

# SITE DEVELOPMENT PLAN

## A COMPREHENSIVE PERMIT M.G.L. c. 40B

### "DIAMOND HILL ESTATES"

### WALPOLE, MASSACHUSETTS

DATE: FEBRUARY 26, 2020  
 REVISED: JUNE 2, 2020  
 AUGUST 5, 2020  
 NOV. 30, 2020  
 FEB. 3, 2021

**ASSESSOR'S REFERENCE:**  
 MAP 35, PARCEL 380-1

**DEED REFERENCE:**  
 NORFOLK COUNTY REGISTRY OF DEEDS  
 Bk. 20779, Pg. 209

**PLAN REFERENCE:**  
 NORFOLK COUNTY REGISTRY OF DEEDS  
 FILE IN PLAN BOOK 77, PLAN 3721

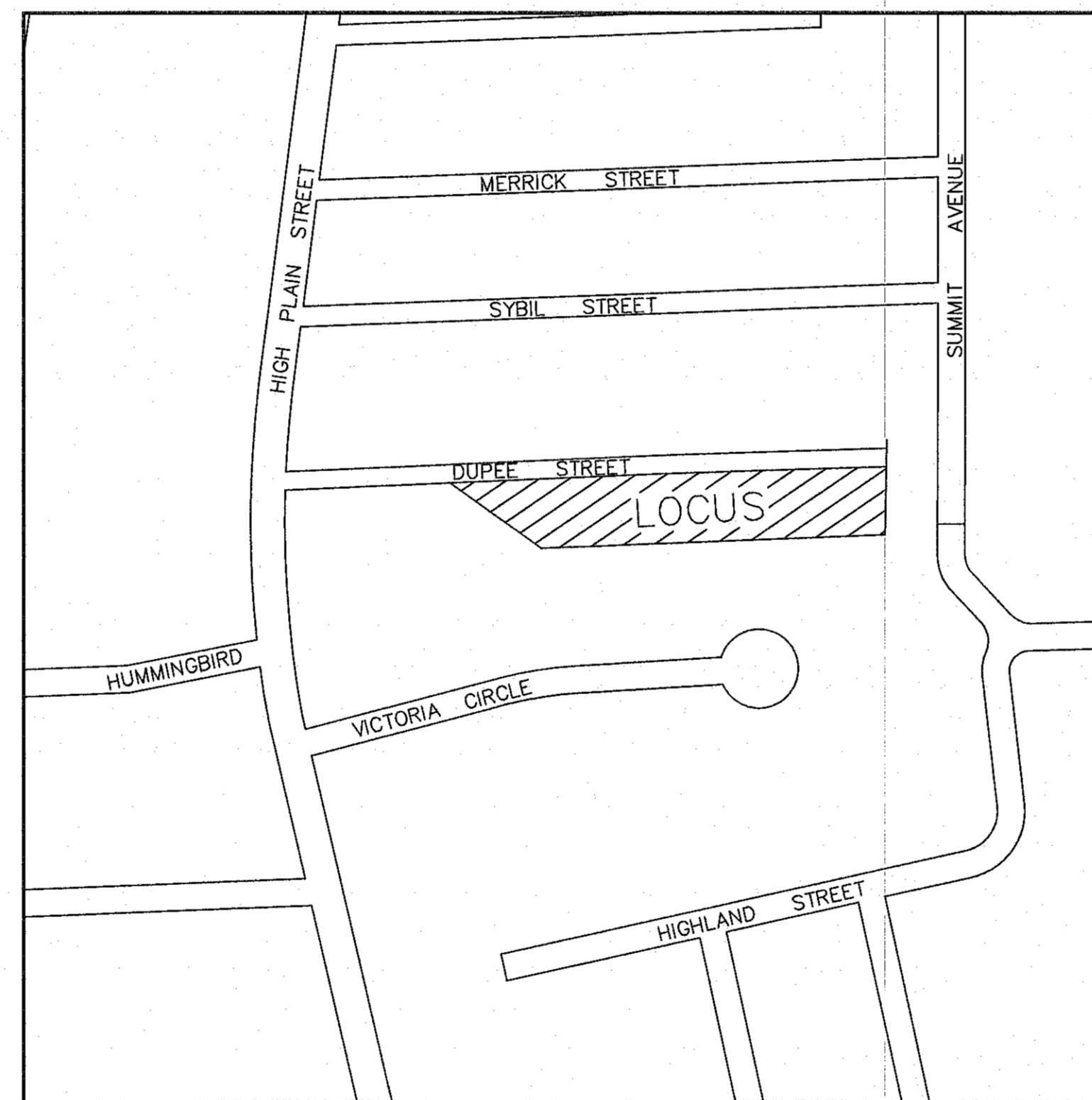
**OWNER OF RECORD:**  
 DIAMOND BROOK REALTY TRUST  
 P.O. BOX 31  
 SO. WALPOLE, MA

**ZONING CLASSIFICATION:**  
 RESIDENCE B - RB  
 LOT AREA: 20,000 S.F.  
 FRONTAGE: 125 FT.  
 SETBACKS:  
 FRONT: 30'  
 SIDE: 15'  
 REAR: 30'

**ZONING DATA:**

RESIDENCE-B (RB)

	REQUIRED	PROVIDED
LOT AREA:	20,000 S.F.	52,238 ± S.F. (1.2± AC)
FRONTAGE:	125 FT.	641.05 FT. (DUPEE STREET)
<b>SETBACKS:</b>		
FRONT:	30 FT.	24.0 FT.
SIDE:	15 FT.	23.0 FT.
REAR:	30 FT.	30.0 FT.
<b>MAXIMUM BUILDING HGHT</b>	35 FT	35 FT
<b>MAXIMUM STORIES</b>	2.5	2.5
<b>LOT COVERAGE:</b>	<b>ALLOWED</b>	<b>PROPOSED</b>
BUILDING:	25% (13,059 sf)	27.2% (14,184 sf)
TOTAL IMPERVIOUS (Buildings & Irmp)	40% (20,895 sf)	35.6% (18,571 sf)



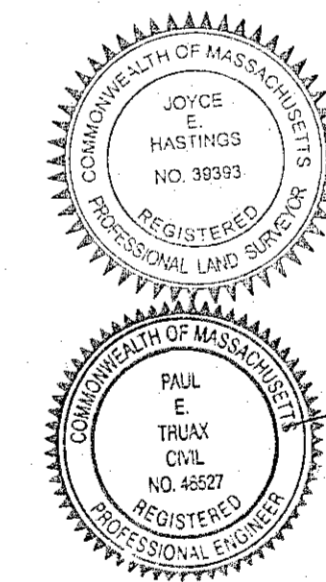
LOCUS MAP  
 1"=200'

APPROVED BY THE  
 WALPOLE ZONING BOARD  
 OF APPEALS:

DATE APPROVED: \_\_\_\_\_  
 DATE ENDORSED: \_\_\_\_\_

I TOWN CLERK OF THE TOWN OF WALPOLE  
 RECEIVED & RECORDED FROM THE ZONING  
 BOARD OF APPEALS, APPROVAL OF THIS PLAN  
 AND NO APPEAL HAS BEEN TAKEN FOR TWENTY  
 DAYS NEXT AFTER RECEIPT AND RECORDING OF  
 SAME.

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_



*Joyce E. Hastings*  
 JOYCE E. HASTINGS P.L.S.

2-4-2021  
 DATE



*Paul E. Truax*  
 PAUL E. TRUAX P.E.

2-4-2021  
 DATE

**SHEET INDEX**

- 1 COVER
- 2 EXISTING CONDITIONS
- 3 LAYOUT PLAN
- 4 GRADING, DRAINAGE & UTILITIES
- 5 PROFILES
- 6 LANDSCAPE
- 7-13 DETAILS

Prepared By:  
**GLM** ENGINEERING  
 CONSULTANTS, INC.  
 19 EXCHANGE STREET  
 HOLLISTON, MASSACHUSETTS 01746  
 (508)429-1100 fax:(508)429-7160

**Applicant:**  
 WALL STREET DEVELOPMENT CORP.  
 P.O. BOX 272  
 WESTWOOD, MASSACHUSETTS 02090

JOB No.	15588
SCALE:	AS NOTED
DATE:	FEBRUARY 26, 2020
SHEET No.	1 of 13

**LEGEND:**

- 186--- EXISTING CONTOUR
- 16x2 EXISTING SPOT ELEVATION
- WC<sub>9</sub> EXISTING WATER GATE
- v--- EXISTING WATER LINE
- o--- EXISTING TREE LINE
- m--- EXISTING SEWER MANHOLE
- TP 1 EXISTING TEST PIT LOCATION
- 202--- PROPOSED CONTOUR
- 301.0 PROPOSED SPOT ELEVATION
- h--- PROPOSED HYDRANT
- w--- PROPOSED WATER LINE
- m--- PROPOSED DRAIN MANHOLE
- c--- PROPOSED CATCH BASIN
- d--- PROPOSED DRAIN LINE
- s--- PROPOSED SEWER LINE
- m--- PROPOSED SEWER MANHOLE
- o--- PROPOSED TREE LINE

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SETBACKS:		
FRONT:	30 FT.	29.0 FT.
SIDE:	15 FT.	22.0 FT.
REAR:	30 FT.	30.0 FT.
MAXIMUM BUILDING HIGHT	35 FT	35 FT
MAXIMUM STORIES	2.5	2.5
LOT COVERAGE:	ALLOWED	PROPOSED
BUILDING:	25% (13,059 sf)	27.4% (14,320 sf)
TOTAL IMPERVIOUS (Buildings & Imp)	40% (20,895 sf)	45.1% (23,580 sf)

**ASSESSOR'S REFERENCE:**  
MAP 35, PARCEL 380-1

**DEED REFERENCE:**  
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**PLAN REFERENCE:**  
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**OWNER OF RECORD:**  
DIAMOND BROOK REALTY TRUST  
P.O. BOX 31  
SO. WALPOLE, MA

**ZONING CLASSIFICATION:**  
RESIDENCE B - RB  
LOT AREA: 20,000 S.F.  
FRONTAGE: 125 FT.

SETBACKS:  
FRONT: 30'  
SIDE: 15'  
REAR: 30'

**NOTES:**

1. THE LOCATION OF EXISTING UTILITIES IS APPROXIMATE, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. NOTIFY "DIG SAFE" AT 1-888-344-7233 AT THE 72 HOURS PRIOR TO ANY SITE EXCAVATION.
2. EXISTING STRUCTURES SHOWN ARE APPROXIMATE, THE LOCATION OF THE BUILDINGS WERE COMPILED FROM EXISTING PLANS OF RECORD AND TOWN OF WALPOLE GIS INFORMATION.

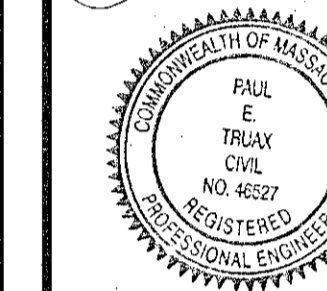
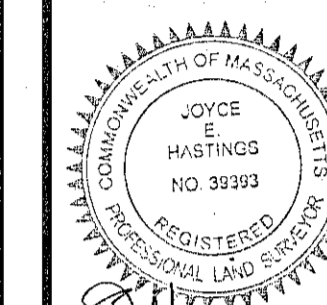
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TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

REVISIONS	DATE	DESCRIPTION
No. 1	6/02/20	ZONING BOARD COMMENTS
2	8/05/20	DRAINAGE ANALYSIS
3	11/30/20	ZBA & PEER REVIEW COMMENTS
4	02/03/21	ZBA & PEER REVIEW COMMENTS

