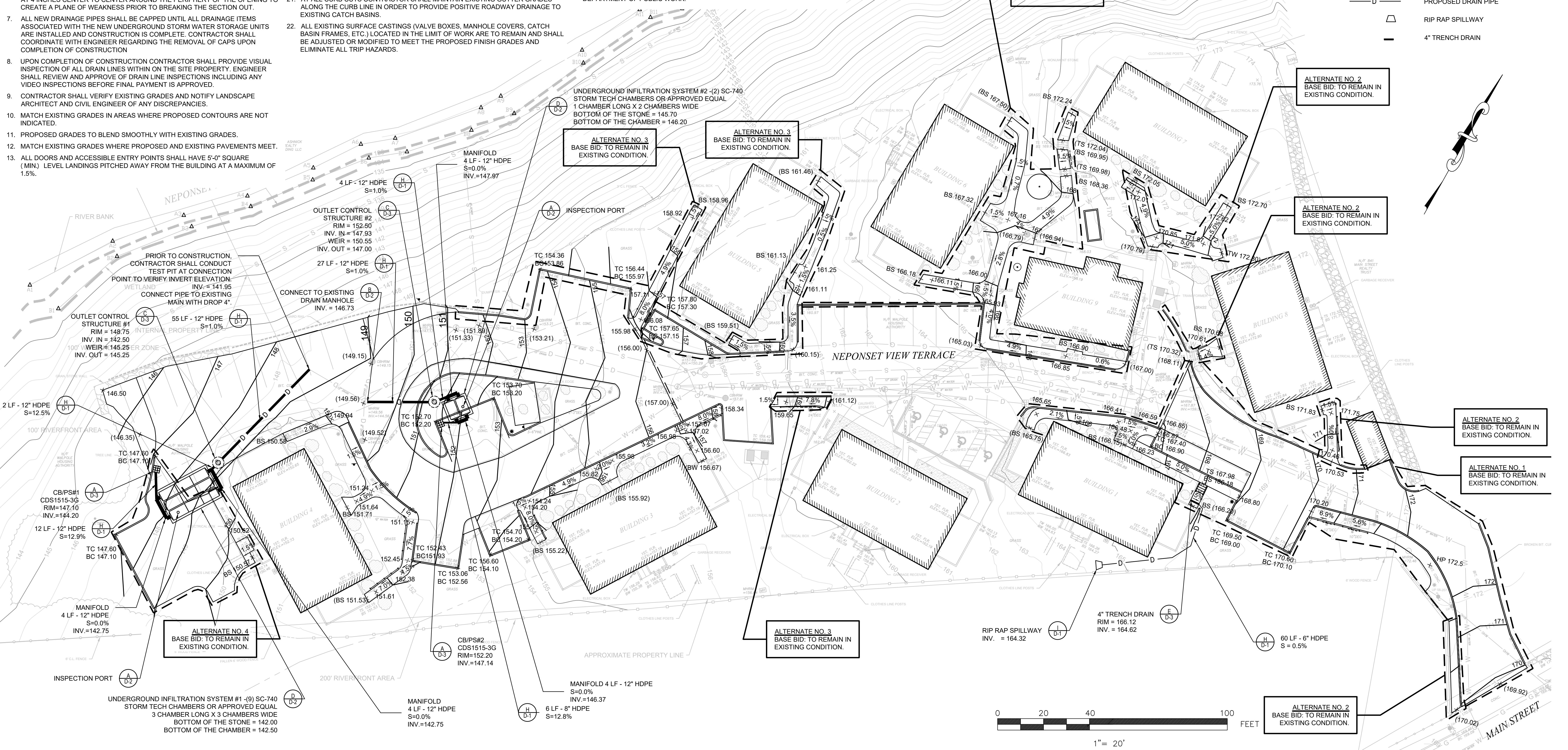


**DRAINAGE & GRADING NOTES**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRS TO ANY DISRUPTION OF EXISTING INDIVIDUAL UTILITY SERVICE CONNECTIONS, INCLUDING WATER, ELECTRICITY, TELEPHONE, GAS AND CABLE TELEVISION, RESULTING FROM THE CONTRACTOR'S WORK.
- EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD. THE CONTRACTOR SHALL COORDINATE HIS CONSTRUCTION ACTIVITIES NEAR UTILITY LOCATIONS WITH THE RESPECTIVE UTILITY REPRESENTATIVE. THE CONTRACTOR MUST CALL "DIG-SAFE 888-344-7233" PRIOR TO ANY UNDERGROUND WORK.
- ALL PROPOSED CATCH BASINS SHALL HAVE 4" DEEP SUMPS AND SHALL BE FITTED WITH CAST IRON HOODS.
- CONTRACTOR TO CONFIRM THAT EXISTING ABANDONED UNDERGROUND UTILITIES ENCOUNTERED DURING CONSTRUCTION ARE SHUT OFF AT THE PUBLIC RIGHT-OF-WAY.
- IN THE EVENT THAT CATCH BASIN INVERTS ARE LESS THAN 4'-0" BELOW PROPOSED RIM ELEVATION THE CONTRACTOR SHALL USE A FLAT TOP SLAB AS OPPOSED TO A CONE RISER.
- WHEN TAPPING EXISTING PRECAST MANHOLES OR CATCH BASINS DRILL HOLES AT 4 INCHES CENTER TO CENTER AROUND THE PERIPHERY OF THE OPENING TO CREATE A PLANE OF WEAKNESS PRIOR TO BREAKING THE SECTION OUT.
- ALL NEW DRAINAGE PIPES SHALL BE CAPPED UNTIL ALL DRAINAGE ITEMS ASSOCIATED WITH THE NEW UNDERGROUND STORM WATER STORAGE UNITS ARE INSTALLED AND CONSTRUCTION IS COMPLETE. CONTRACTOR SHALL COORDINATE WITH ENGINEER REGARDING THE REMOVAL OF CAPS UPON COMPLETION OF CONSTRUCTION
- UPON COMPLETION OF CONSTRUCTION CONTRACTOR SHALL PROVIDE VISUAL INSPECTION OF ALL DRAIN LINES WITHIN ON THE SITE PROPERTY. ENGINEER SHALL REVIEW AND APPROVE OF DRAIN LINE INSPECTIONS INCLUDING ANY VIDEO INSPECTIONS BEFORE FINAL PAYMENT IS APPROVED.
- CONTRACTOR SHALL VERIFY EXISTING GRADES AND NOTIFY LANDSCAPE ARCHITECT AND CIVIL ENGINEER OF ANY DISCREPANCIES.
- MATCH EXISTING GRADES IN AREAS WHERE PROPOSED CONTOURS ARE NOT INDICATED.
- PROPOSED GRADES TO BLEND SMOOTHLY WITH EXISTING GRADES.
- MATCH EXISTING GRADES WHERE PROPOSED AND EXISTING PAVEMENTS MEET.
- ALL DOORS AND ACCESSIBLE ENTRY POINTS SHALL HAVE 5'-0" SQUARE (MIN.) LEVEL LANDINGS PITCHED AWAY FROM THE BUILDING AT A MAXIMUM OF 1.5%.
- ALL GRADING SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (MAAB) AND THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG), LATEST EDITION. IN CASE OF CONFLICT BETWEEN REGULATIONS, THE GUIDELINE PROVIDING GREATER ACCESS SHALL APPLY.
- GRADE EVENLY BETWEEN SPOT GRADES AS NOTED.
- PROPOSED GRADES INDICATE INTENT. VERIFY ELEVATIONS AND MAKE ADJUSTMENTS AS APPROVED BY ENGINEER TO MEET FIELD CONDITIONS AND PROVIDE POSITIVE DRAINAGE.
- AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. WHERE NEW PAVING MEETS EXISTING PAVING, MEET LINE AND GRADE OF EXISTING WITH NEW.
- FINAL SHAPING OF EARTHWORK SHALL BE APPROVED IN THE FIELD BY THE ENGINEER.
- PROVIDE POSITIVE PITCH TO CATCH BASINS FOR ALL AREAS.
- PROVIDE POSITIVE PITCH AWAY FROM BUILDINGS FOR ALL AREAS.
- AT ALL CURB CUTS CONTRACTOR SHALL MAINTAIN EXISTING GUTTER GRADES ALONG THE CURB LINE IN ORDER TO PROVIDE POSITIVE ROADWAY DRAINAGE TO EXISTING CATCH BASINS.
- ALL EXISTING SURFACE CASTINGS (VALVE BOXES, MANHOLE COVERS, CATCH BASIN FRAMES, ETC.) LOCATED IN THE LIMIT OF WORK ARE TO REMAIN AND SHALL BE ADJUSTED OR MODIFIED TO MEET THE PROPOSED FINISH GRADES AND ELIMINATE ALL TRIP HAZARDS.
- MAXIMUM CROSS SLOPE ON WALKWAYS SHALL BE 2%.
- PROPOSED CONCRETE PADS SHALL HAVE MAXIMUM SLOPE OF 2.0%, MINIMUM SLOPE OF 1%.
- ALL NUMBERED CATCH BASINS AND MANHOLES SHOWN ARE NEW CATCH BASINS AND MANHOLES.
- PRIOR TO CONSTRUCTION CONTRACTOR SHALL OPEN ALL RELEVANT SANITARY AND DRAIN STRUCTURES ON SPRINGFIELD HOUSING AUTHORITY PROPERTY AND IN THE CITY ROADS TO CONFIRM INVERTS. ANY DISCREPANCIES SHALL BE DISCUSSED WITH THE ENGINEER IMMEDIATELY.
- CONTRACTOR SHALL ADD DOWNSPOUT OVERFLOWS ON ALL DOWNSPOUTS WITHIN THE LIMIT OF WORK AREA AT THE CENTRAL STREET SITE.
- MEET EXISTING GRADE WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT TO REMAIN. MATCH EXISTING PAVEMENT GRADE WHERE NEW PAVEMENT MEETS ENTRYWAY STAIRS OR STOOPS.
- UPON COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL CLEAN AND FLUSH ALL DRAINAGE STRUCTURES ON SITE.
- ALL DRAINAGE WORK SHALL BE PERFORMED BY TOWN OF WALPOLE DEPARTMENT OF PUBLIC WORK.

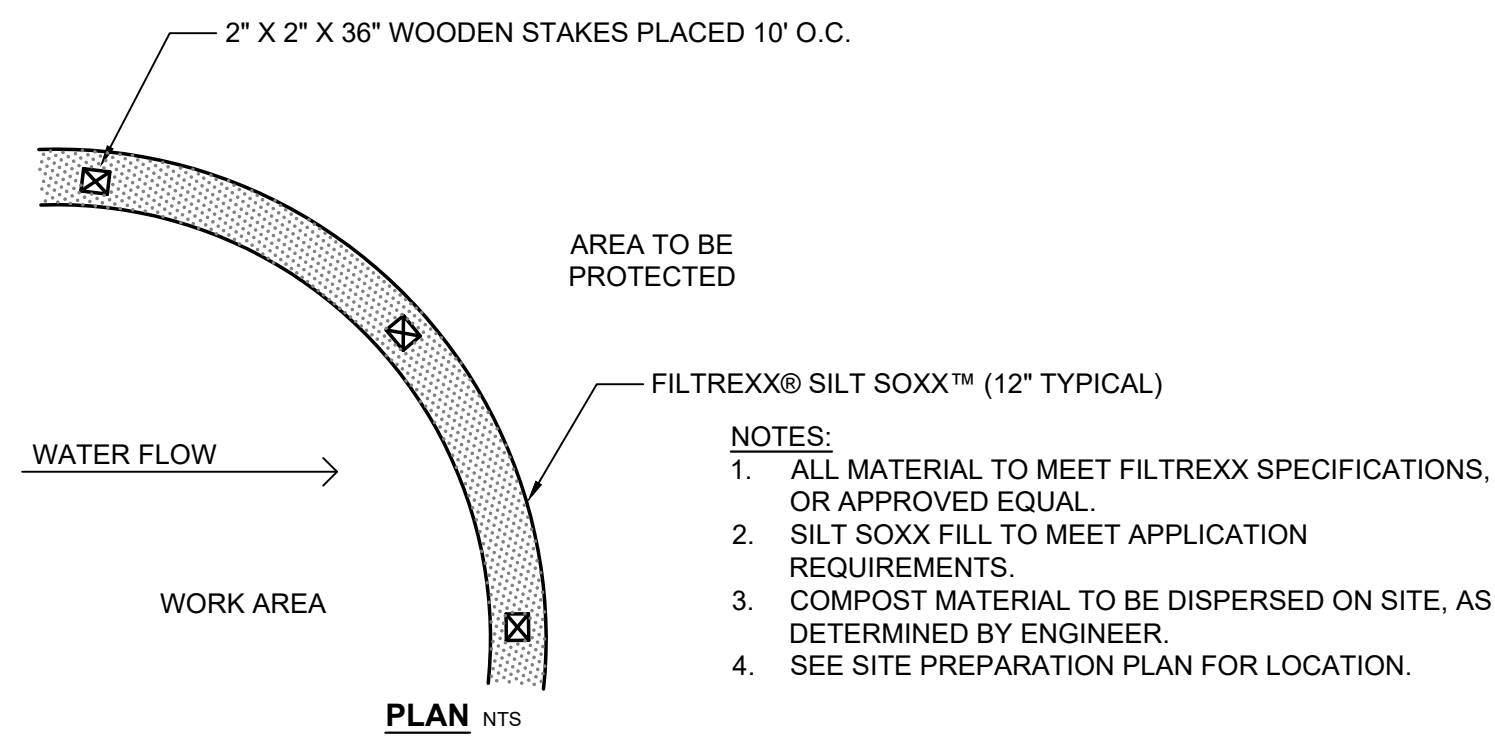
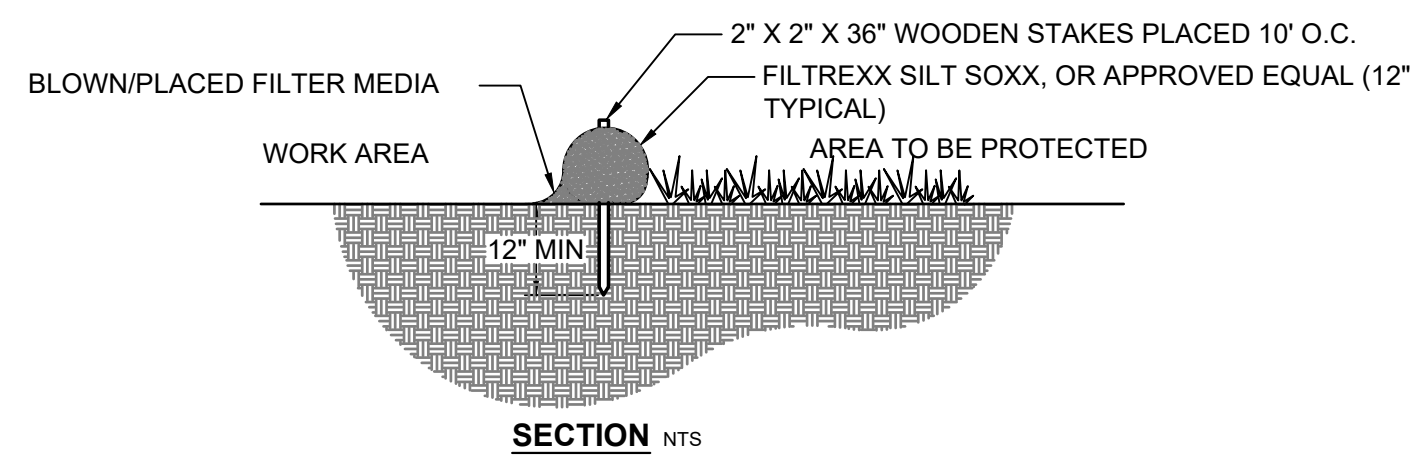
**LEGEND**