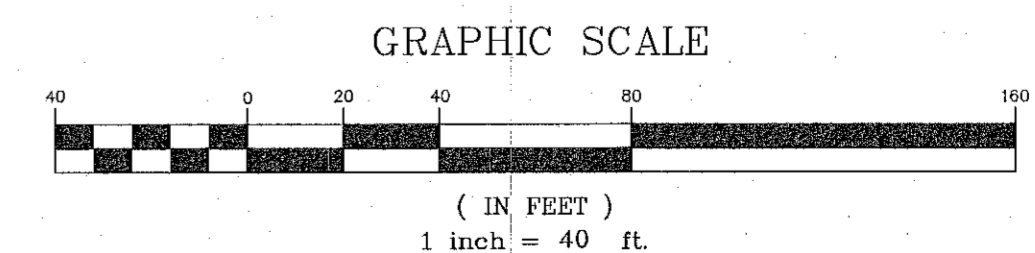
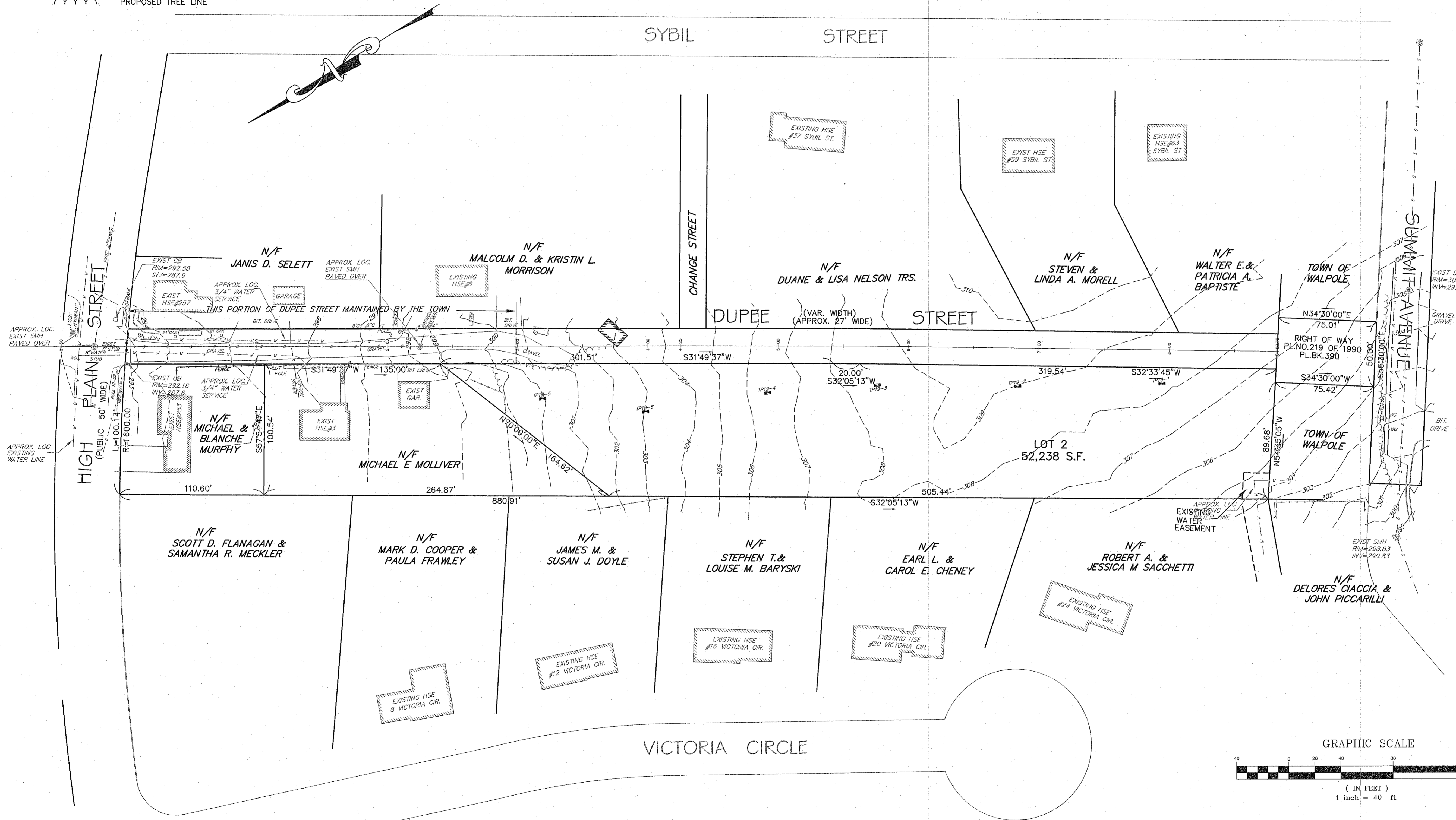


**SITE DEVELOPMENT PLAN**  
**A COMPREHENSIVE PERMIT M.G.L.C. 40B**  
**"DIAMOND HILL ESTATES"**  
**WALPOLE, MASSACHUSETTS**

PREPARED FOR:  
WALL STREET DEVELOPMENT CORP.  
P.O. BOX 272  
WESTWOOD, MA 02090

**GLM** Engineering  
Consultants, Inc.  
19 EXCHANGE STREET  
HOLLISTON, MA 01746  
P: 508-429-1100  
F: 508-429-7160  
www.GLMengineering.com

JOB No.	16,518
DATE:	FEB. 20, 2020
SCALE:	1"=40'
SHEET:	2 of 13
PLAN #:	27,321



**EXISTING CONDITIONS**



**LEGEND:**

- 186--- EXISTING CONTOUR
- 16.3x2 EXISTING SPOT ELEVATION
- WC<sub>0</sub> EXISTING WATER GATE
- v — EXISTING WATER LINE
- v — EXISTING TREE LINE
- 3 — EXISTING SEWER MANHOLE
- TP 1 — EXISTING TEST PIT LOCATION
- 202 — PROPOSED CONTOUR
- 301.0 PROPOSED SPOT ELEVATION
- H — PROPOSED HYDRANT
- v — PROPOSED WATER LINE
- 3 — PROPOSED DRAIN MANHOLE
- 4 — PROPOSED CATCH BASIN
- D — PROPOSED DRAIN LINE
- S — PROPOSED SEWER LINE
- 3 — PROPOSED SEWER MANHOLE
- 3 — PROPOSED TREE LINE

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SIDE:	15 FT.	22.0 FT.
REAR:	30 FT.	30.0 FT.
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MAXIMUM STORIES	2.5	2.5
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**ASSESSOR'S REFERENCE:**

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**PLAN REFERENCE:**

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**ZONING CLASSIFICATION:**

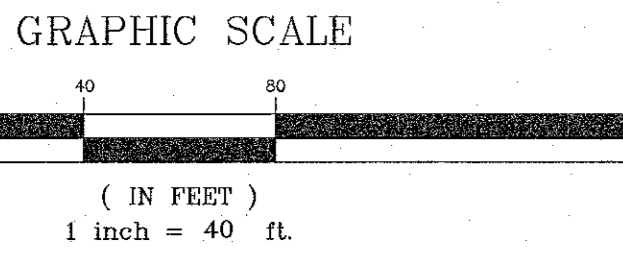
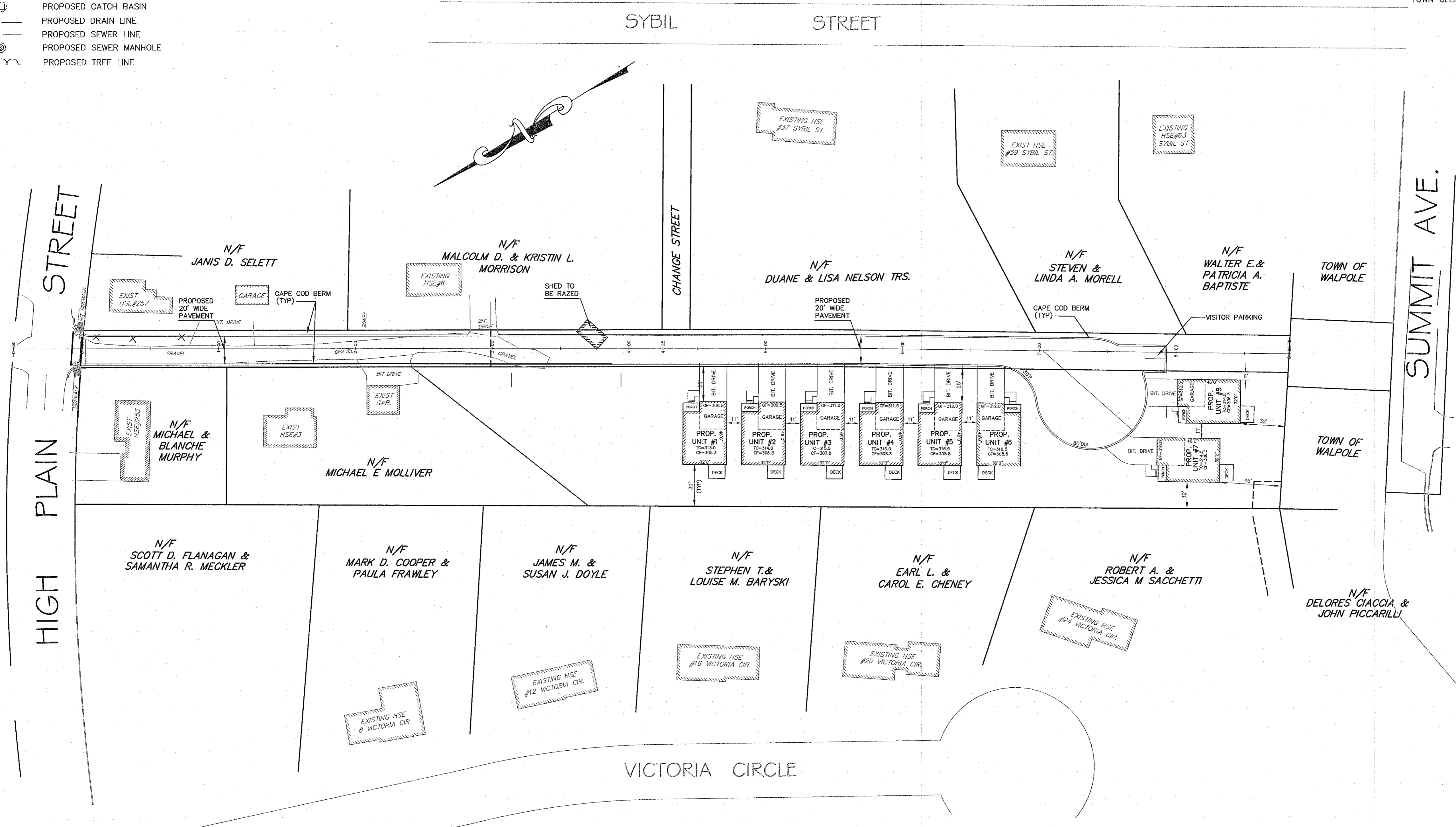
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 OF APPEALS:

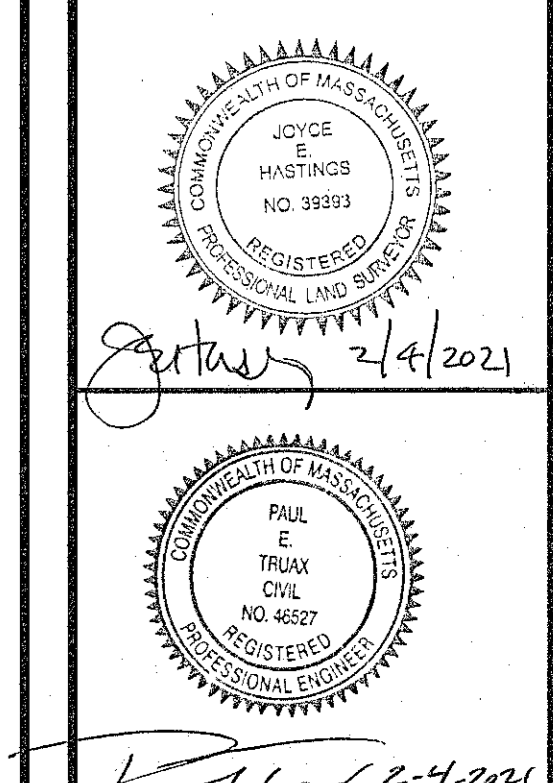
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JOB No.	16,518
DATE:	FEB. 26, 2020
SCALE:	1"=40'
SHEET:	3 of 13
PLAN #:	27,321

**PROPOSED LAYOUT**

**LEGEND:**

- 186--- EXISTING CONTOUR
- 163x2 EXISTING SPOT ELEVATION
- WG<sub>6</sub> EXISTING WATER GATE
- W EXISTING WATER LINE
- EXISTING TREE LINE
- EXISTING SEWER MANHOLE
- TP EXISTING TEST PIT LOCATION
- 202 PROPOSED CONTOUR
- 301.0 PROPOSED SPOT ELEVATION
- PROPOSED HYDRANT
- W PROPOSED WATER LINE
- PROPOSED DRAIN MANHOLE
- PROPOSED CATCH BASIN
- D PROPOSED DRAIN LINE
- S PROPOSED SEWER LINE
- PROPOSED SEWER MANHOLE
- PROPOSED TREE LINE
- TC PROPOSED TOP OF FOUNDATION/CONC.
- CF PROPOSED CELLAR FLOOR

**ZONING DATA:**

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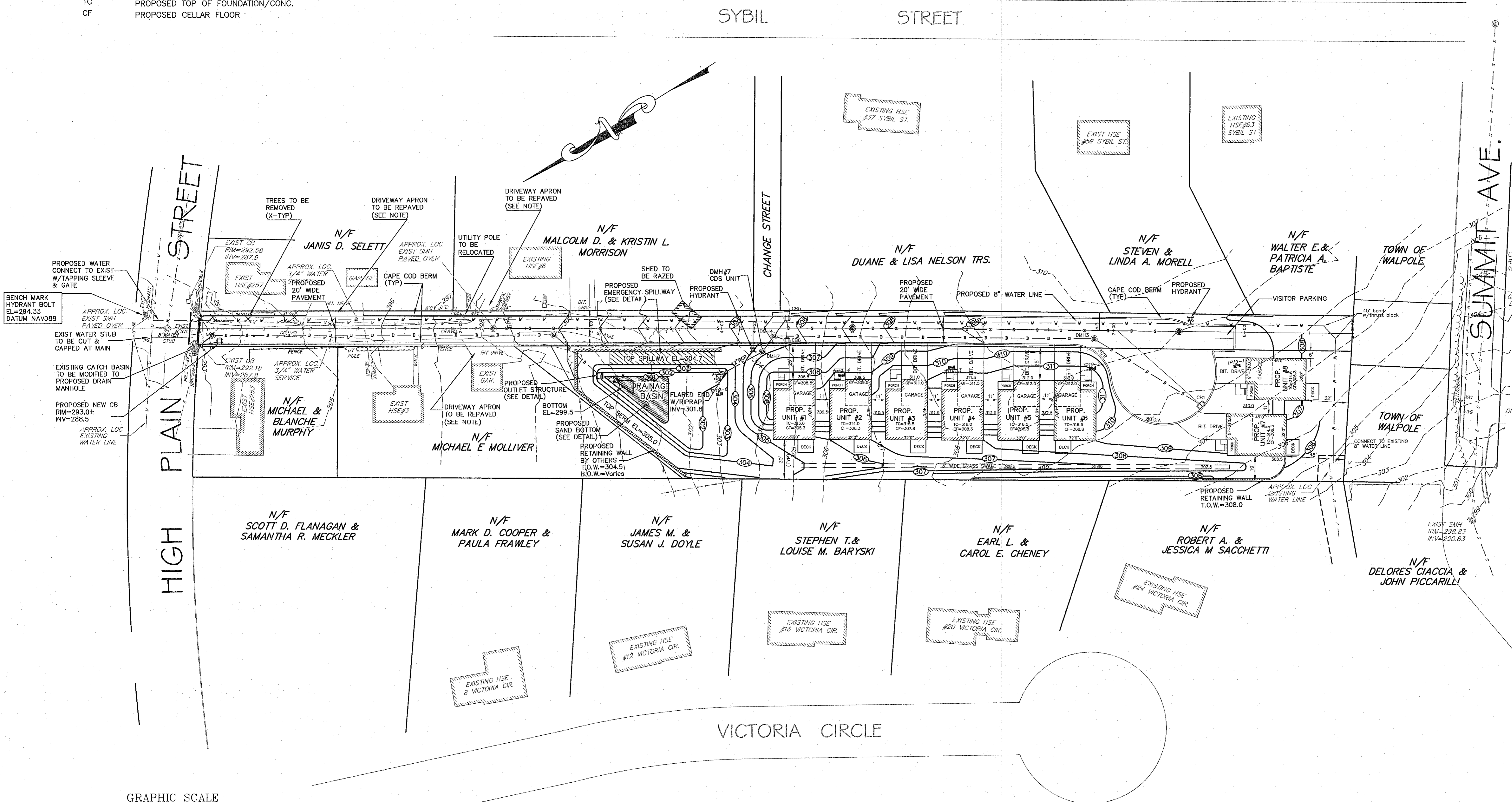
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JOYCE E. HASTINGS  
REGISTERED PROFESSIONAL LAND SURVEYOR  
2/4/2021