- 172 ——— PROPOSED CONTOUR
- (165.75) ✕ EXISTING SPOT GRADE
- 175.00 ✕ PROPOSED SPOT GRADE
- ▣ PROPOSED CATCH BASIN
- D — PROPOSED DRAIN PIPE
- △ RIP RAP SPILLWAY
- 4" TRENCH DRAIN

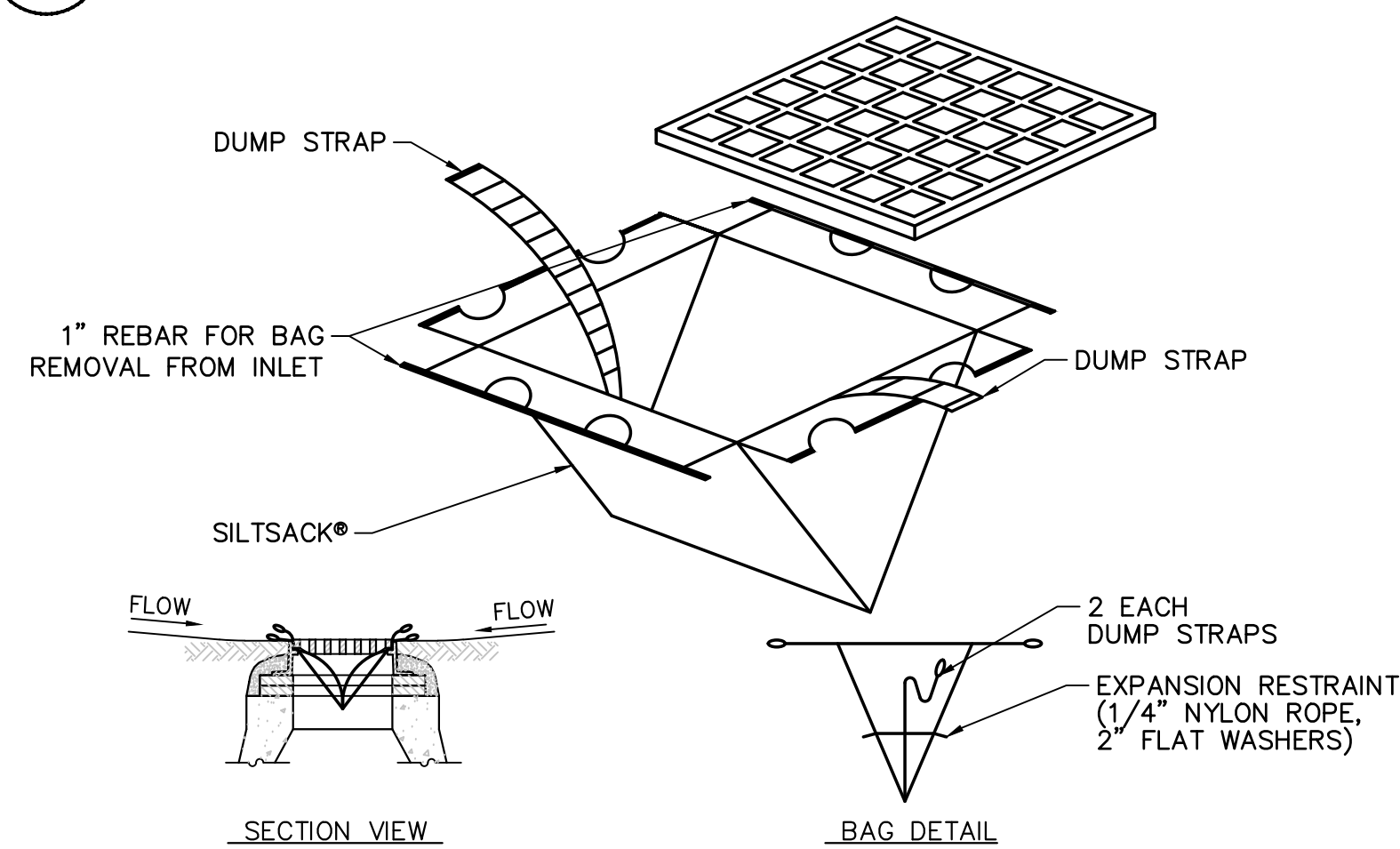


	DESIGN BY:	<b>GRADING &amp; DRAINAGE</b>			CLIENT:	<b>ROADWAY, PARKING LOT, &amp; SIDEWALK REPLACEMENT</b>		SCALE:	DRAWING NUMBER:
	DRAWN BY: AM	REV	DATE	BY	MASSACHUSETTS EXECUTIVE OFFICE OF HOUSING AND LIVABLE COMMUNITIES	<b>1" = 20'</b>		<b>C-3</b>	
	CHECK BY:				100 CAMBRIDGE ST. SUITE 300 BOSTON, MA 02114	DATE: 4-10-24		FILENAME: W-1666	
						PROJECT TITLE:	50 Cross Street   Winchester, Massachusetts   01890 T 781.756.0001 F 781.756.0007		SHEET 5 OF 8



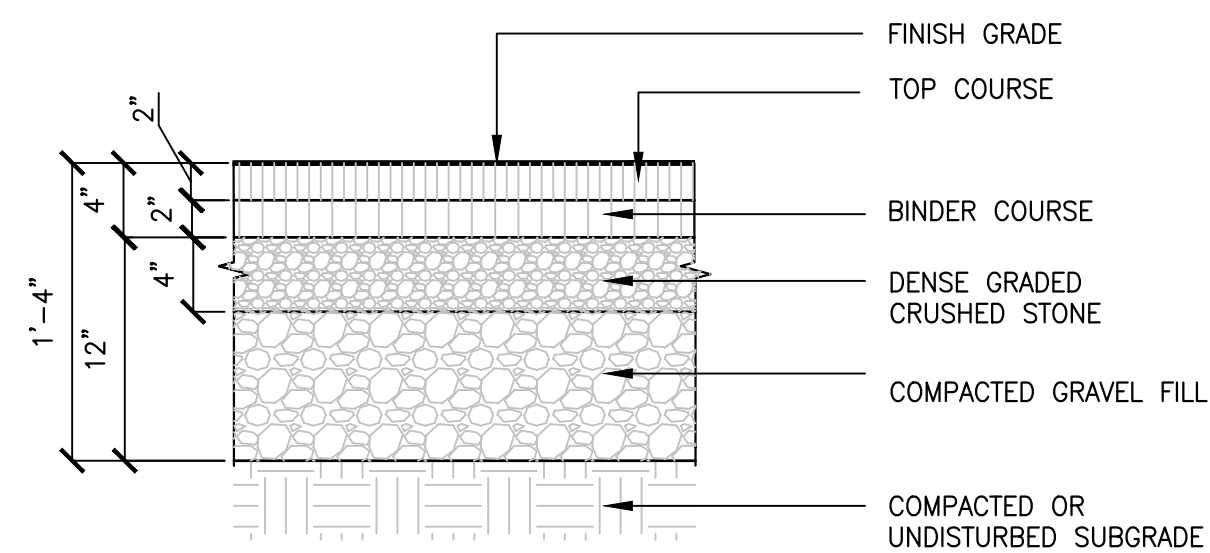


**A** SILT SOXX OR APPROVED EQUAL  
NOT TO SCALE

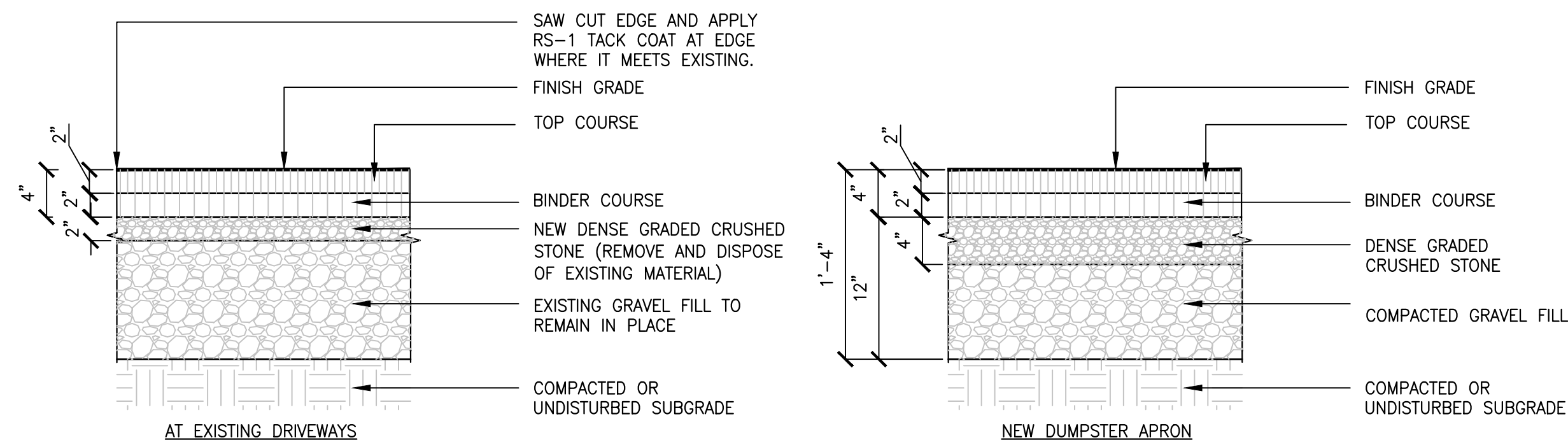


- NOTES:
- SILTSACK® SHALL BE MANUFACTURED FROM A SPECIALLY DESIGNED WOVEN POLYPROPYLENE GEOTEXTILE AND SEWN BY A DOUBLE NEEDLE MACHINE, USING HIGH STRENGTH NYLON THREAD.
  - SILTSACK® WILL BE MANUFACTURED TO FIT THE OPENING OF THE CATCH BASIN DROP INLET. SILTSACK® WILL HAVE THE FOLLOWING FEATURES: TWO DUMP STRAPS ATTACHED AT THE BOTTOM TO FACILITATE THE EMPTYING OF SILTSACK®; SILTSACK® SHALL HAVE LIFTING LOOPS AS AN INTEGRAL PART OF THE SYSTEM TO BE USED TO LIFT SILTSACK® FROM THE BASIN; SILTSACK® SHALL HAVE A RESTRAINT CORD APPROXIMATELY HALFWAY UP THE SACK TO KEEP THE SIDES AWAY FROM THE CATCH BASIN WALLS. THIS YELLOW CORD IS A VISUAL MEANS OF INDICATING WHEN THE SACK SHOULD BE EMPTIED. ONCE THE STRAP IS COVERED WITH SEDIMENT, SILTSACK® SHOULD BE EMPTIED, CLEANED AND PLACED BACK INTO THE BASIN.
  - USE SILT SACK®, OR APPROVED EQUAL, AT ALL CATCH BASINS RECEIVING RUNOFF FROM CONSTRUCTION AREAS.
  - WEEKLY REVIEW CATCH BASINS & CLEAN AS REQUIRED.

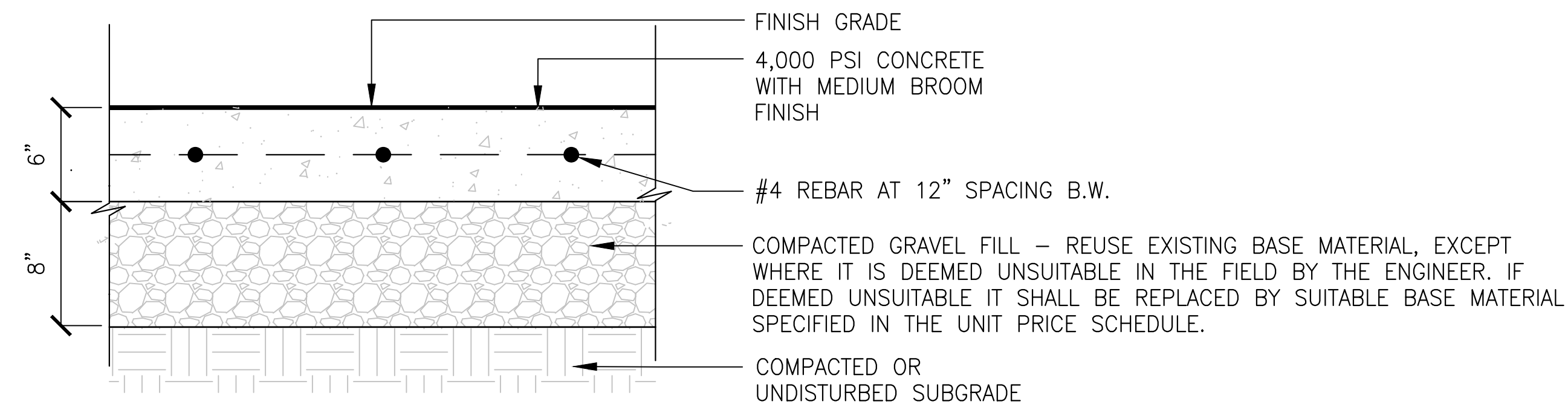
**B** SILT SACK  
NOT TO SCALE



**C** BITUMINOUS CONCRETE DRIVEWAY PAVEMENT (NEW PAVEMENT AREAS)  
NOT TO SCALE

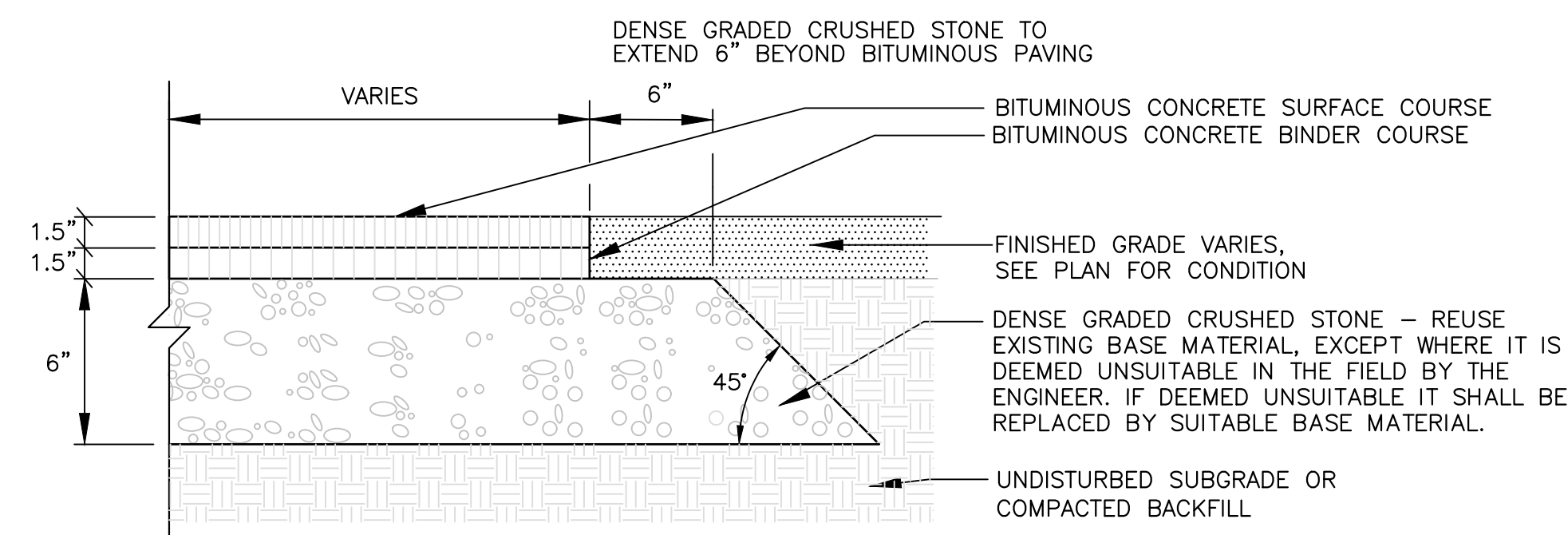


**D** BITUMINOUS CONCRETE DRIVEWAY PAVEMENT (EXISTING PAVEMENT AREAS)  
NOT TO SCALE

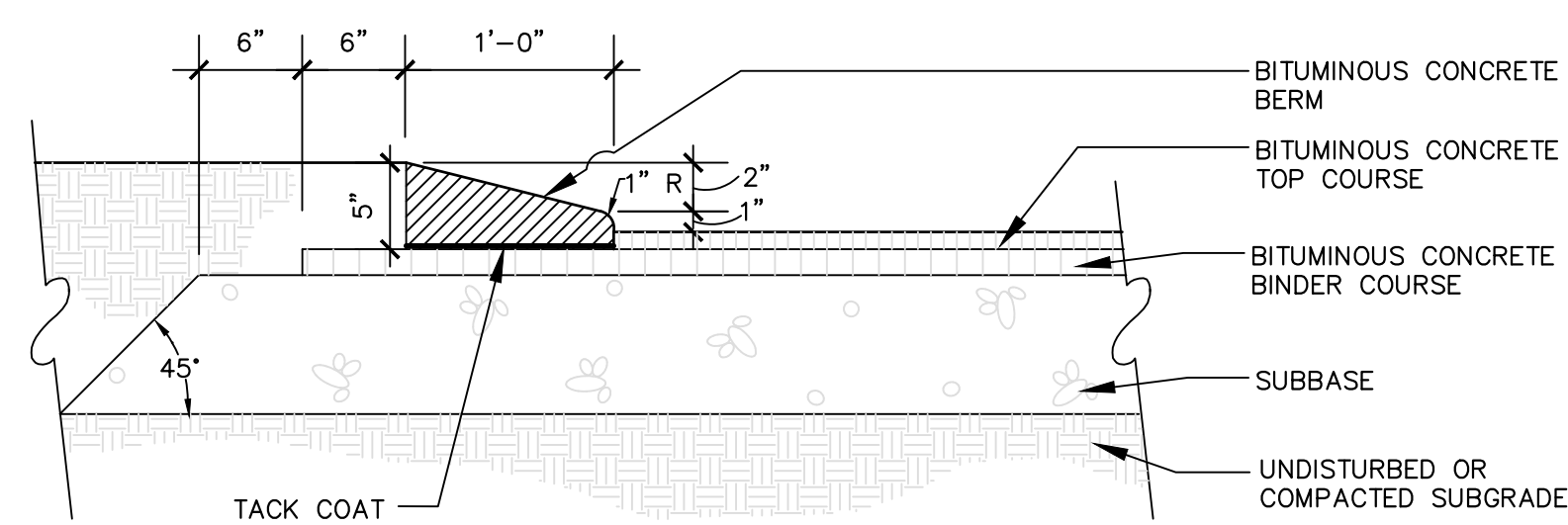


- NOTE:
- CONCRETE SHALL BE REINFORCED WITH 1.5 POUND OF 100% POLYPROPYLENE MICRO-FIBER PER CUBIC YARD OF CONCRETE.
  - INSTALL EXPANSION JOINTS WHERE CONCRETE PAD ABUTS CONCRETE PAVEMENT OR VERTICAL SURFACES.

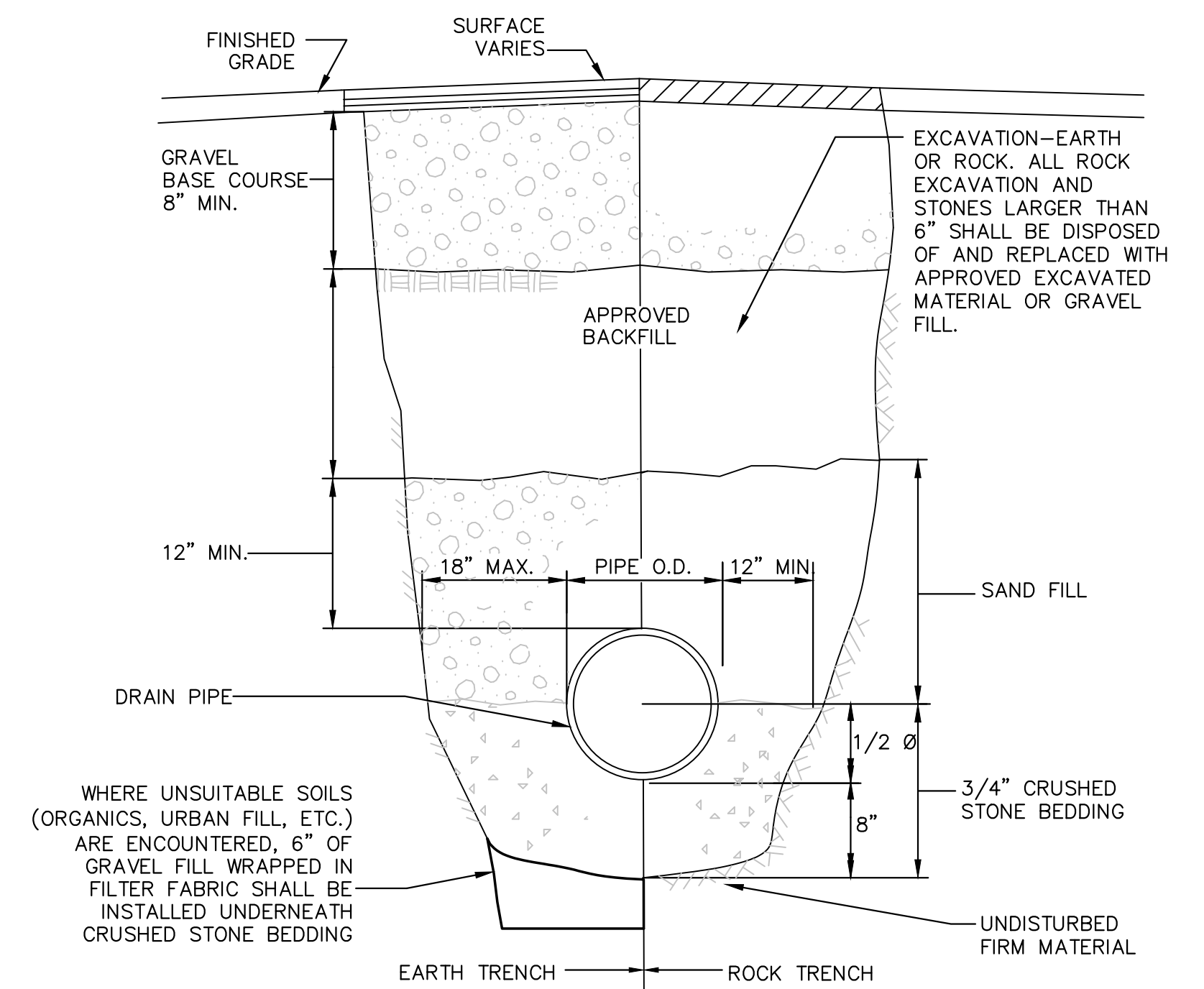
**E** CONCRETE DUMPSTER PAD  
NOT TO SCALE



**F** BITUMINOUS CONCRETE WALKWAY PAVEMENT  
NOT TO SCALE

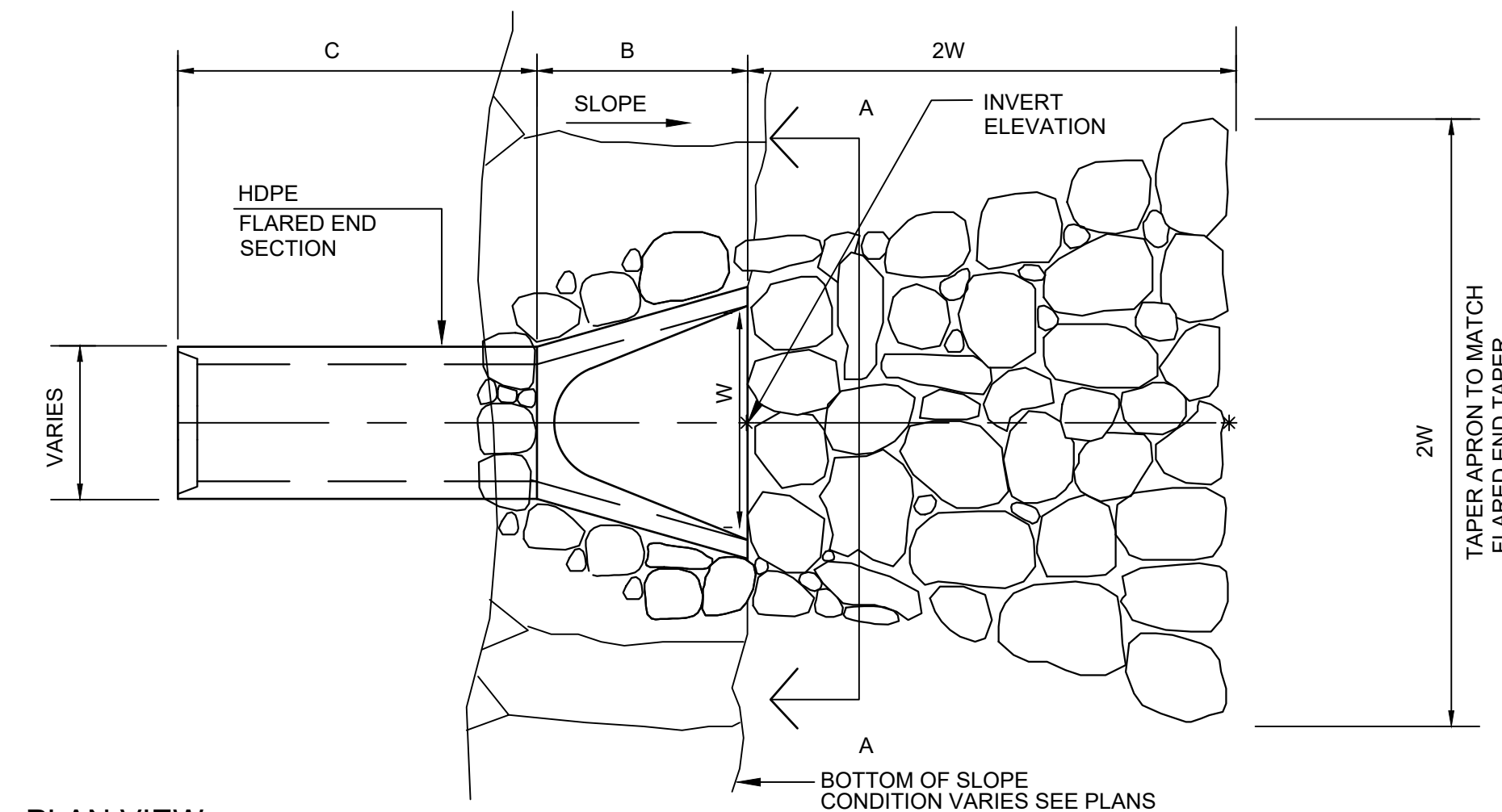


**G** BITUMINOUS CONCRETE CURB  
SCALE: N.T.S.

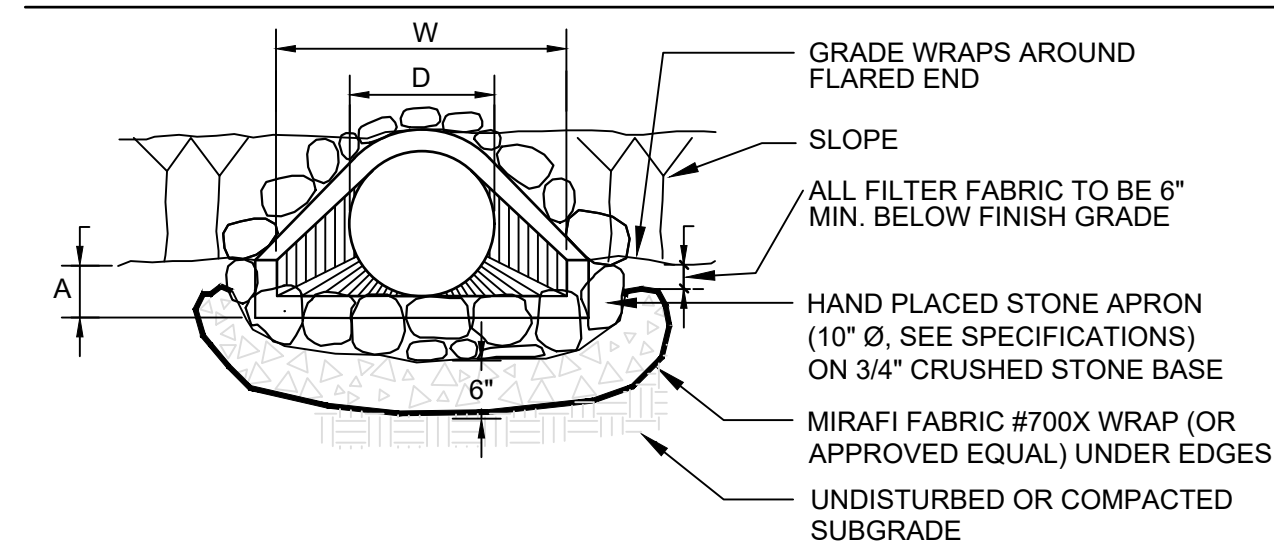


- NOTE:
- COMPACTED GRAVEL FILL SHALL BE PLACED IN TRENCH AT ALL AREAS WHERE OTHER FILL IS NOT SPECIFIED.