PAUL E. TRAMER  
REGISTERED PROFESSIONAL LAND SURVEYOR  
2-4-2021



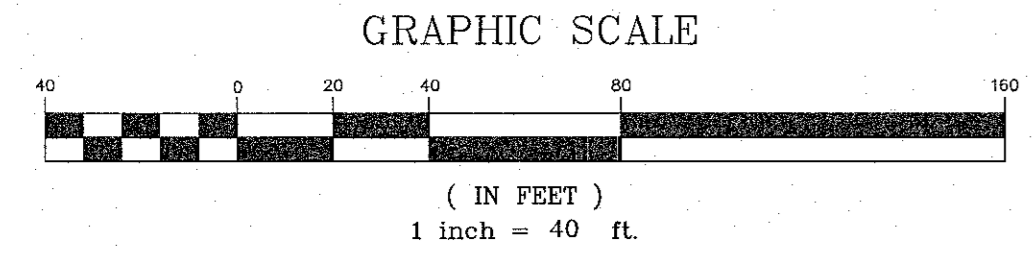
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**"DIAMOND HILL ESTATES"**  
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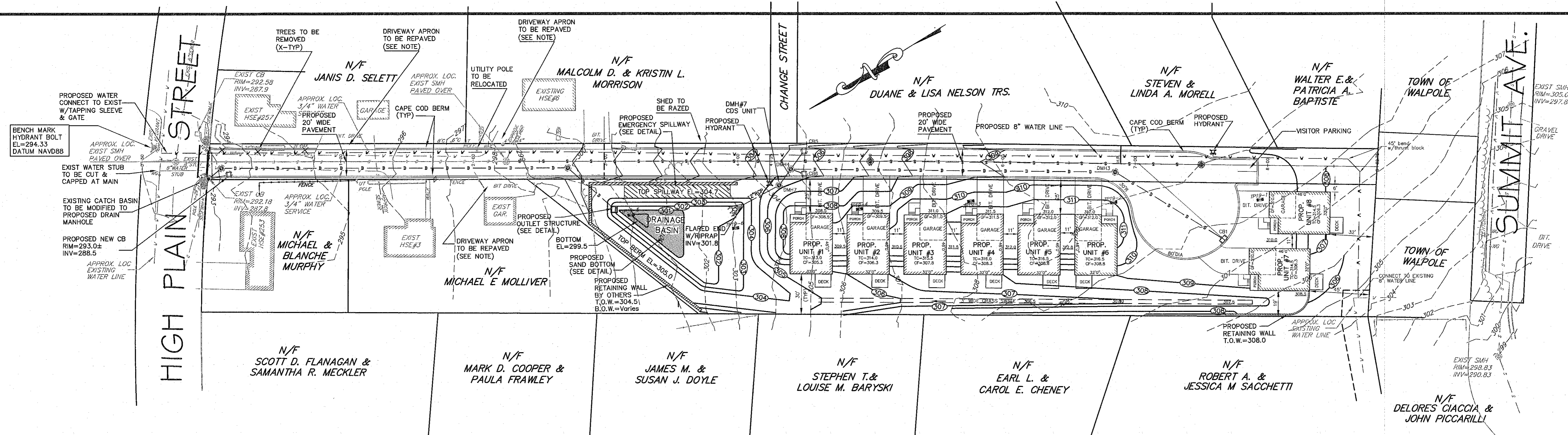
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F: 508-429-7160  
www.GLMengineering.com

JOB No.	16,518
DATE:	FEB. 26, 2020
SCALE:	1"=40'
SHEET:	4 of 13
PLAN #:	27,321

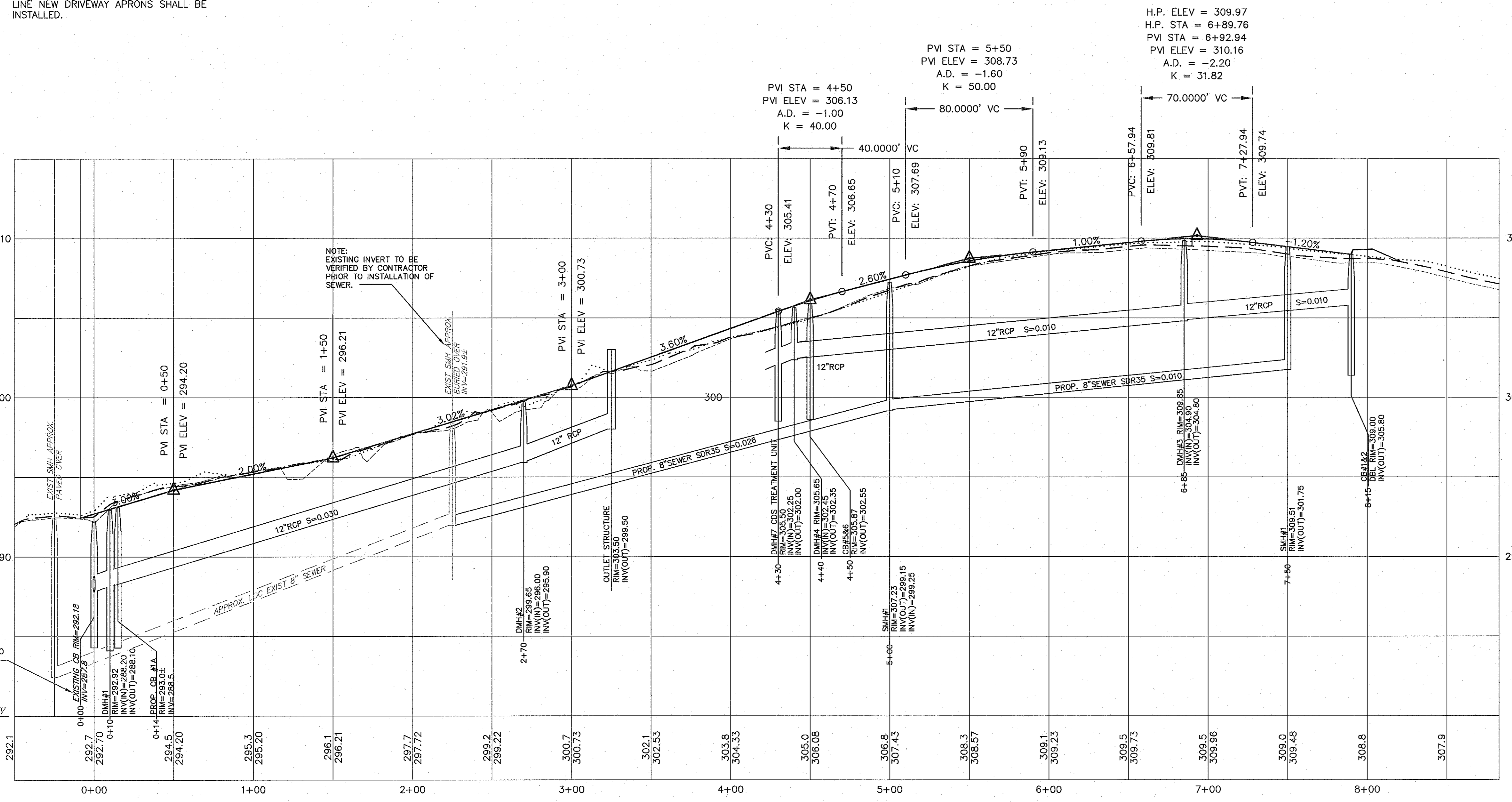
**GRADING & UTILITIES**







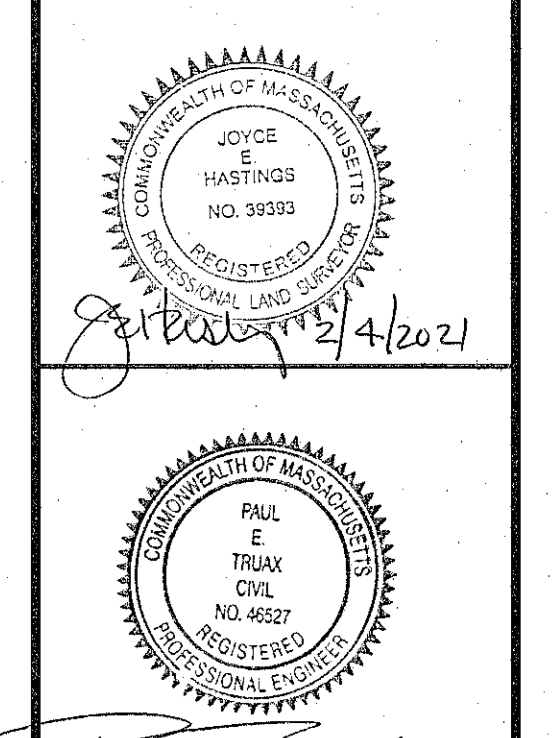
NOTES:  
 1. THE EXISTING DRIVEWAYS ALONG DUPEE STREET SHALL BE CUT BACK TO THE PROPERTY LINE NEW DRIVEWAY APRONS SHALL BE INSTALLED.



PROFILE DUPEE ST.  
 SCALE: Horiz: 1"=40'; Vert: 1"=4'

ROADWAY PROFILE

REVISIONS		DESCRIPTION
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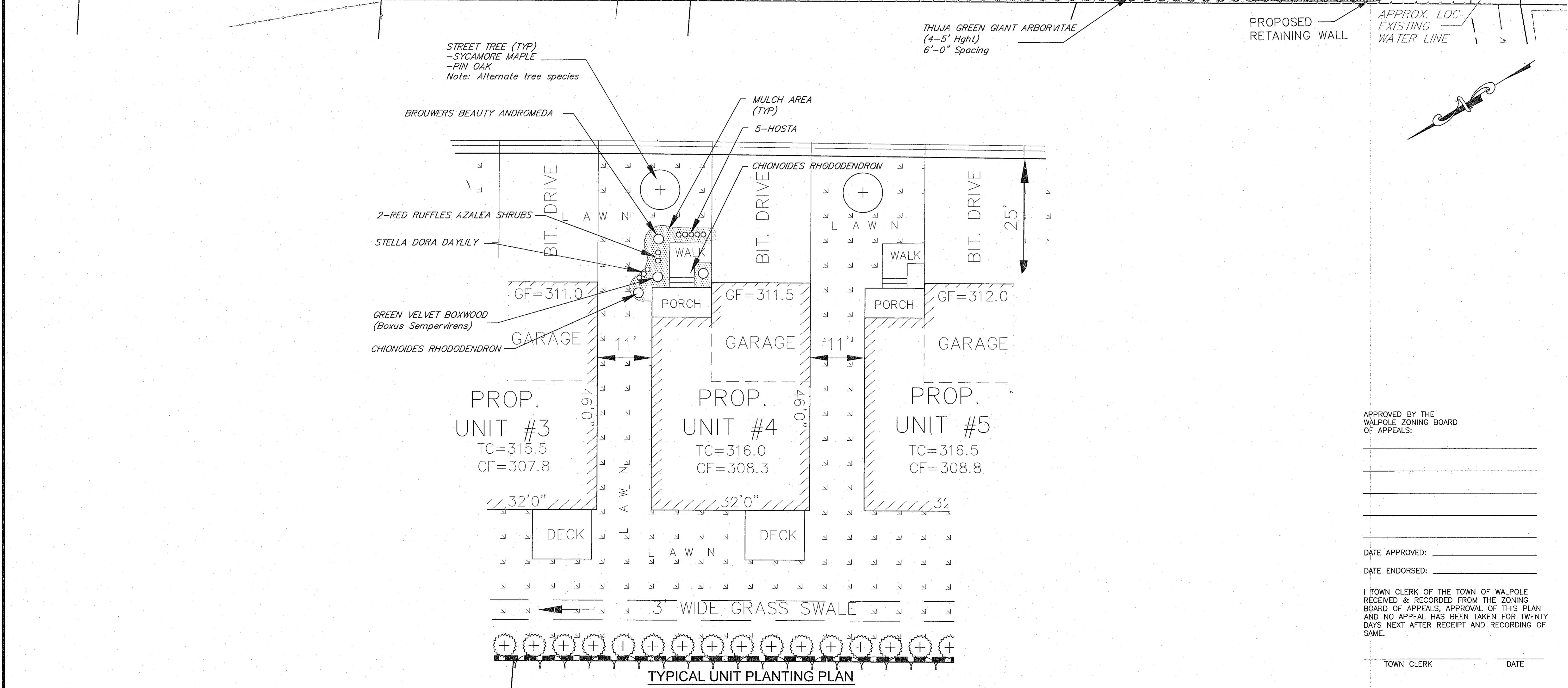
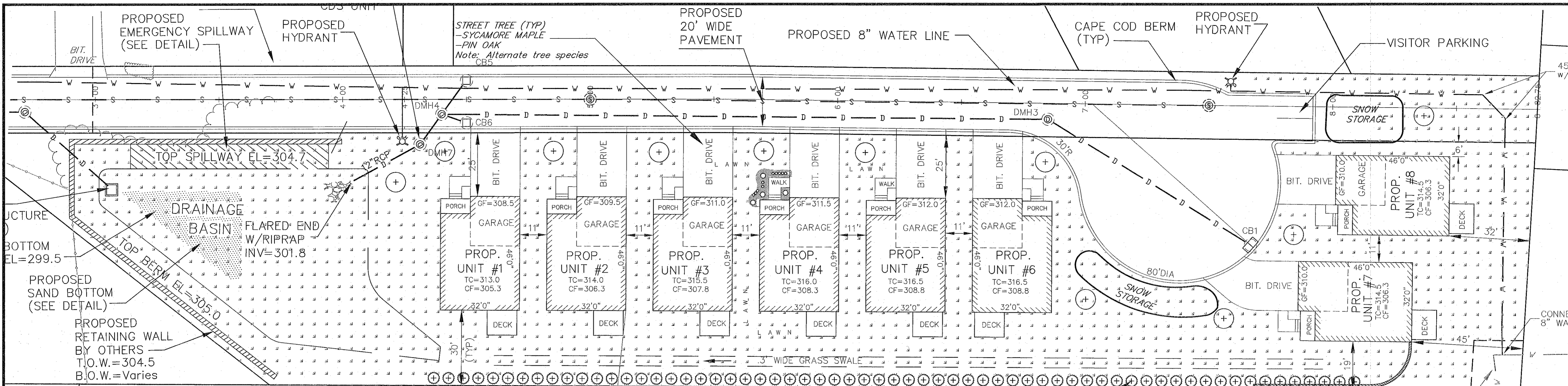
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SHEET:	5 of 13
PLAN #:	27,321