**H** DRAIN PIPE TRENCH  
NOT TO SCALE



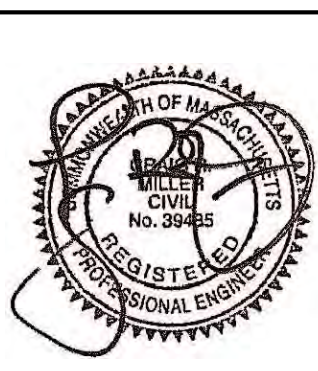
PLAN VIEW



SECTION / ELEVATION AA

**I** RIP RAP SPILLWAY  
SCALE: N.T.S.

D	A	B	C	W
12"	9.5"	3-7.5"	2'-6"	2'-0"
6"	6"	3-7.5"	2'-6"	1'-0"



DESIGN BY:	<b>DETAILS</b>			
DRAWN BY: AM	REV	DATE	BY	
CHECK BY:				

CLIENT:  
**MASSACHUSETTS EXECUTIVE OFFICE OF HOUSING AND LIVABLE COMMUNITIES**  
100 CAMBRIDGE ST. SUITE 300  
BOSTON, MA 02114

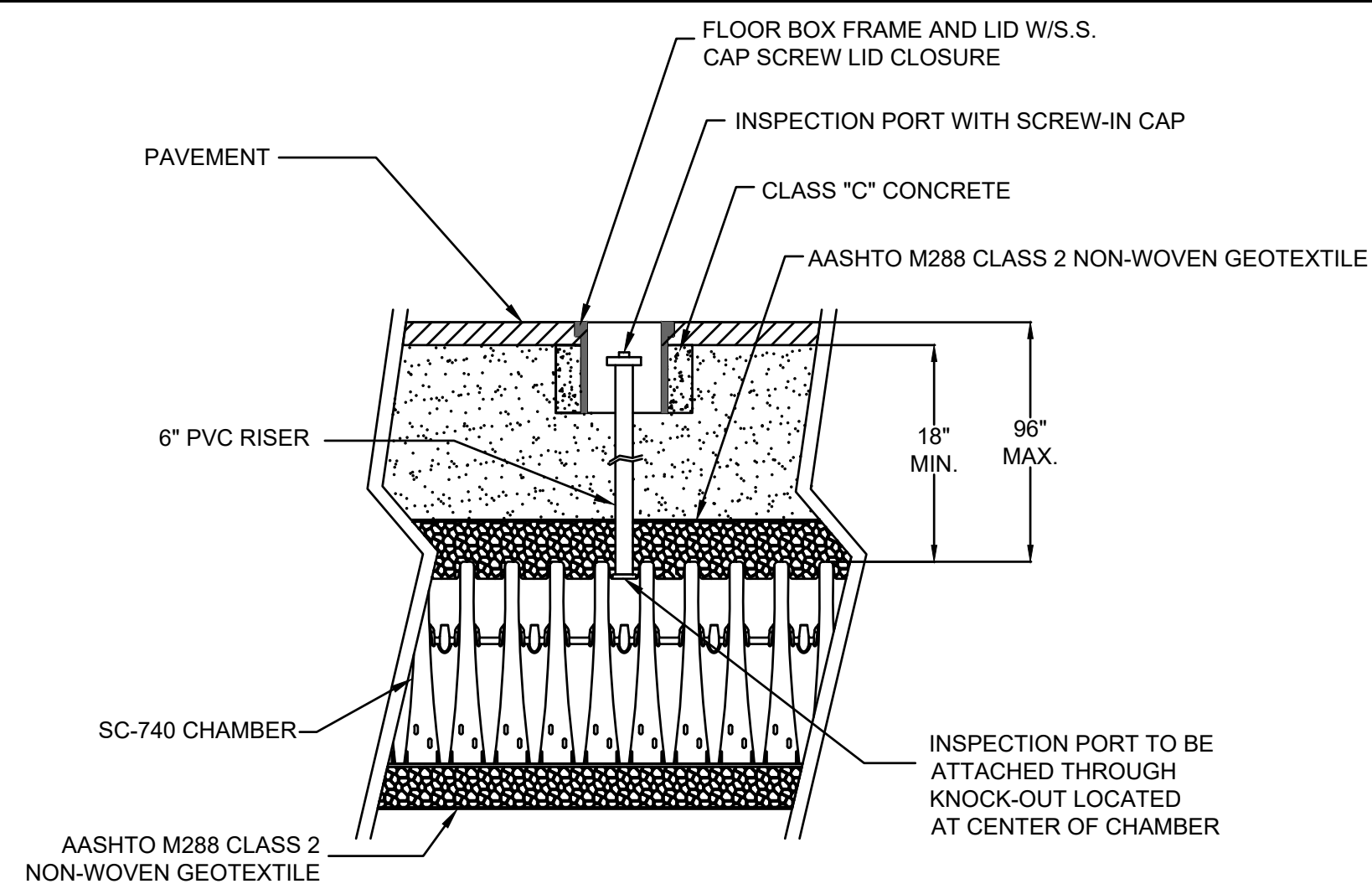
PROJECT TITLE:  
**ROADWAY, PARKING LOT, & SIDEWALK REPLACEMENT**  
NEPONSET VIEW TERRACE  
WALPOLE, MASSACHUSETTS

**WDG** Waterfield Design Group  
50 Cross Street | Winchester, Massachusetts | 01890  
T 781.756.0001 F 781.756.0007

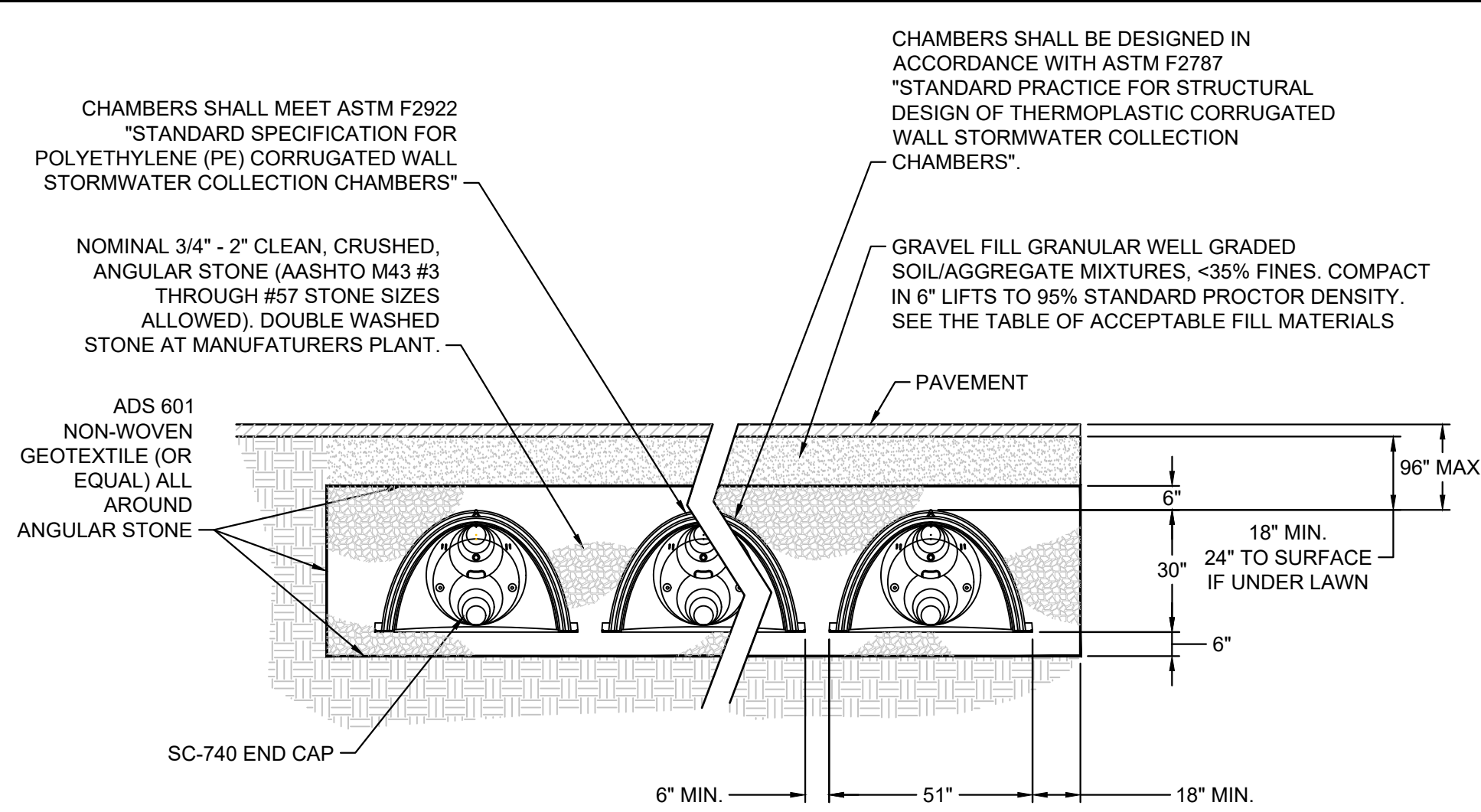
SCALE:  
AS SHOWN  
DATE:  
4-10-24  
FILENAME:  
W-1666