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JOYCE HASTINGS  
NO. 32953  
REGISTERED PROFESSIONAL ENGINEER  
2/24/2021

PAUL E. TRASK  
NO. 6627  
REGISTERED PROFESSIONAL ENGINEER  
2/24/2021

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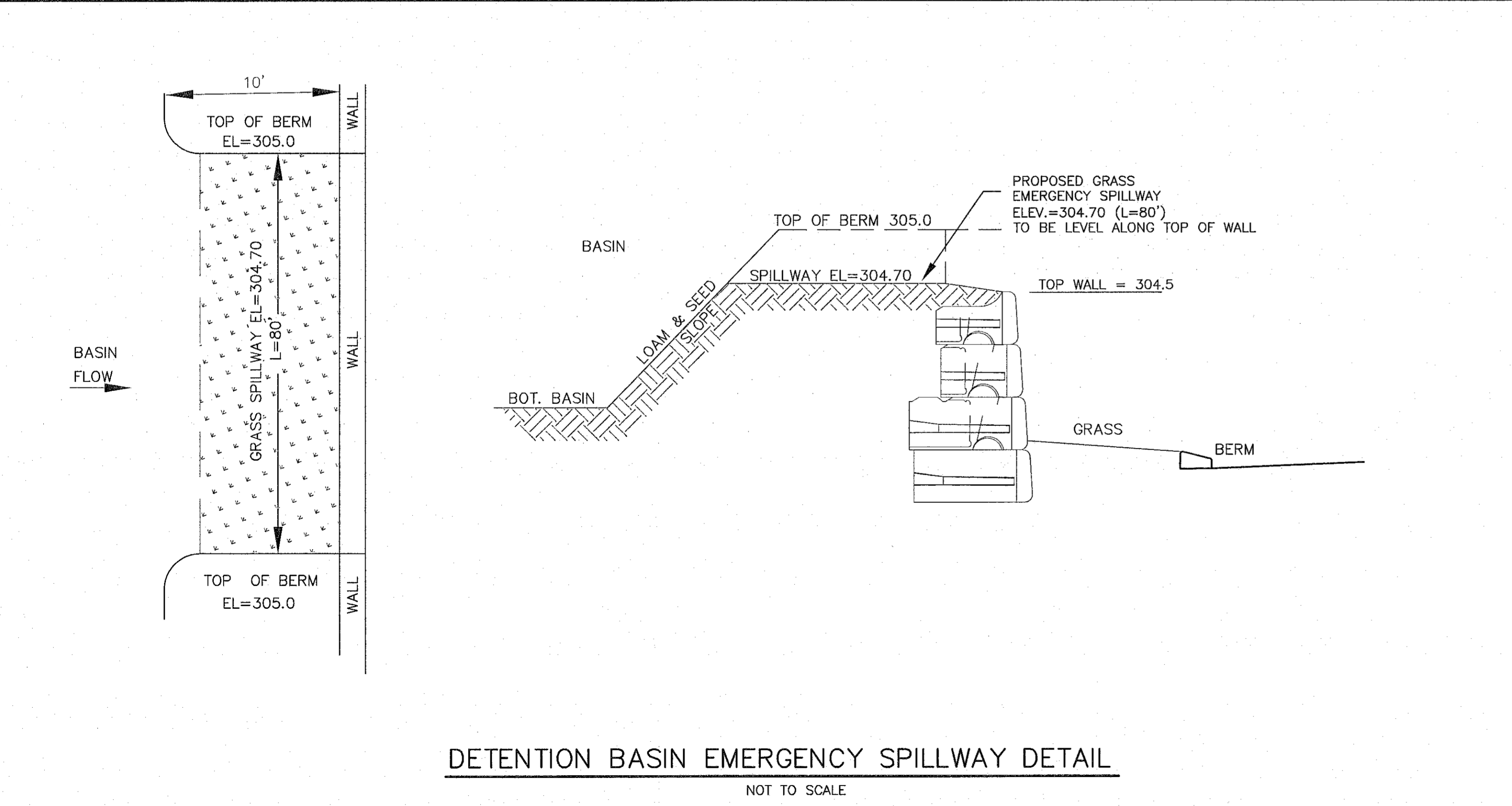
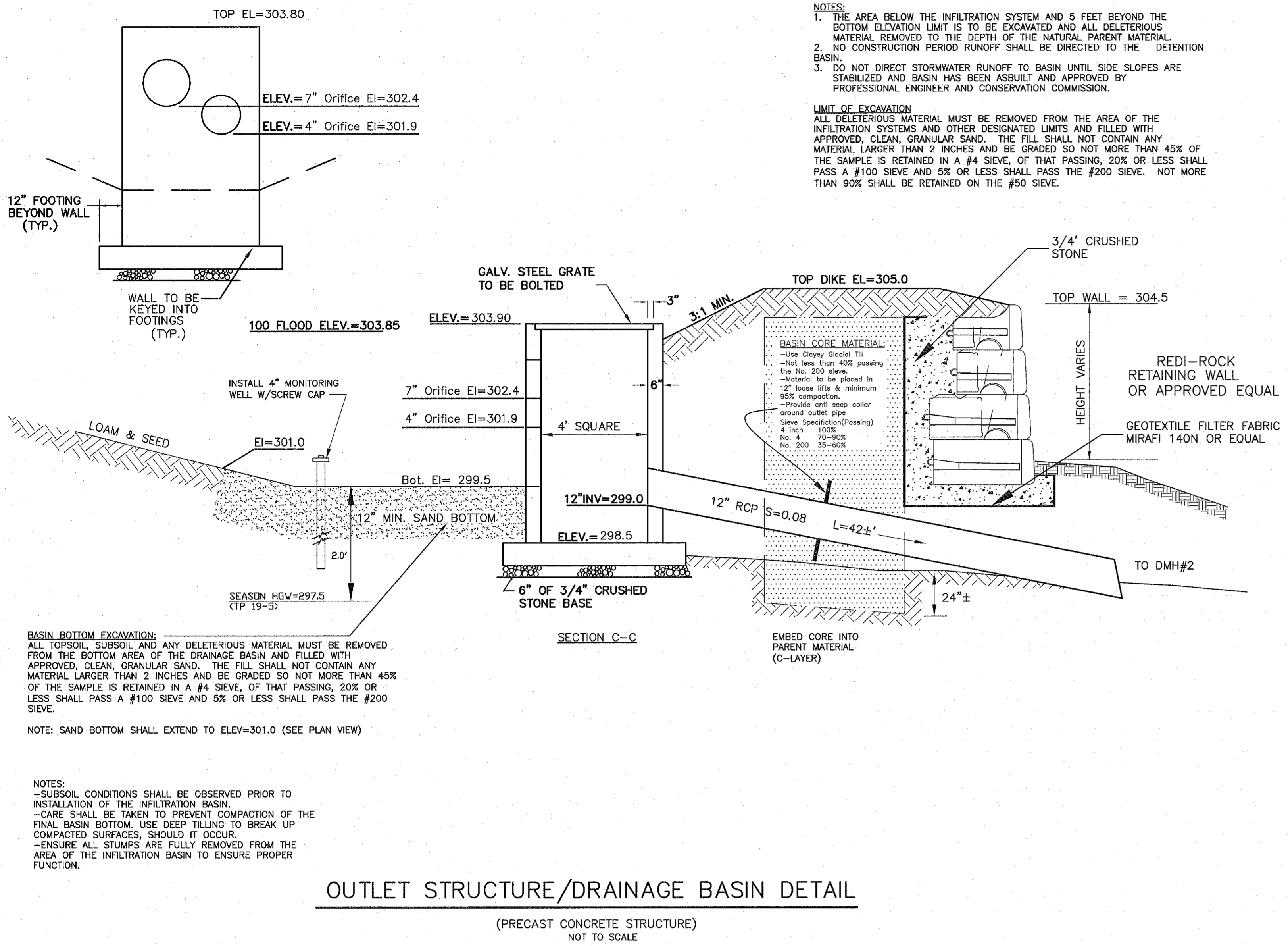
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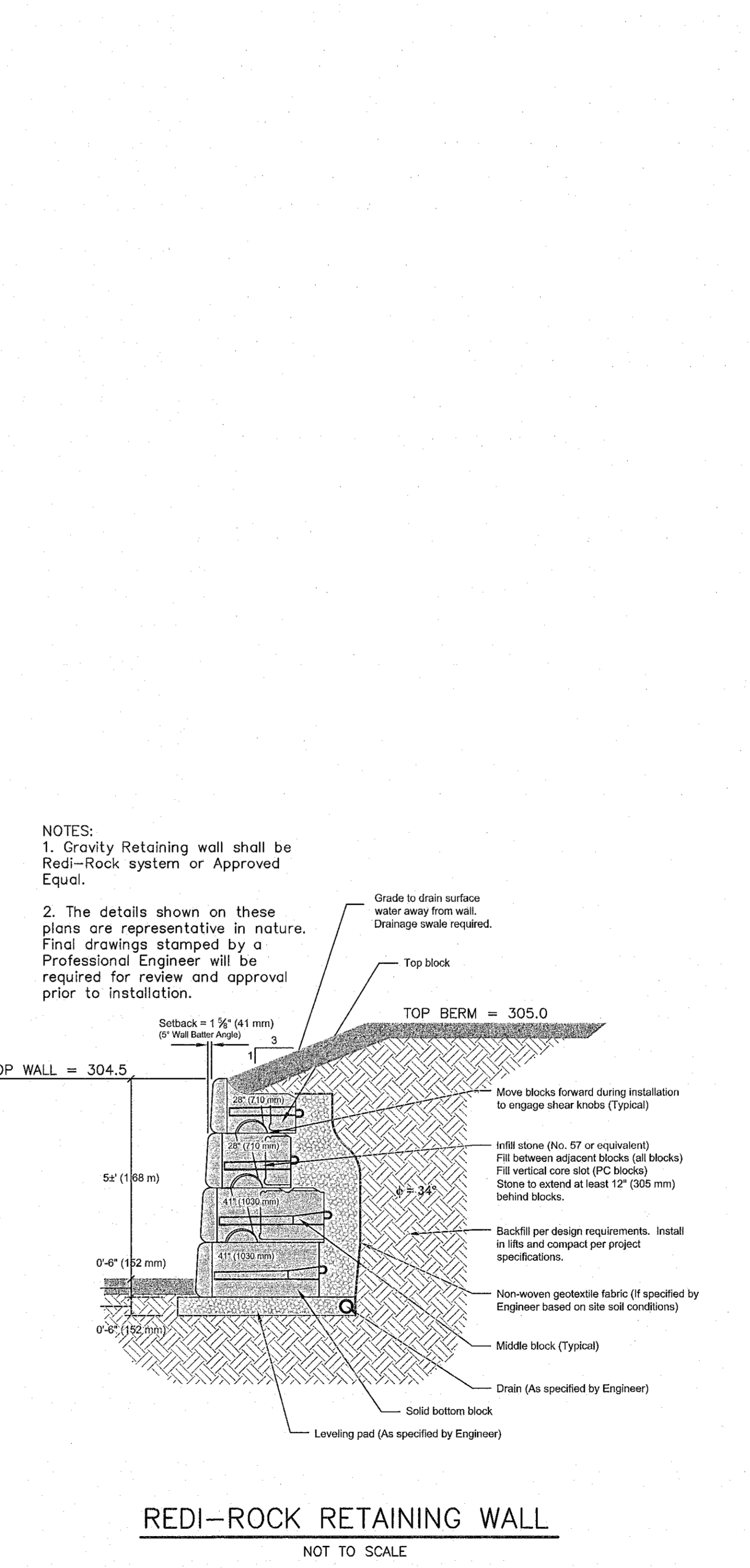
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DATE: FEB. 26, 2020  
SCALE: 1"=40'  
SHEET: 6 of 13  
PLAN #: 27,321