DRAWING NUMBER:  
**D-1**  
SHEET 6 OF 8

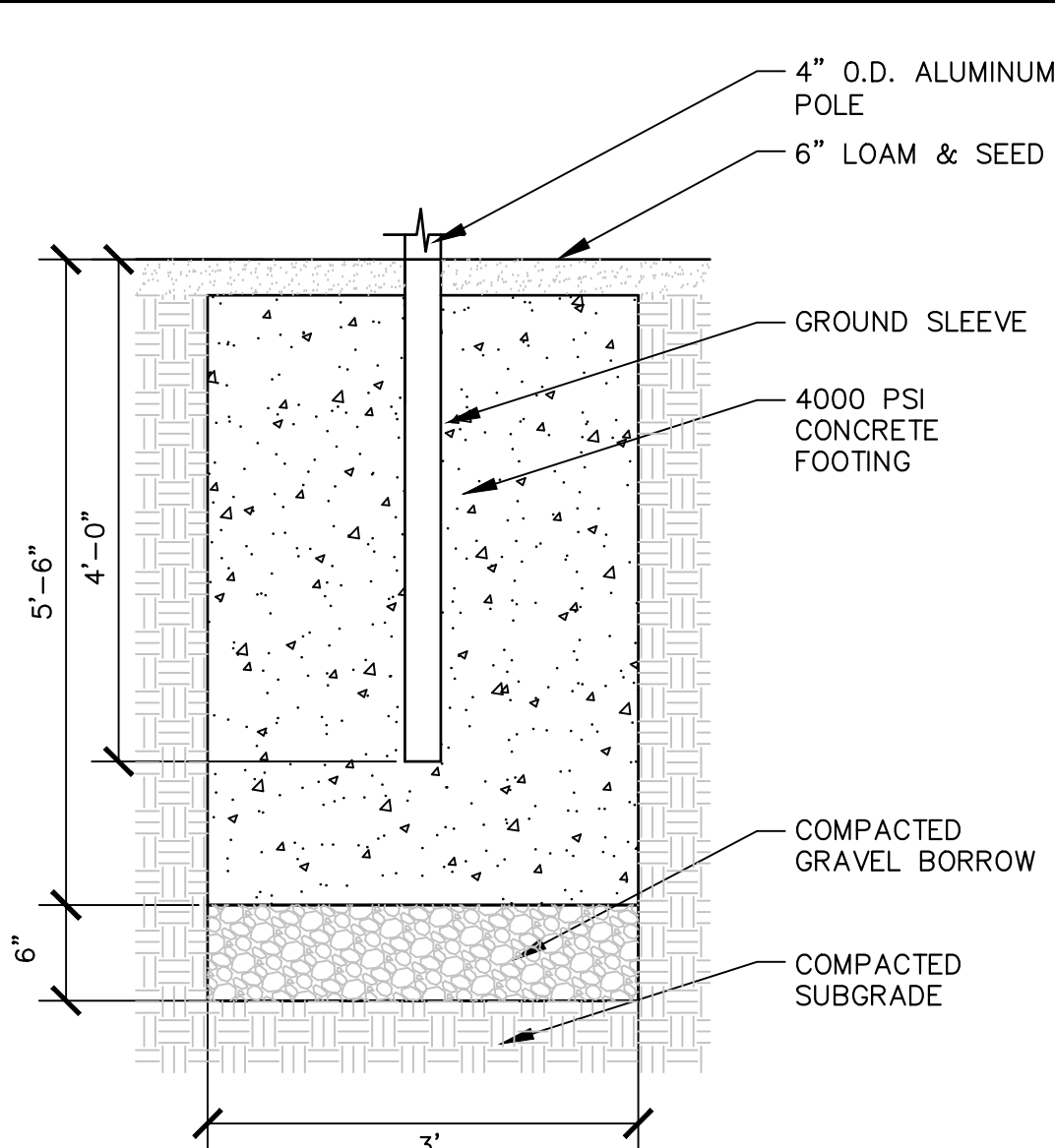




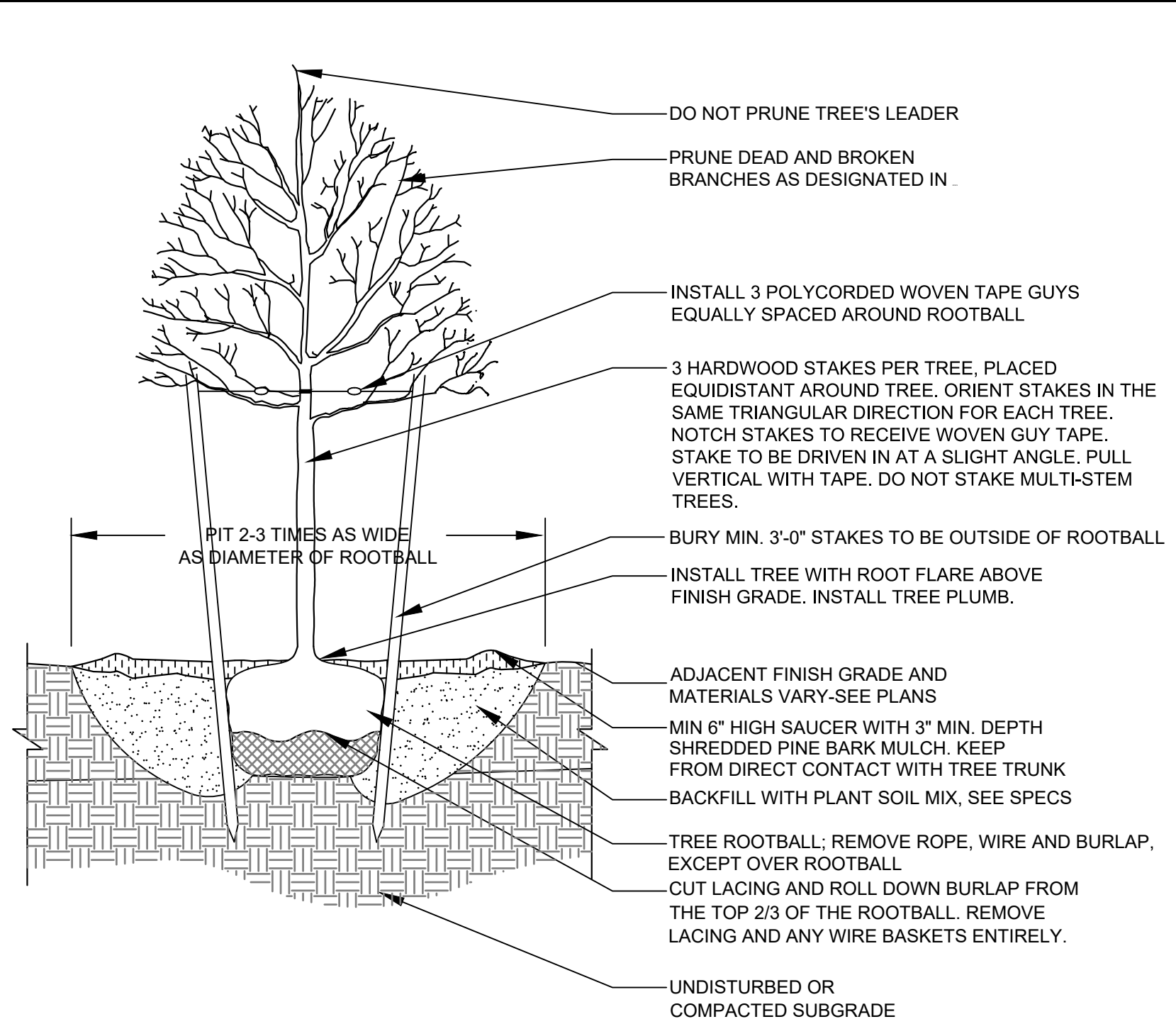
**A SC-740 INSPECTION PORT**  
NOT TO SCALE