LANDSCAPE



DEEP OBSERVATION HOLE LOGS

DEEP HOLE -- 19-1	DEEP HOLE -- 19-2	DEEP HOLE -- 19-3	DEEP HOLE -- 19-4	DEEP HOLE -- 19-5	DEEP HOLE -- 19-6
HORIZ DATE: 7/2/19	HORIZ DATE: 7/2/19	HORIZ DATE: 7/2/19	HORIZ DATE: 7/2/19	HORIZ DATE: 7/2/19	HORIZ DATE: 7/2/19
SOIL DESCRIPTION	SOIL DESCRIPTION	SOIL DESCRIPTION	SOIL DESCRIPTION	SOIL DESCRIPTION	SOIL DESCRIPTION
4" SANDY LOAM 10YR3/2	4" SANDY LOAM 10YR3/2	4" SANDY LOAM 10YR3/2	4" SANDY LOAM 10YR3/2	4" SANDY LOAM 10YR3/2	4" SANDY LOAM 10YR3/2
20" Bw SANDY LOAM 10YR5/6	18" Bw SANDY LOAM 10YR5/6	20" Bw SANDY LOAM 10YR5/6	20" Bw SANDY LOAM 10YR5/6	20" Bw SANDY LOAM 10YR5/6	28" Bw SANDY LOAM 10YR5/6
108" C SANDY LOAM Med-Coarse 3% Cobbles 2.9Y5/4	115" C SANDY LOAM Med-Coarse 3% Cobbles 2.9Y5/4	118" C SANDY LOAM Med-Coarse 3% Cobbles 2.9Y5/4	108" C SANDY LOAM Med-Coarse 3% Cobbles 2.9Y5/4	92" C SANDY LOAM Med-Coarse 3% Cobbles 2.9Y5/4	104" C SANDY LOAM Med-Coarse 3% Cobbles 2.9Y5/4
None GROUNDWATER OBSERVED	None GROUNDWATER OBSERVED	None GROUNDWATER OBSERVED	None GROUNDWATER OBSERVED	None GROUNDWATER OBSERVED	None GROUNDWATER OBSERVED
30" SOIL MOTTLING 305.5	30" SOIL MOTTLING 306.5	30" SOIL MOTTLING 305.8	30" SOIL MOTTLING 303.8	30" SOIL MOTTLING 297.5	30" SOIL MOTTLING 300.5
30" GROUNDWATER MONITORED	30" GROUNDWATER MONITORED	30" GROUNDWATER MONITORED	30" GROUNDWATER MONITORED	30" GROUNDWATER MONITORED	30" GROUNDWATER MONITORED
30" ESTIMATED SEASONAL HIGH GROUNDWATER 305.5	30" ESTIMATED SEASONAL HIGH GROUNDWATER 306.5	30" ESTIMATED SEASONAL HIGH GROUNDWATER 305.8	30" ESTIMATED SEASONAL HIGH GROUNDWATER 303.8	30" ESTIMATED SEASONAL HIGH GROUNDWATER 297.5	30" ESTIMATED SEASONAL HIGH GROUNDWATER 300.5



APPROVED BY THE WALPOLE ZONING BOARD OF APPEALS:

DATE APPROVED: \_\_\_\_\_

DATE ENDORSED: \_\_\_\_\_

I, TOWN CLERK OF THE TOWN OF WALPOLE RECEIVED & RECORDED FROM THE ZONING BOARD OF APPEALS, APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

REVISIONS

No.	DATE	DESCRIPTION
1	6/02/20	ZONING BOARD COMMENTS
2	8/05/20	DRAINAGE ANALYSIS
3	11/30/20	ZBA & PEER REVIEW COMMENTS
4	02/03/21	ZBA & PEER REVIEW COMMENTS

JOYCE HASTINGS  
NO. 39393  
REGISTERED PROFESSIONAL ENGINEER

PAUL E. TRUX  
NO. 4567  
REGISTERED PROFESSIONAL ENGINEER

DATE: FEB. 26, 2020

SCALE: 1"=40'

SHEET: 7 of 13

PLAN #: 27,321

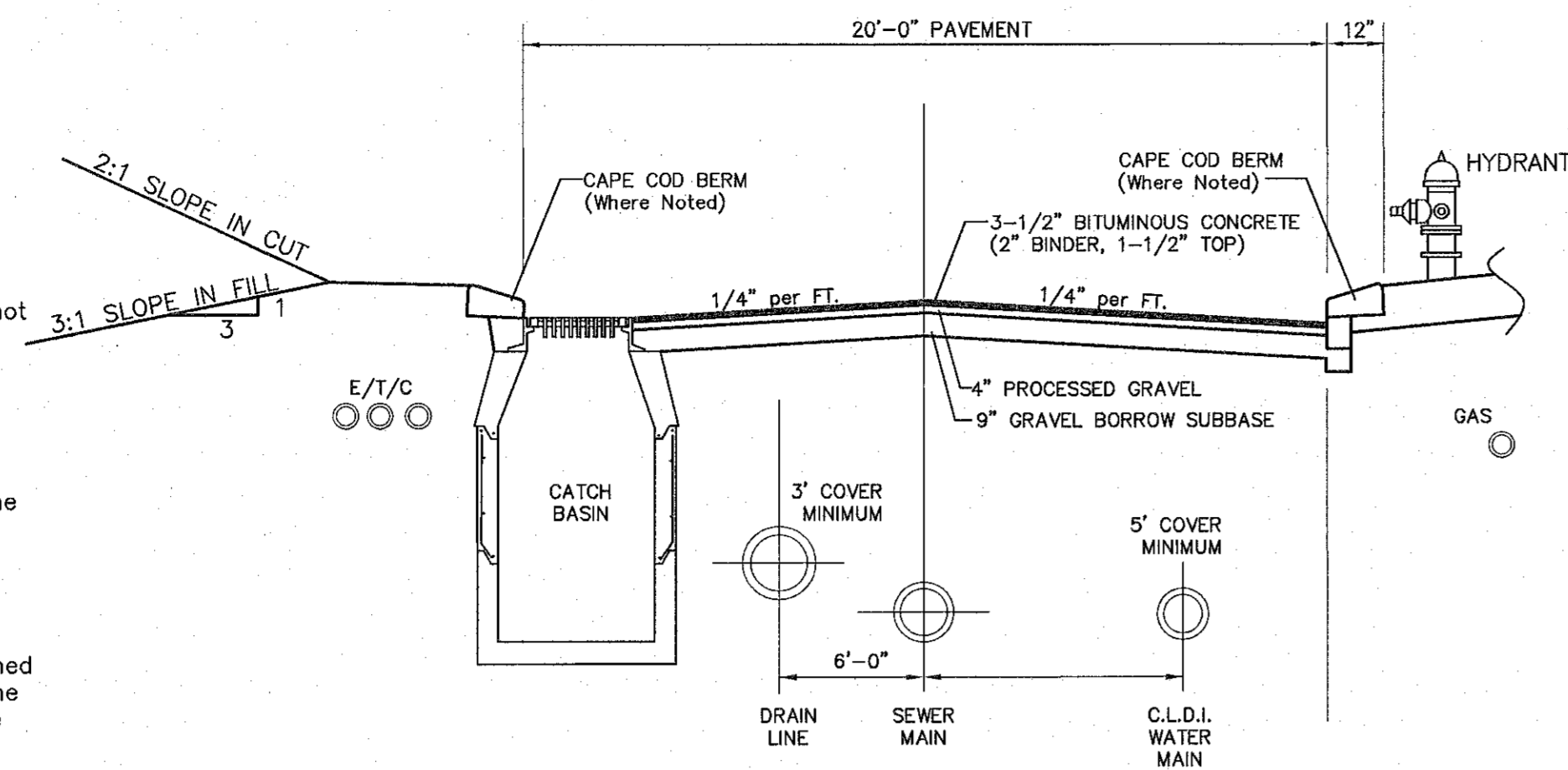
GLM Engineering Consultants, Inc.  
19 EXCHANGE STREET  
HOLLISTON, MA 01746  
P: 508-429-1100  
F: 508-429-7160  
www.GLMengineering.com

JOB No. 16,518

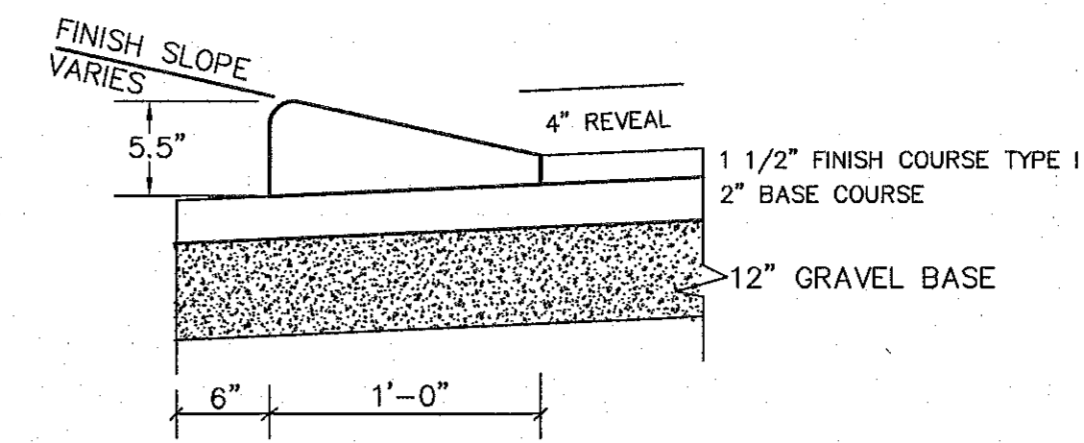


**NOTES**

- A) Gravel borrow subbase shall conform to section M1.03.0 type b, three inches largest dimension of the latest edition of the Massachusetts Highway Department Standard Specifications for Highways and Bridges (Standard Specifications).
- B) Gravel borrow subbase shall be compacted to not less than 95 percent of maximum dry density of the material as determined by the Standard AASHTO Test Designation T99 compaction test method C at optimum moisture content as determined by the engineer.
- C) "Tac Coat" as specified in Section 486.61 of the Standard Specifications shall be applied by "tac truck" between asphalt layers or as determined by the engineer.
- D) Soils testing including sieve analysis, proctor testing and compaction testing shall be performed once every 100 feet of paved roadway along the centerline of the roadway or as directed by the engineer.
- E) Sidewalk ramps must meet current applicable ADA / AAB standards.



**TYPICAL DRIVE CROSS SECTION**  
NOT TO SCALE



**CAPE COD BERM DETAIL**  
NOT TO SCALE

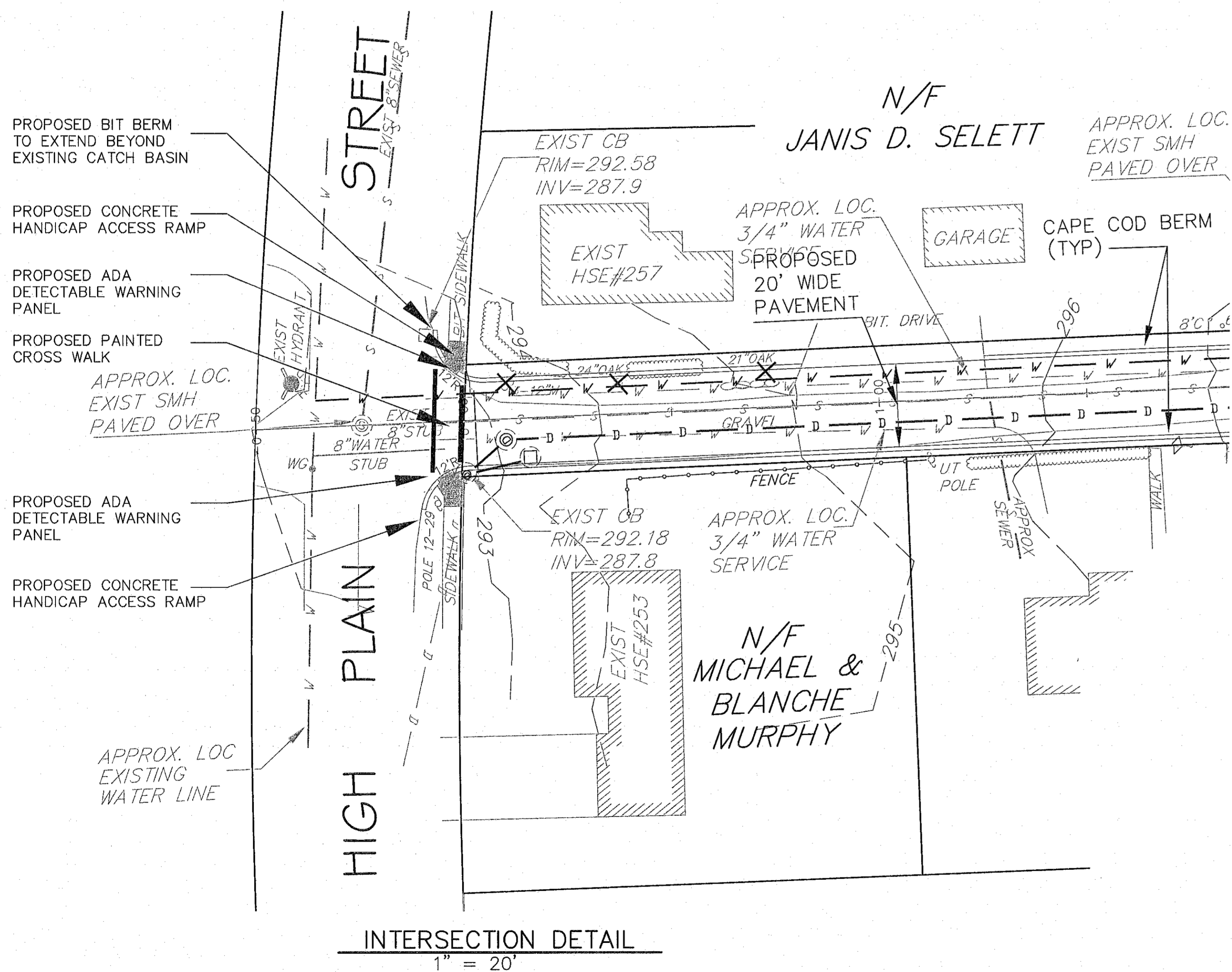
APPROVED BY THE  
WALPOLE ZONING BOARD  
OF APPEALS:

DATE APPROVED: \_\_\_\_\_  
DATE ENDORSED: \_\_\_\_\_

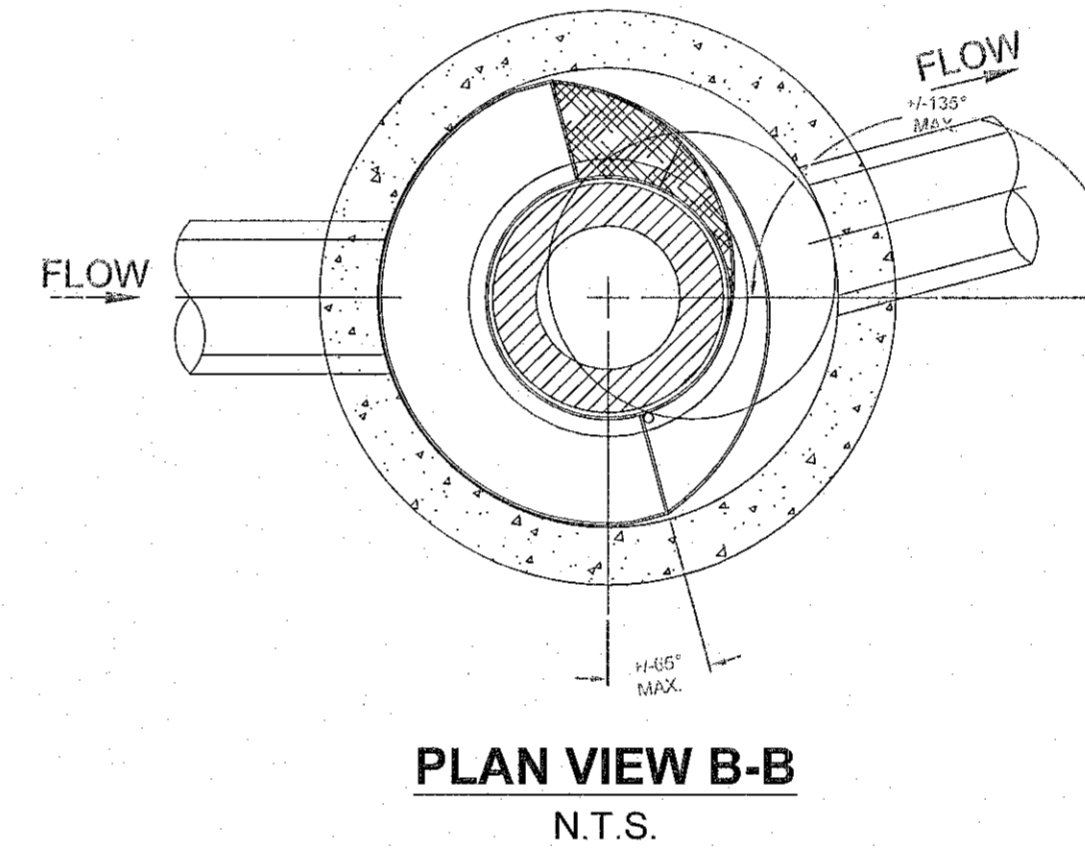
I, TOWN CLERK OF THE TOWN OF WALPOLE, RECEIVED & RECORDED FROM THE ZONING BOARD OF APPEALS, APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

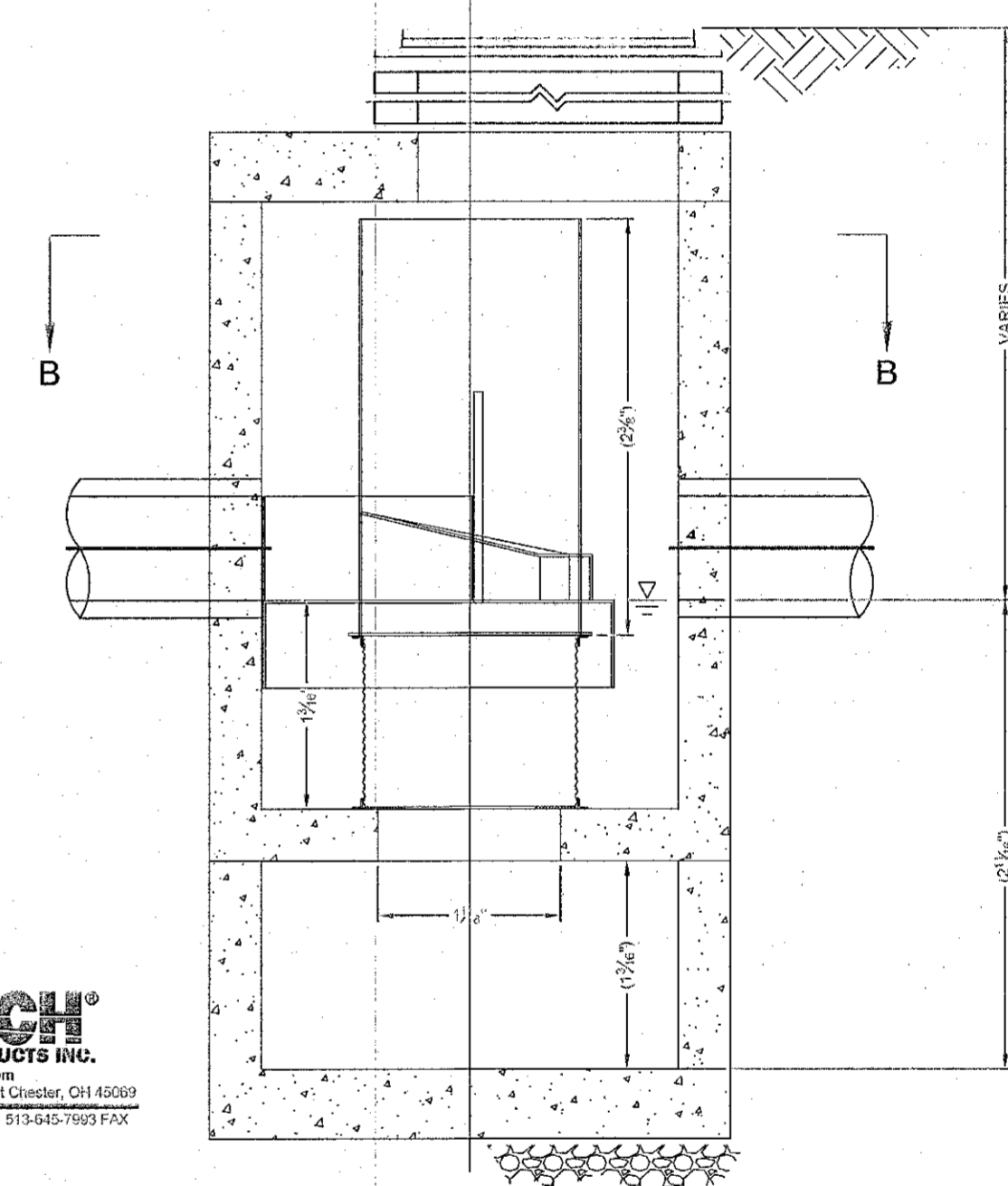
REVISIONS		DESCRIPTION
No.	DATE	DESCRIPTION
1	6/02/20	ZONING BOARD COMMENTS
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4	02/03/21	ZBA & PEER REVIEW COMMENTS



**INTERSECTION DETAIL**  
1" = 20'



**PLAN VIEW B-B**  
N.T.S.



**ELEVATION A-A**  
N.T.S.



**FRAME AND COVER**  
(DIAMETER VARIES)  
N.T.S.

**CONTECH**  
CONSTRUCTION PRODUCTS INC.  
www.contech-usa.com  
8029 Centre Pointe Dr., Suite 400, West Chester, OH 45389  
800-338-1122 513-645-7000 513-645-7593 FAX

- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
  - DIMENSIONS MARKED WITH ( ) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
  - FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH CONSTRUCTION PRODUCTS REPRESENTATIVE. www.contech-usa.com
  - CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
  - STRUCTURE SHALL MEET AASHTO H20 AND CASTINGS SHALL MEET AASHTO M306 LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
  - PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
  - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MNNHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
  - CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
  - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
  - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

**WATER QUALITY UNIT DETAIL**  
**CDS1515-3-C CDS INLINE STANDARD DETAIL**  
NOT TO SCALE

**Note:**  
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**TOWN OF WALPOLE, MASSACHUSETTS**  
**DEPARTMENT OF PUBLIC WORKS**  
**PLAN SHOWING TYPICAL**  
**ROADWAY DETAILS**

1 7-11-08 DRAWN TO AUTOCAD FILE MAJ  
2 12-3-08 ADDED SLOPED GRANITE DETAILS MAJ

**DETAILS**

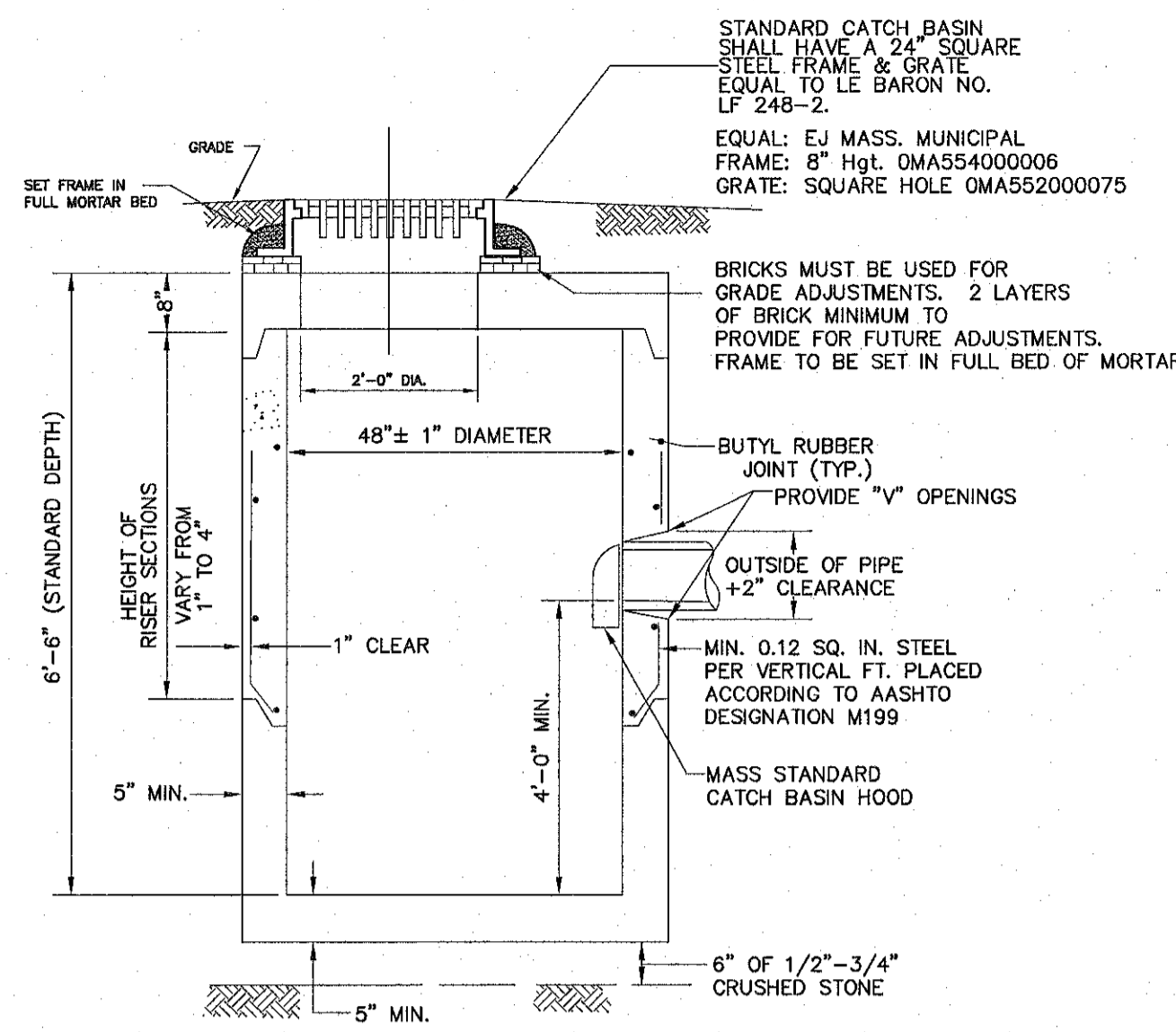


**SITE DEVELOPMENT PLAN**  
**A COMPREHENSIVE PERMIT M.G.L.C. 40B**  
**"DIAMOND HILL ESTATES"**  
**WALPOLE, MASSACHUSETTS**  
PREPARED FOR:  
WALL STREET DEVELOPMENT CORP.  
P.O. BOX 272  
WESTWOOD, MA 02090