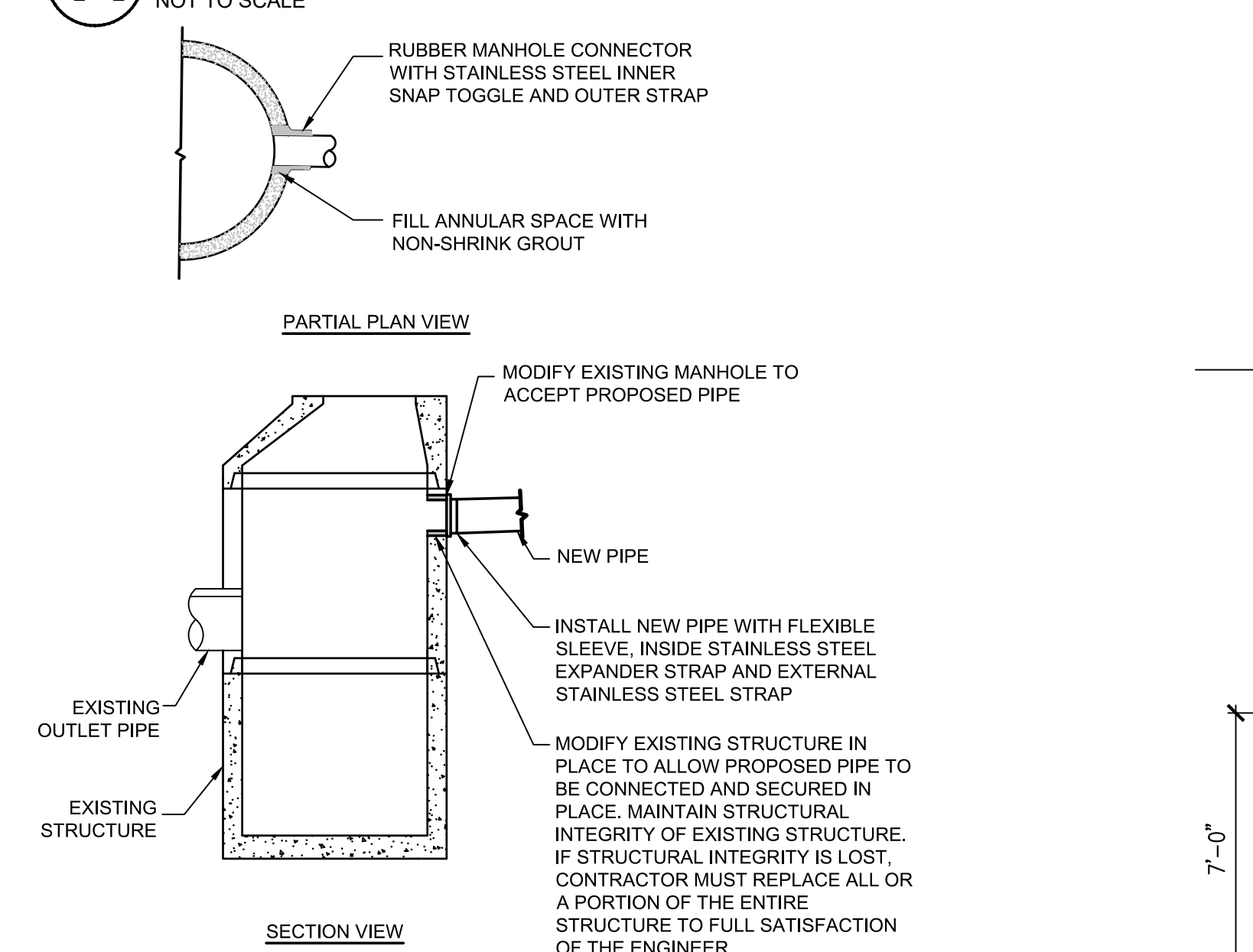
**D SC-740 INFILTRATION SYSTEM CROSS SECTION**  
NOT TO SCALE



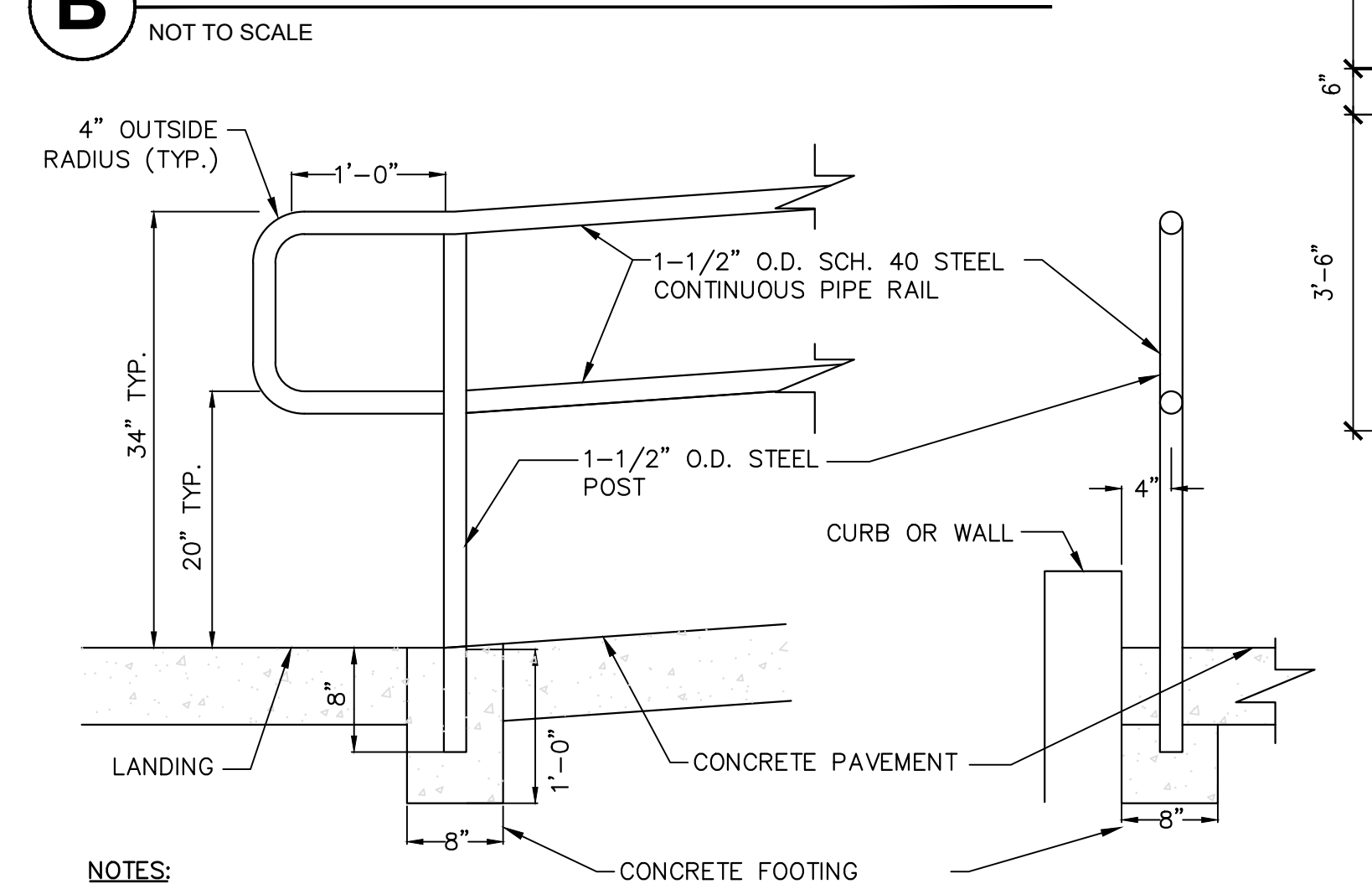
**G FLAG POLE BASE**  
NOT TO SCALE



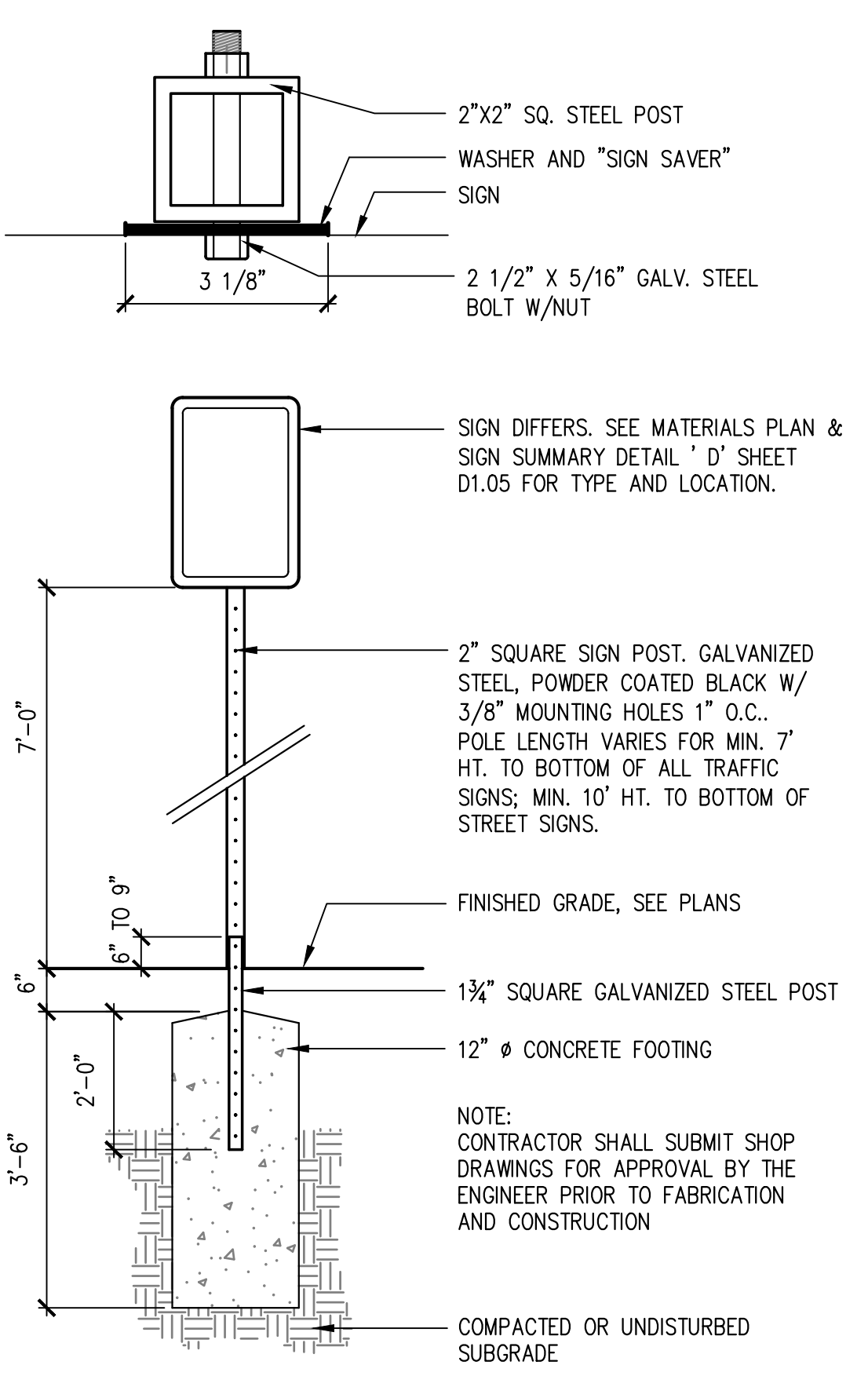
**J DECIDUOUS TREE PLANTING**  
NOT TO SCALE



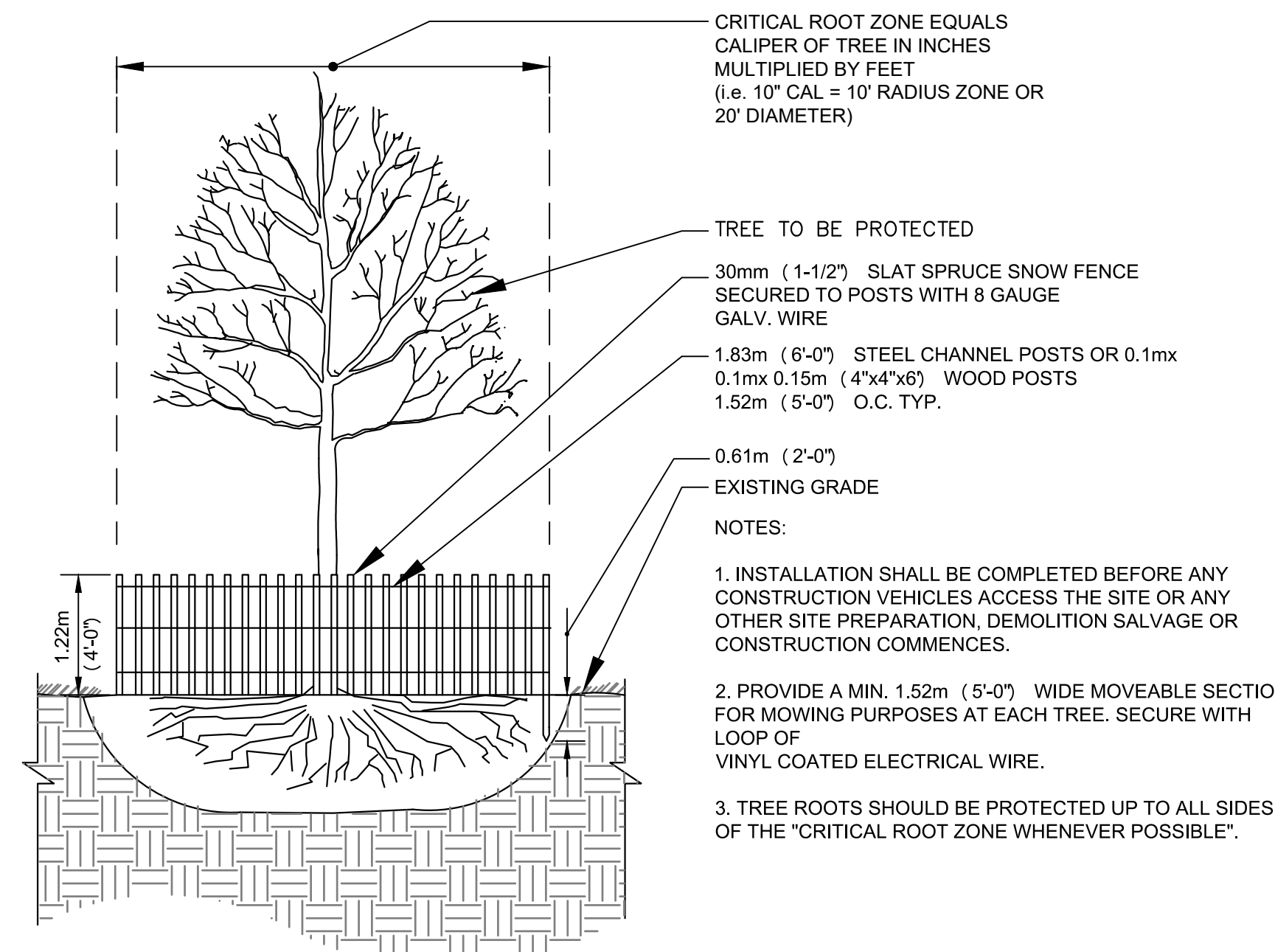
**B CONNECTION TO EXISTING STRUCTURE**  
NOT TO SCALE



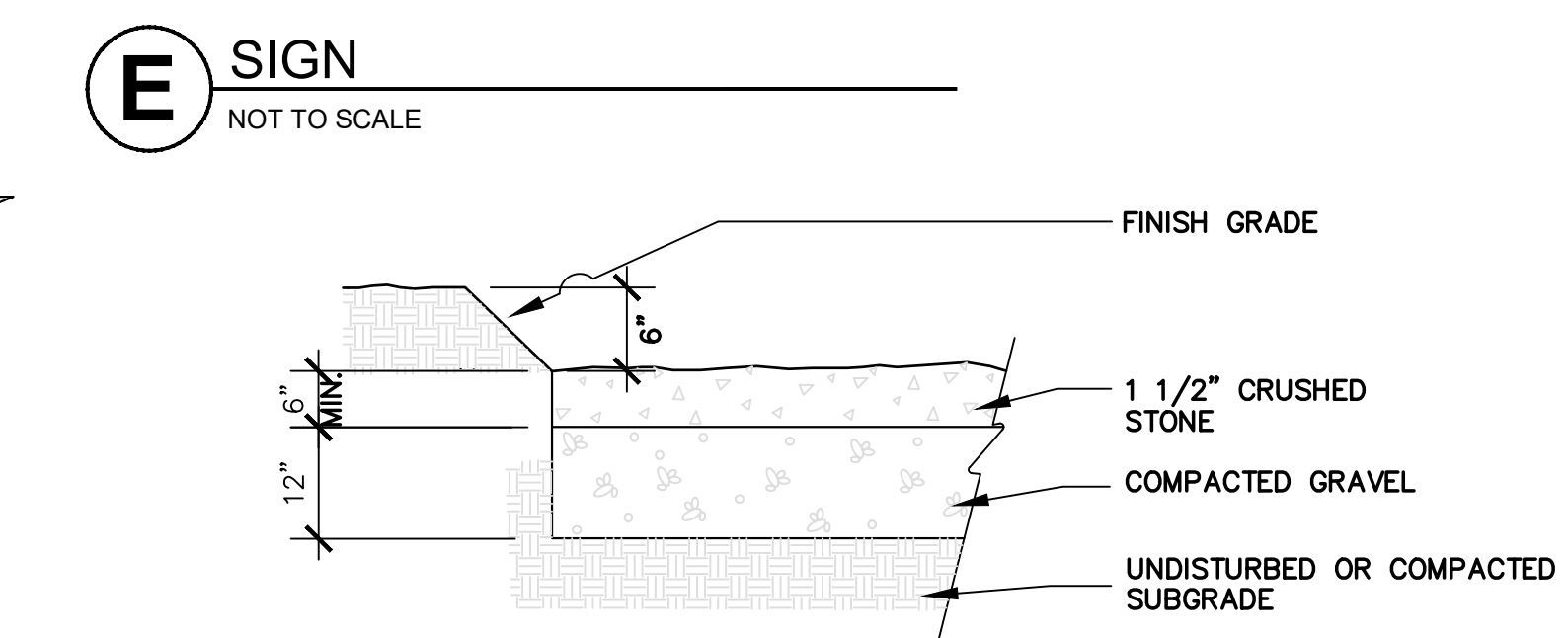
**C RAMP HANDRAIL**  
NOT TO SCALE



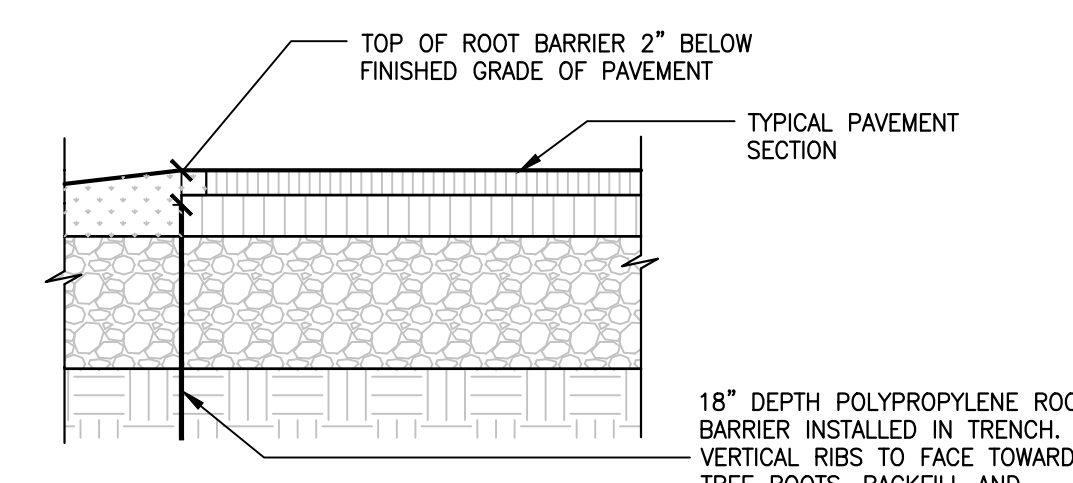
**E SIGN**  
NOT TO SCALE



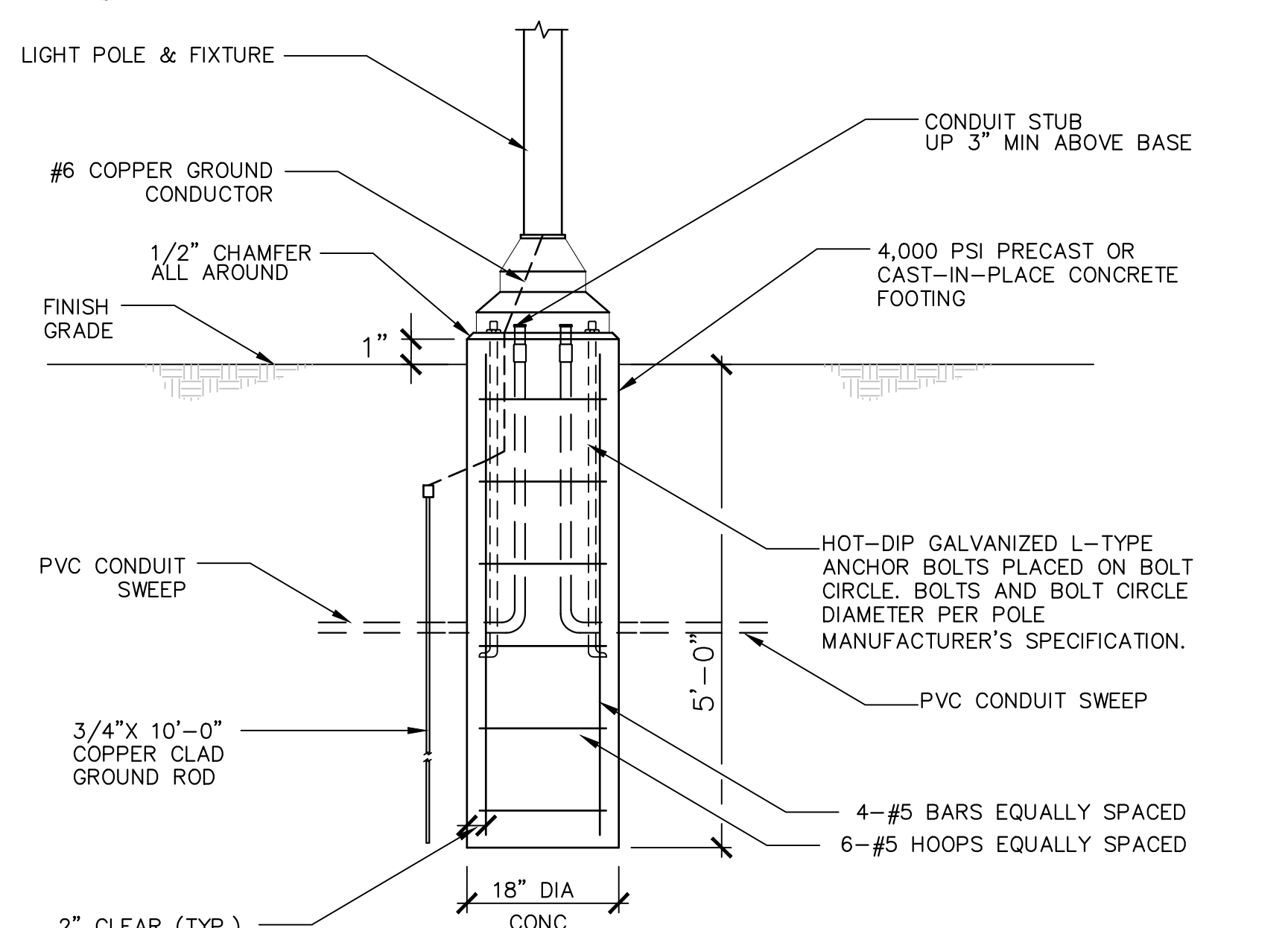
**H TREE & UTILITY PROTECTION**  
NOT TO SCALE



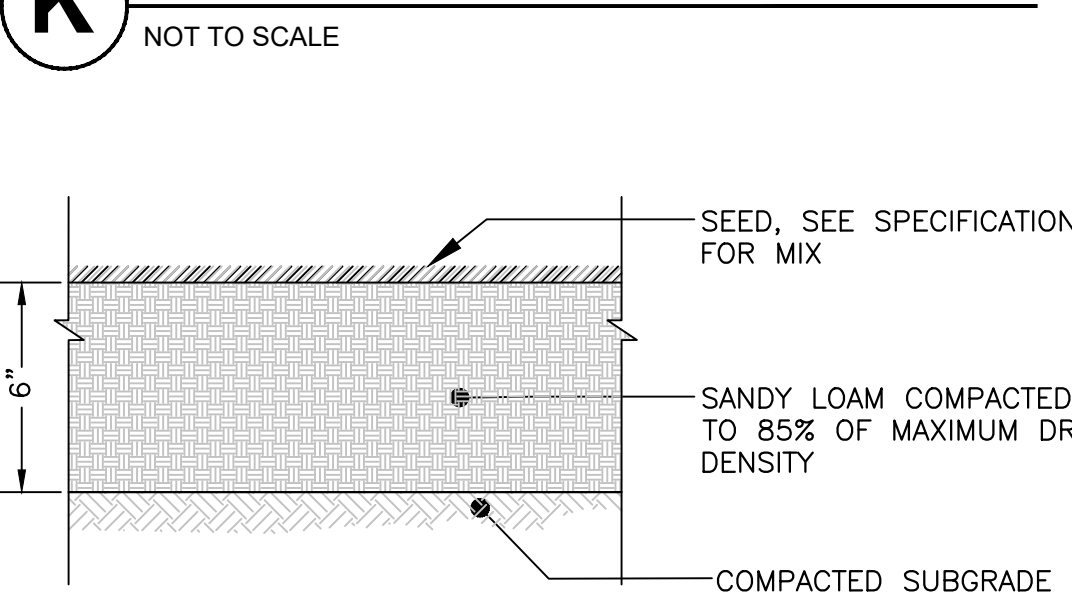
**F CONSTRUCTION ENTRANCE**  
NOT TO SCALE



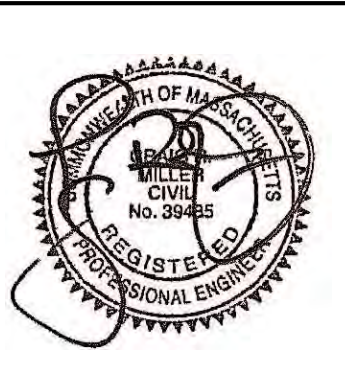
**I ROOT BARRIER**  
SCALE: N.T.S.



**K LIGHT POLE BASE**  
NOT TO SCALE



**L LOAM & SEED**  
NOT TO SCALE



DESIGN BY:	DRAWING TITLE: <b>DETAILS</b>		
DRAWN BY: AM	REV	DATE	BY
CHECK BY:			

CLIENT: MASSACHUSETTS EXECUTIVE OFFICE OF HOUSING AND LIVABLE COMMUNITIES  
100 CAMBRIDGE ST. SUITE 300  
BOSTON, MA 02114

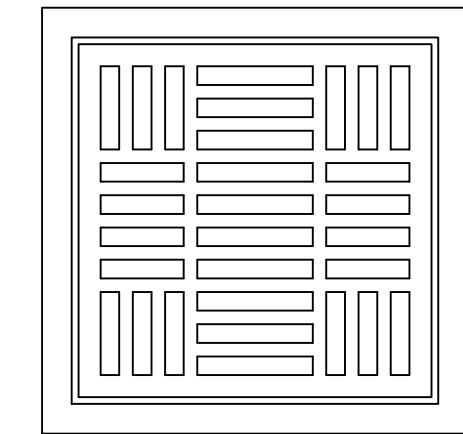
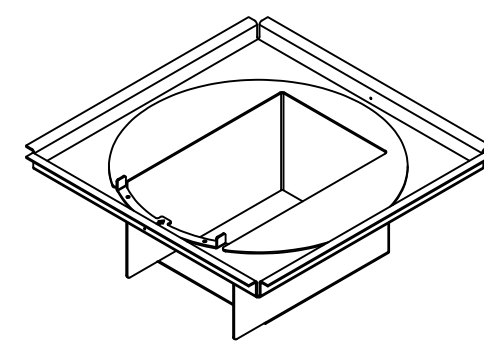
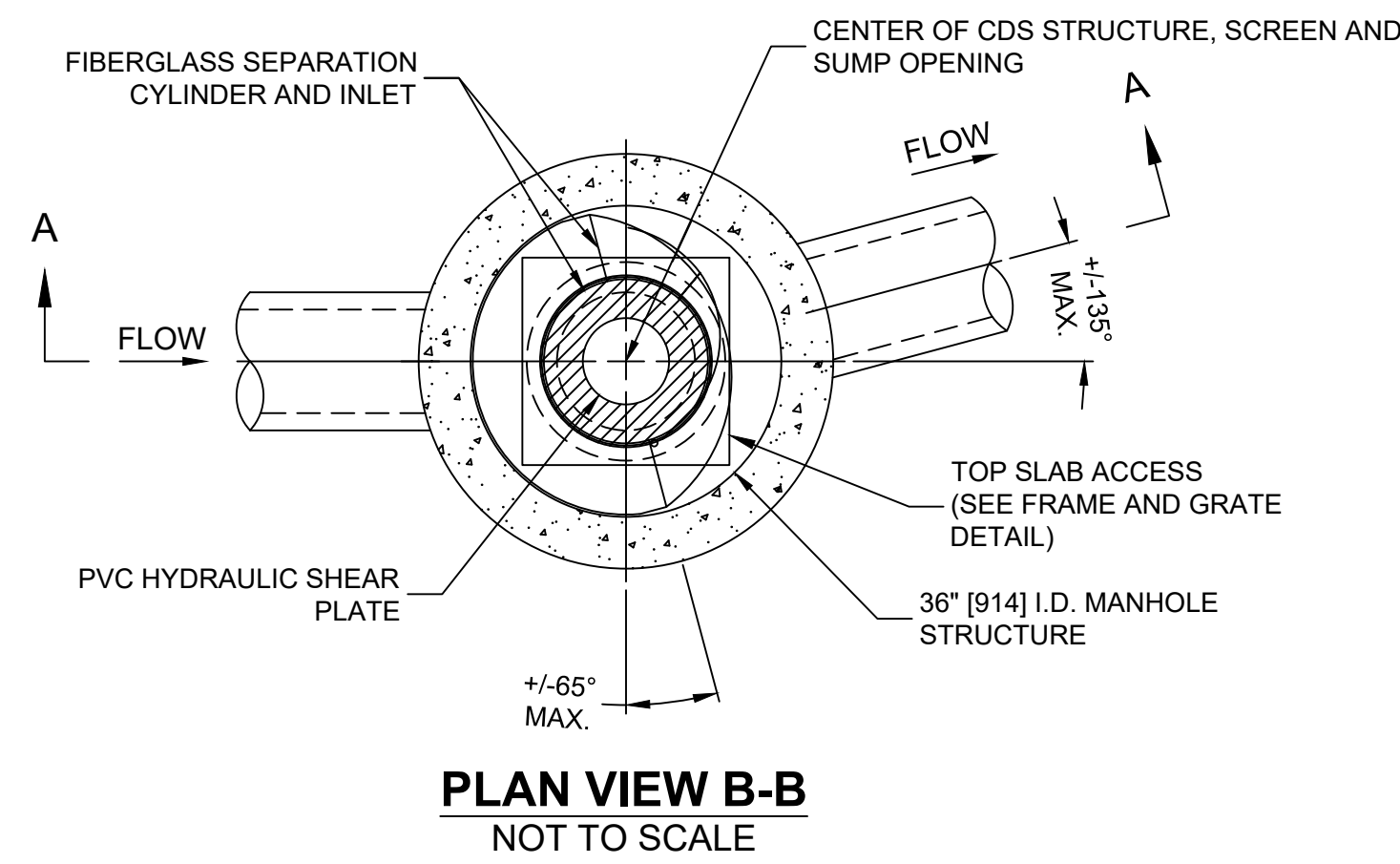
PROJECT TITLE: **ROADWAY, PARKING LOT, & SIDEWALK REPLACEMENT**  
NEPONSET VIEW TERRACE  
WALPOLE, MASSACHUSETTS

**WDG** Waterfield Design Group  
50 Cross Street | Winchester, Massachusetts | 01890  
T 781.756.0001 F 781.756.0007

SCALE: AS SHOWN  
DATE: 4-10-24  
FILENAME: W-1666

DRAWING NUMBER: **D-2**  
SHEET 7 OF 8





**24\"/>**

OCS#2 WEIR IS IN THE CENTER OF THE MANHOLE

2'-0\"/>

5' HIGH PRECAST MONOLITHIC MANHOLE BASE WITH 8\"/>

4\"/>

6\"/>

5\"/>

CONCRETE FILL TO INVERT IN ELEVATION ON UPSTREAM SIDE OF WEIR

CONCRETE INVERT & BENCH - 6\"/>

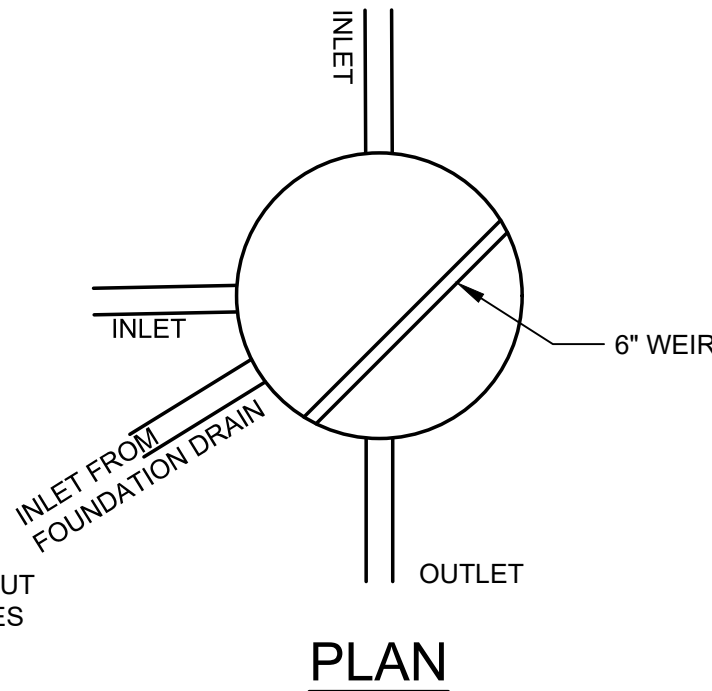
NOTES:

1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
2. REINFORCED STEEL CONFORMS TO LATEST ASTM A185 SPEC. 0.12 SQ. IN./LINEAL FT. AND 0.12 SQ. IN. (BOTH WAYS) BASE BOTTOM.
3. H-20 DESIGN LOADING PER AASHTO HS-20-44; ASTM C478 SPEC FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."
4. BUTYL RESIN SECTION JOINT CONFORMS TO LATEST ASTM C990 SPEC.
5. STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC STEP CONFORMS TO LATEST ASTM C478 SPEC.
6. FOR SHALLOW PIPES CONTRACTOR SHALL USE FLAT TOP SLAB AND HAVE STRUCTURE CAST WITH OPENING FOR THE PIPE AT THE TOP OF THE FORM FOR THE STRUCTURE. PLACE FRAME AND COVER DIRECTLY ON FLAT TOP.
7. MANHOLE SHALL BE PLACED ON A MINIMUM OF 6\"/>

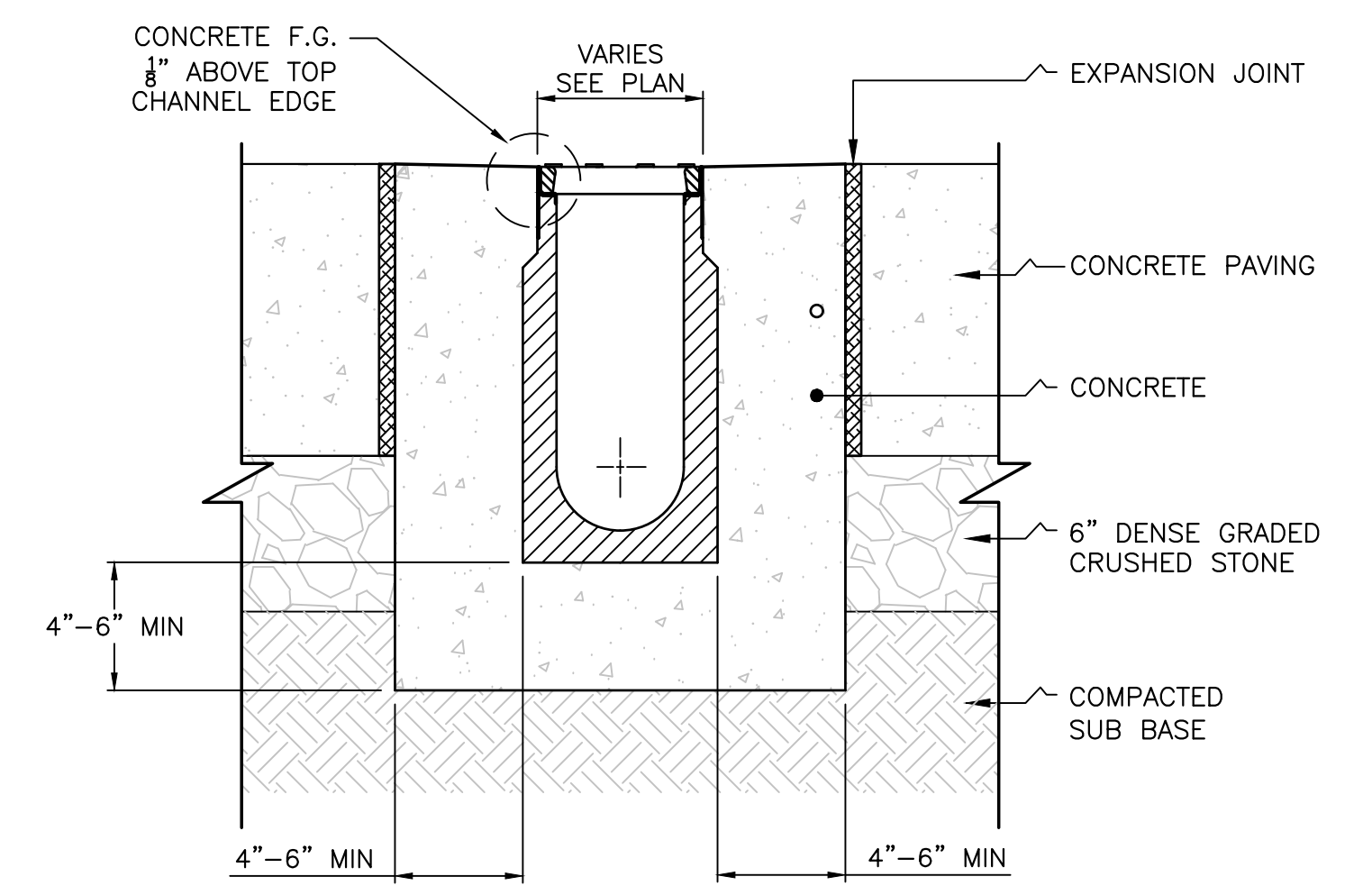
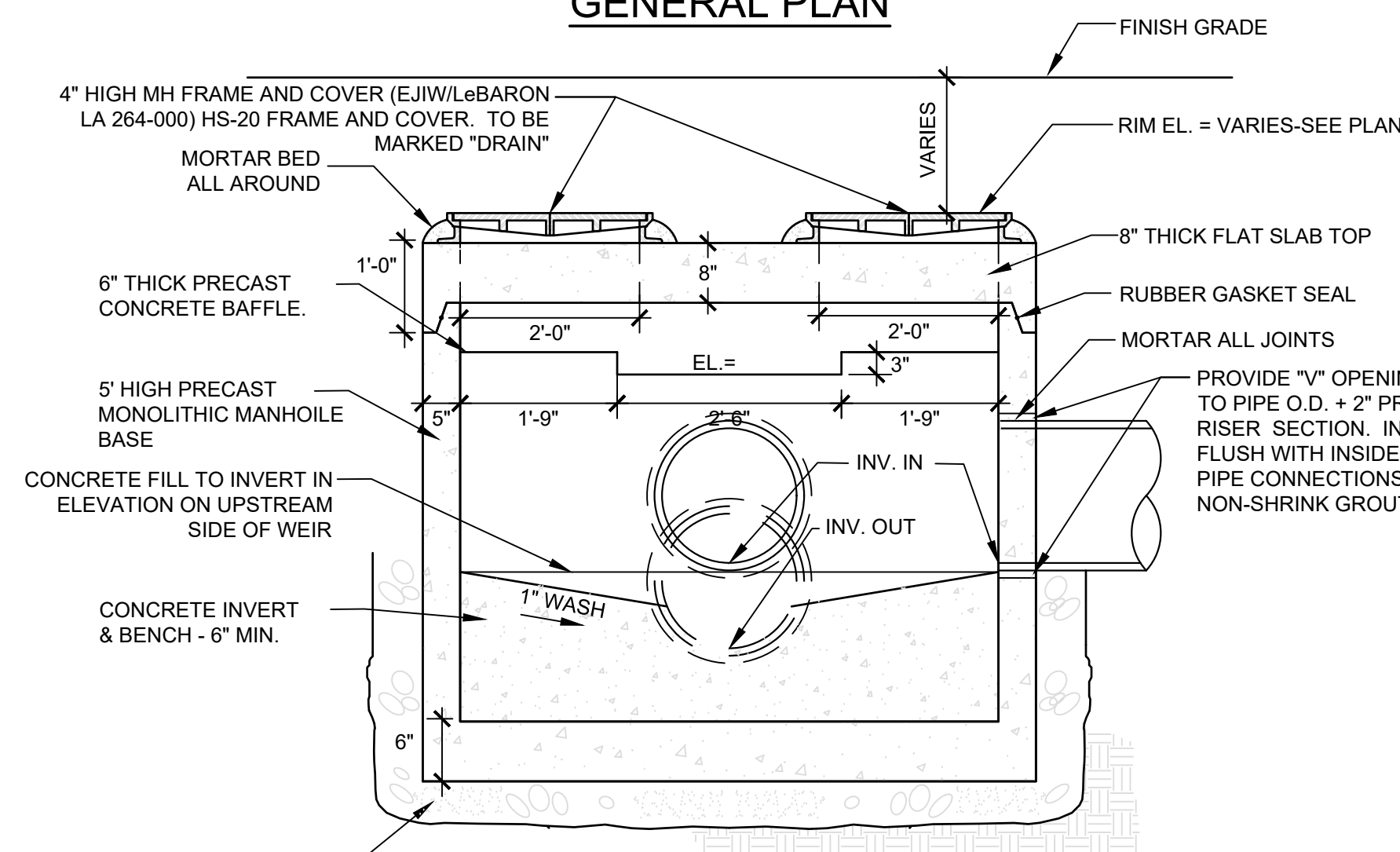
**C** OUTLET CONTROL STRUCTURE  
SCALE: N.T.S.