**GLM** Engineering  
Consultants, Inc.  
19 EXCHANGE STREET  
HOLLISTON, MA 01746  
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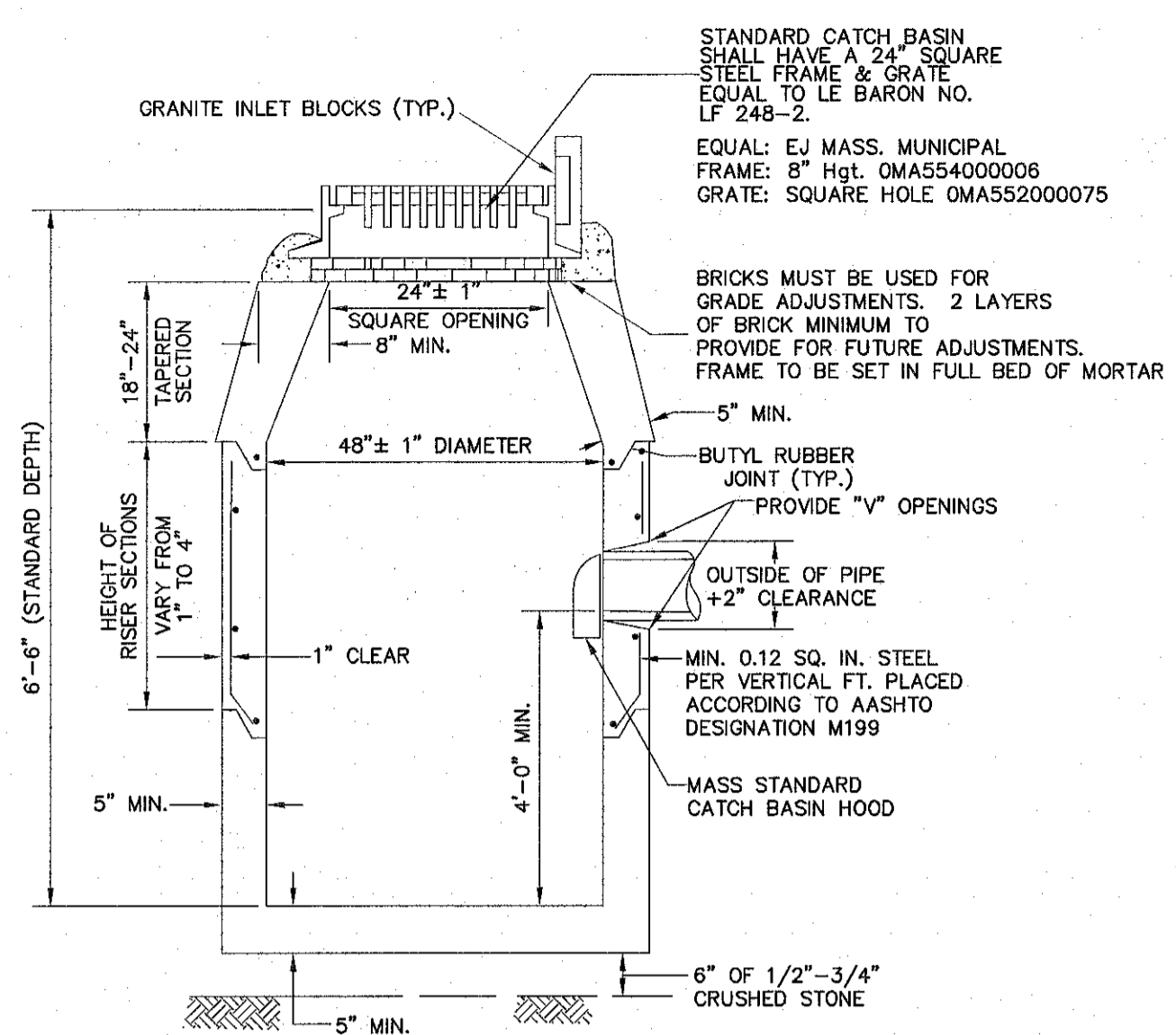
JOB No.	16,518
DATE:	FEB. 26, 2020
SCALE:	1"=40'
SHEET:	8 of 13
PLAN #:	27,321





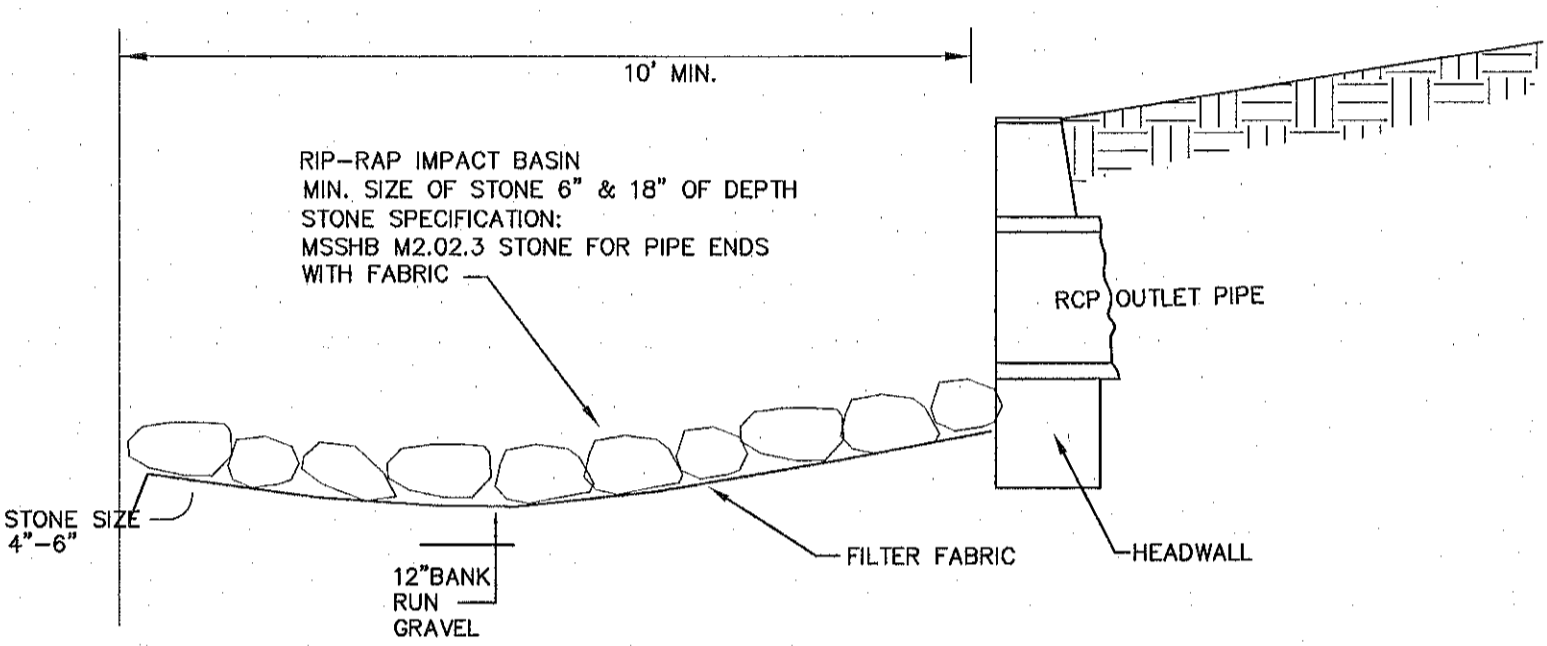
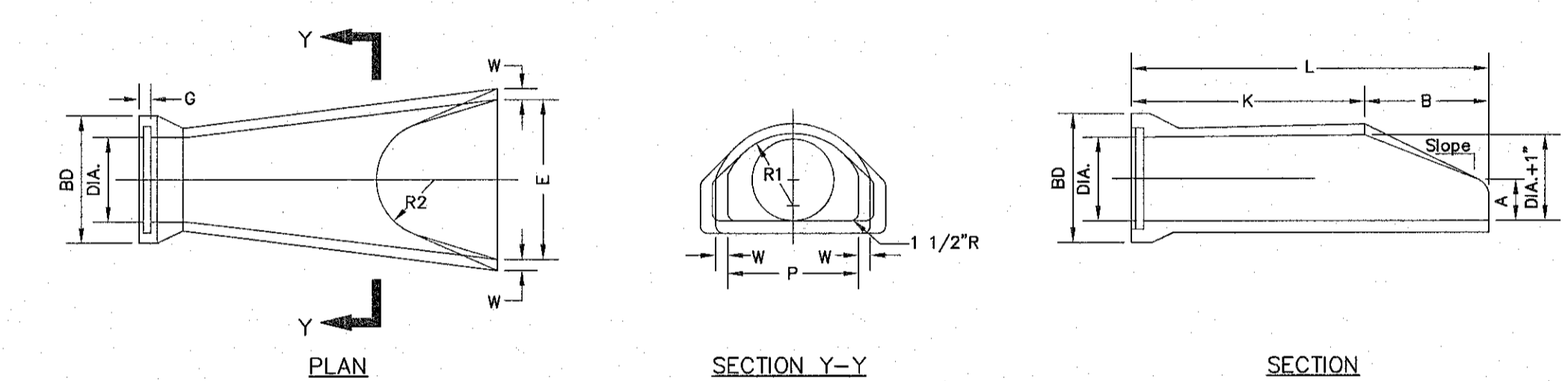
PRECAST CONCRETE CATCH BASIN DETAILS  
FLAT TOP W/24" ECCENTRIC OPENING