IDENTIFICATION NUMBER	SIZE OF SIGN		TEXT	NUMBER OF SIGNS REQUIRED	COLOR OF SIGNS		
	WIDTH	HEIGHT			BACKGROUND	LEGEND	BORDER
R6-1L	36"	12"	ONE WAY	2	SEE 2009 MUTCD		
R5-1	18"	18"	DO NOT ENTER	2			

**D** SIGN SCHEDULE  
SCALE: N.T.S.



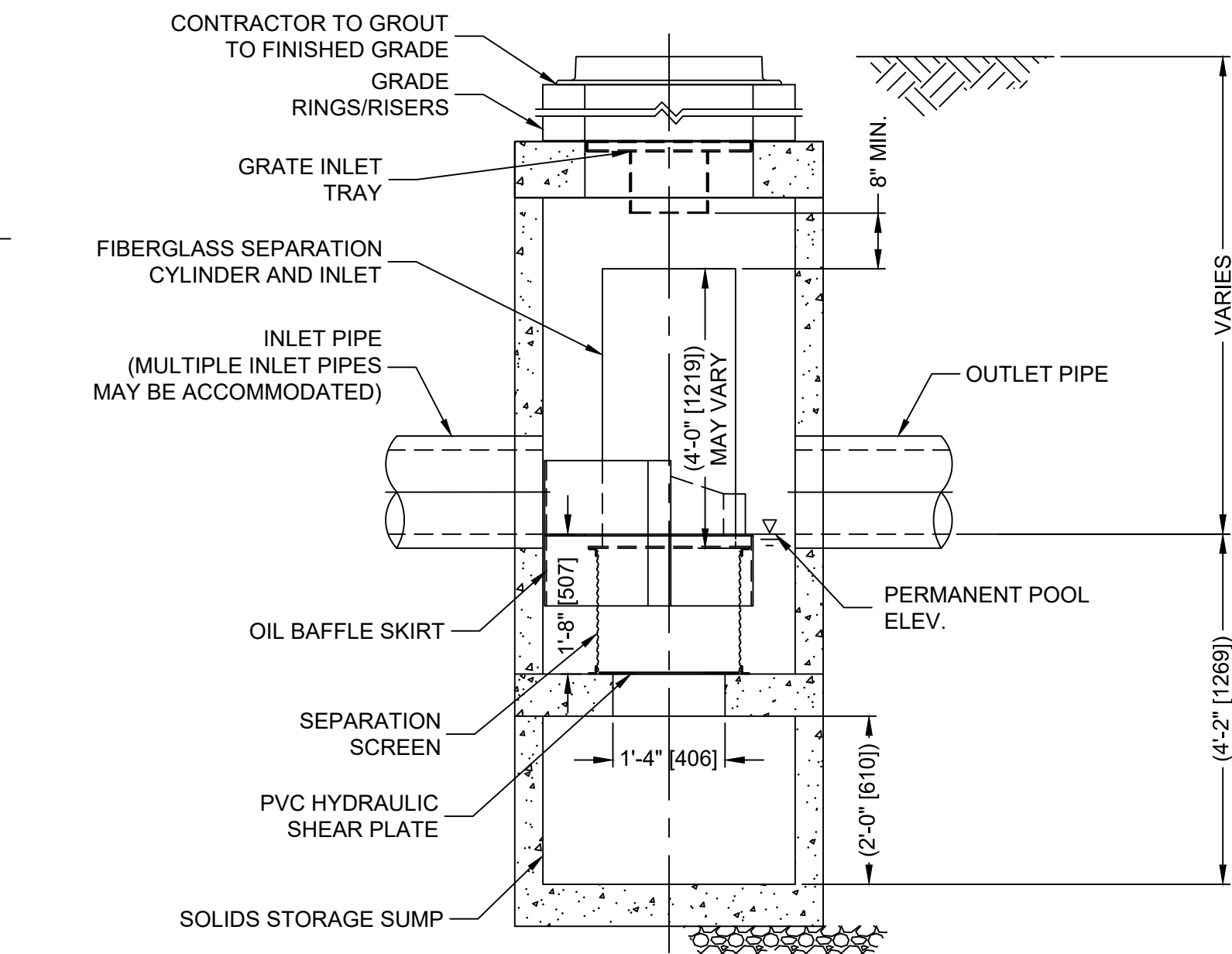
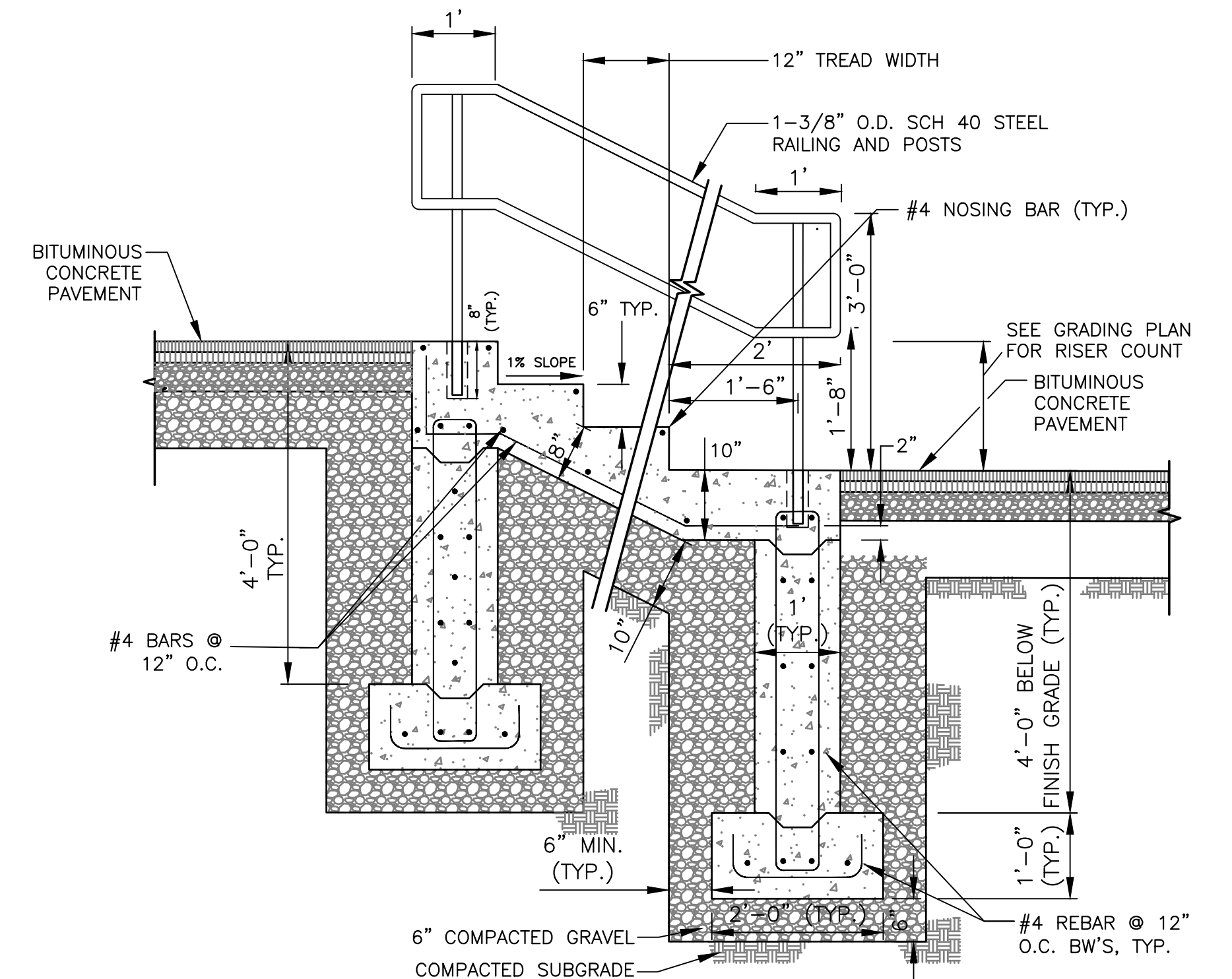
**GENERAL PLAN**



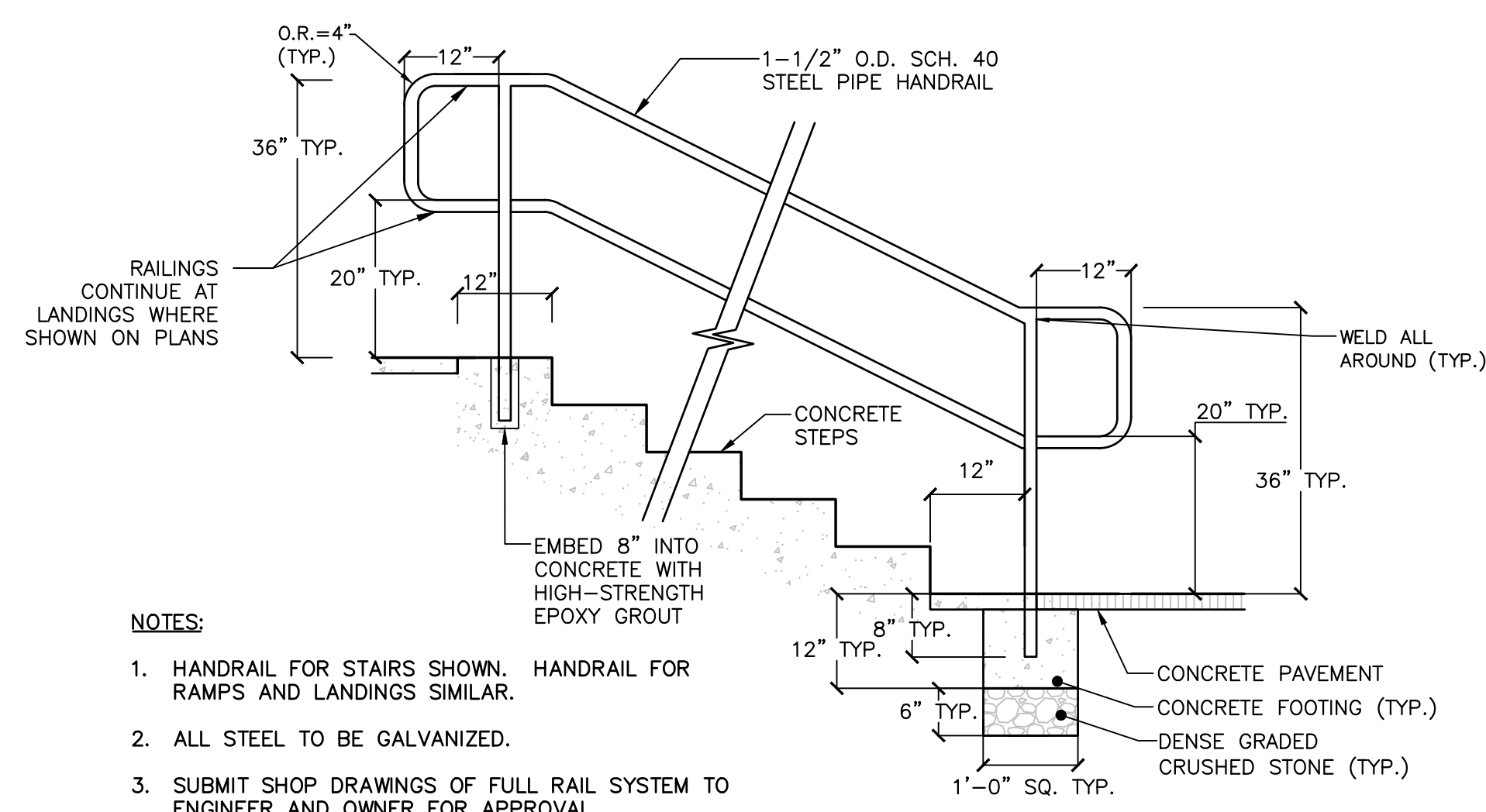
NOTES:

1. SEE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR COMPLETE DETAILS

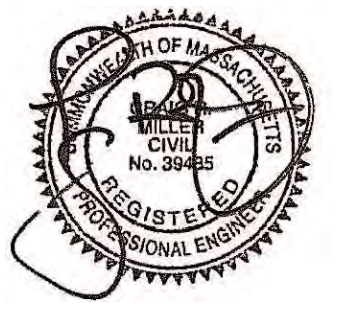

**E** 4\"/>



**A** CONTECH CDS 1515-3-G OR APPROVED EQUAL  
NOT TO SCALE



- NOTES:
1. HANDRAIL FOR STAIRS SHOWN. HANDRAIL FOR RAMPS AND LANDINGS SIMILAR.
  2. ALL STEEL TO BE GALVANIZED.
  3. SUBMIT SHOP DRAWINGS OF FULL RAIL SYSTEM TO ENGINEER AND OWNER FOR APPROVAL.

	DESIGN BY:	DRAWING TITLE: <b>DETAILS</b>		CLIENT: MASSACHUSETTS EXECUTIVE OFFICE OF HOUSING AND LIVABLE COMMUNITIES	PROJECT TITLE: <b>ROADWAY, PARKING LOT, &amp; SIDEWALK REPLACEMENT</b> NEPONSET VIEW TERRACE WALPOLE, MASSACHUSETTS		SCALE: AS SHOWN	DRAWING NUMBER: <b>D-3</b>
	DRAWN BY: AM	REV	DATE	BY			100 CAMBRIDGE ST. SUITE 300 BOSTON, MA 02114	
CHECK BY:							FILENAME: W-1666	SHEET 8 OF 8