NOTE: TO BE INSTALLED AT CB#1A



PRECAST CONCRETE CATCH BASIN DETAILS

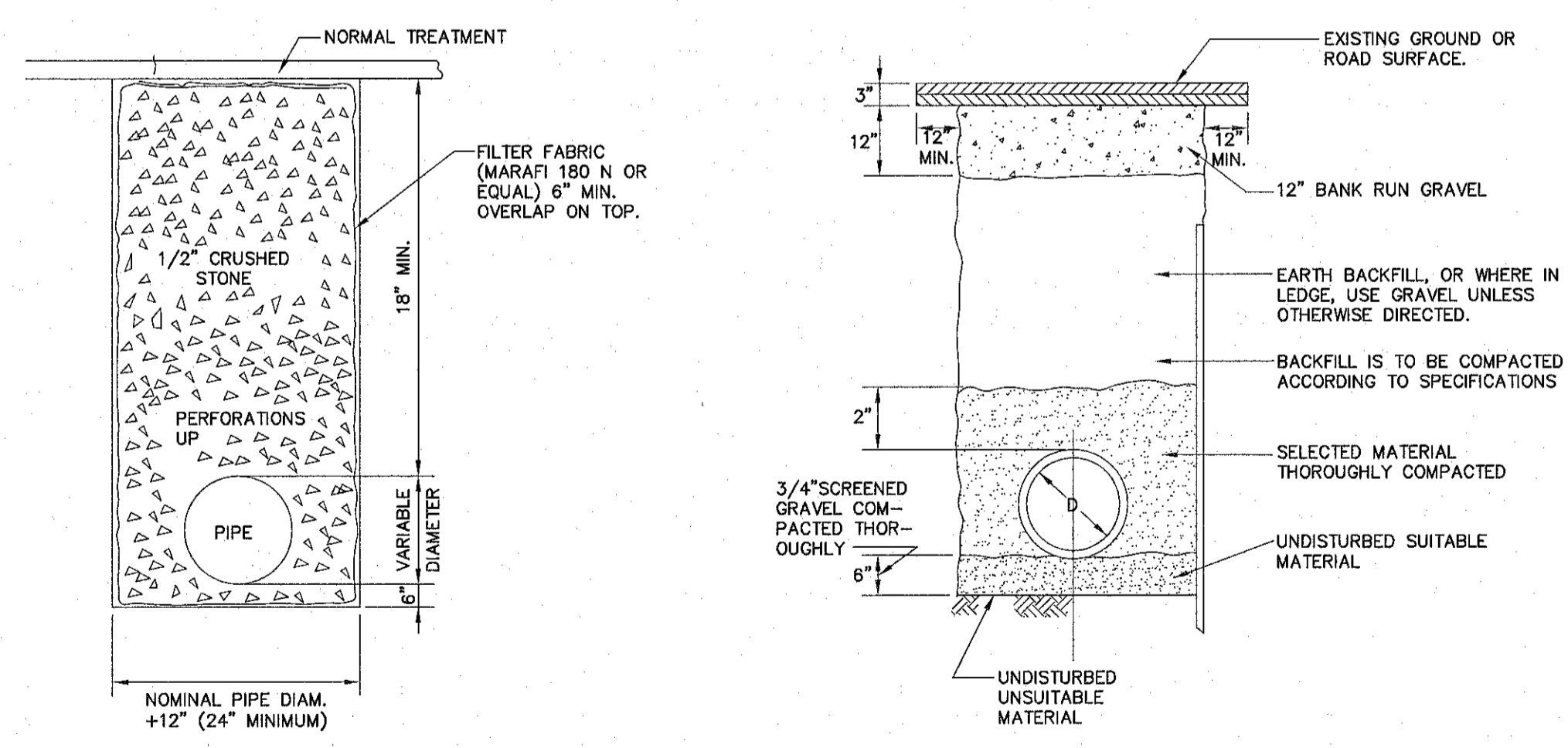
NOTE: TO BE INSTALLED AT CB#1A



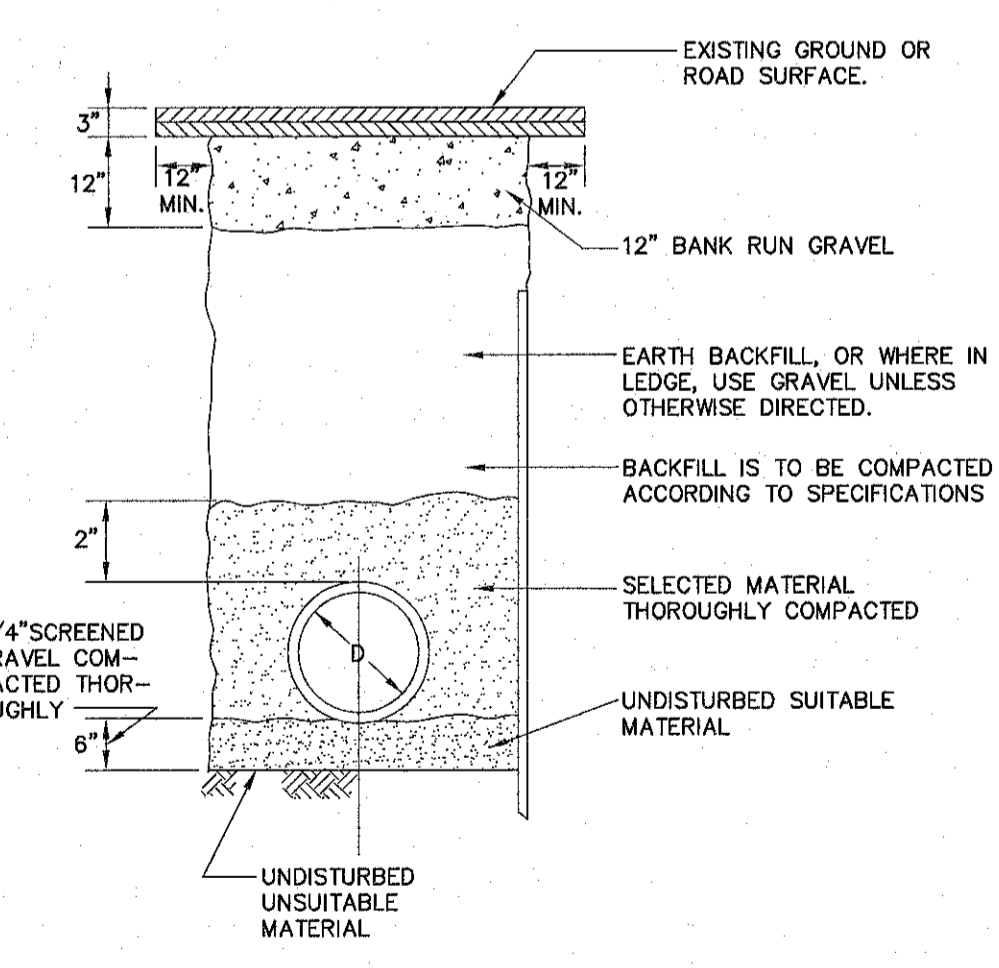
RIP-RAP DETAIL HEADWALLS  
NOT TO SCALE

DIA.	W	A	B	C	D	E	BD	K	L	P	DIA. ±1"	R1	R2	S	G	Slope
12"	2'	4"	2'-0"	4'-0 7/8"	6'-1 3/8"	2'-0"	20"	4'-8 1/8"	6'-6 1/8"	19 15/8"	13"	10 1/8"	9"	4"	2 1/2"	3:1
15"	2 1/4"	6"	2'-3"	3'-10"	6'-1 1/2"	2'-6"	24"	4'-3 11/16"	6'-4 11/16"	24 5/16"	16"	12 1/2"	11"	4"	2 1/2"	3:1
18"	2 1/2"	9"	2'-3"	3'-10"	6'-1"	3'-0"	28"	4'-3 7/8"	6'-4 7/8"	29"	19"	15 1/2"	12"	4"	2 3/4"	3:1
21"	2 3/4"	9"	2'-11"	3'-2"	6'-1"	3'-6"	32"	4'-8 5/8"	6'-7 5/8"	31 5/8"	22"	16 1/8"	13"	4"	2 3/4"	3:1
24"	3"	9 1/2"	3'-1 1/2"	2'-6"	6'-1"	4'-0"	36"	5'-0 1/2"	6'-8"	33 3/8"	25"	18 13/16"	14"	4"	3"	3:1

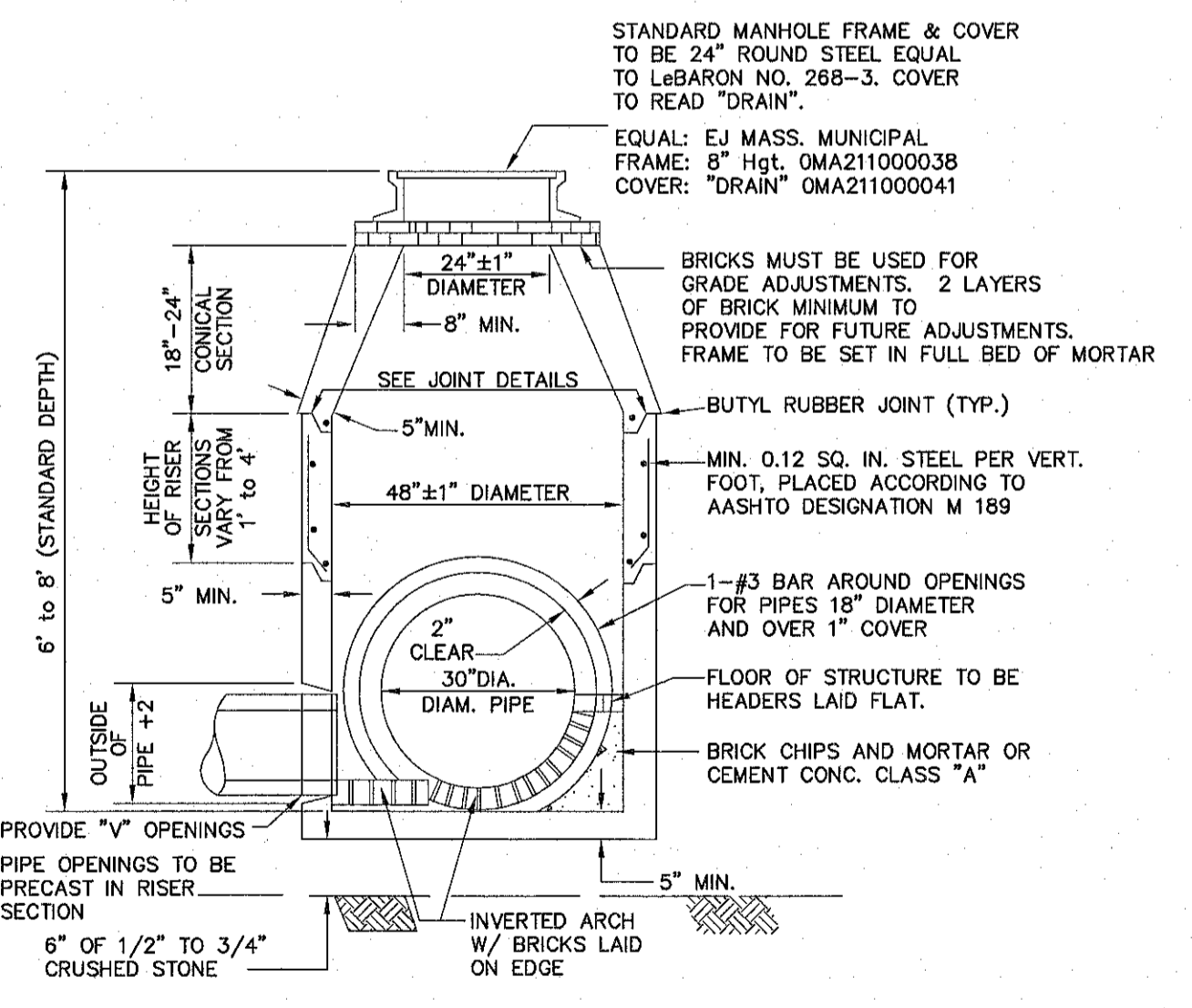
R.C.P. FLARED END SECTION DETAILS  
NOT TO SCALE



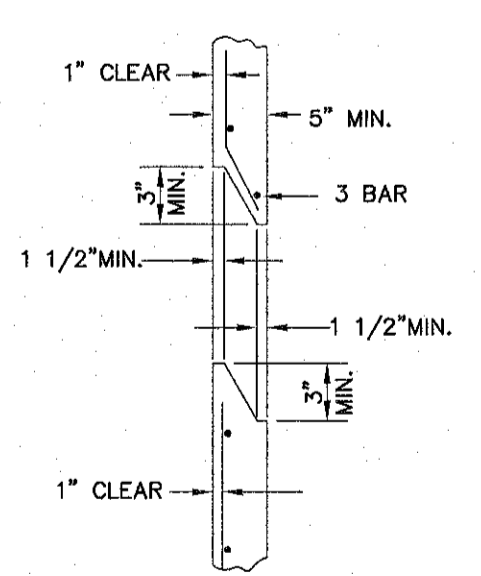
SUBDRAIN DETAILS  
NOT TO SCALE



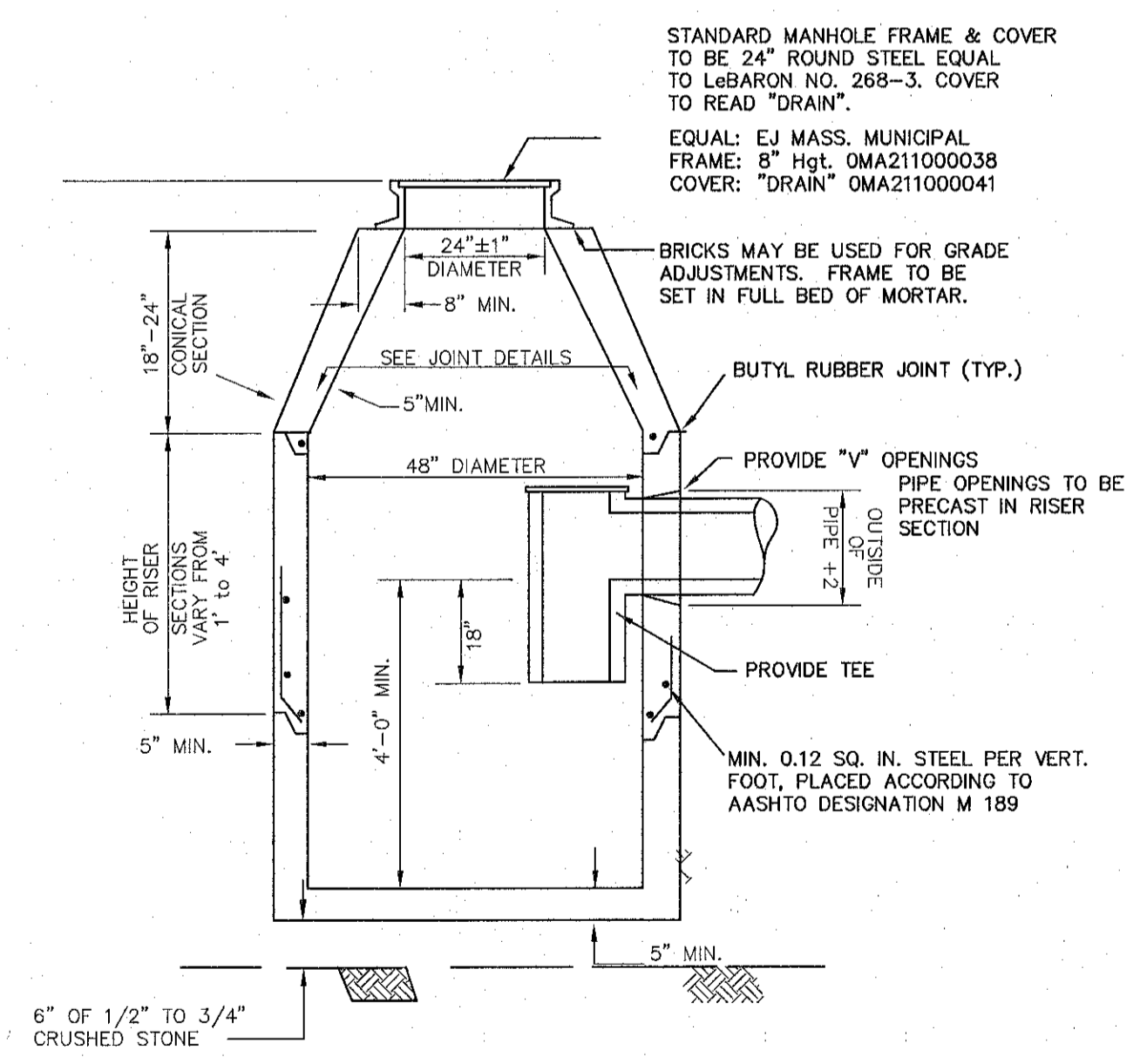
TYPICAL DRAIN TRENCH DETAILS  
NOT TO SCALE



PRECAST CONCRETE MANHOLE DETAILS  
NOT TO SCALE



PRECAST STRUCTURE JOINT DETAILS  
NOT TO SCALE



PRECAST 4' SUMP MANHOLE DETAIL  
NOT TO SCALE

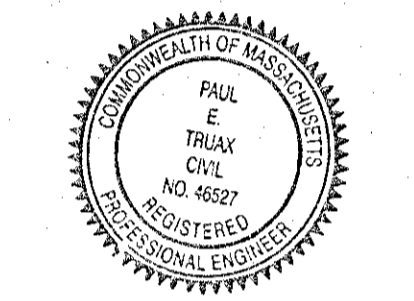
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TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY THE WALPOLE ZONING BOARD OF APPEALS:

DATE APPROVED: \_\_\_\_\_  
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REVISIONS	No.	DATE	DESCRIPTION
	1	6/02/20	ZONING BOARD COMMENTS
	2	8/05/20	DRAINAGE ANALYSIS
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SITE DEVELOPMENT PLAN  
A COMPREHENSIVE PERMIT M.G.L.c. 40B  
"DIAMOND HILL ESTATES"  
WALPOLE, MASSACHUSETTS  
PREPARED FOR:  
WALL STREET DEVELOPMENT CORP.  
P.O. BOX 272  
WESTWOOD, MA 02090

GLM Engineering Consultants, Inc.  
19 EXCHANGE STREET  
HOLLISTON, MA 01746  
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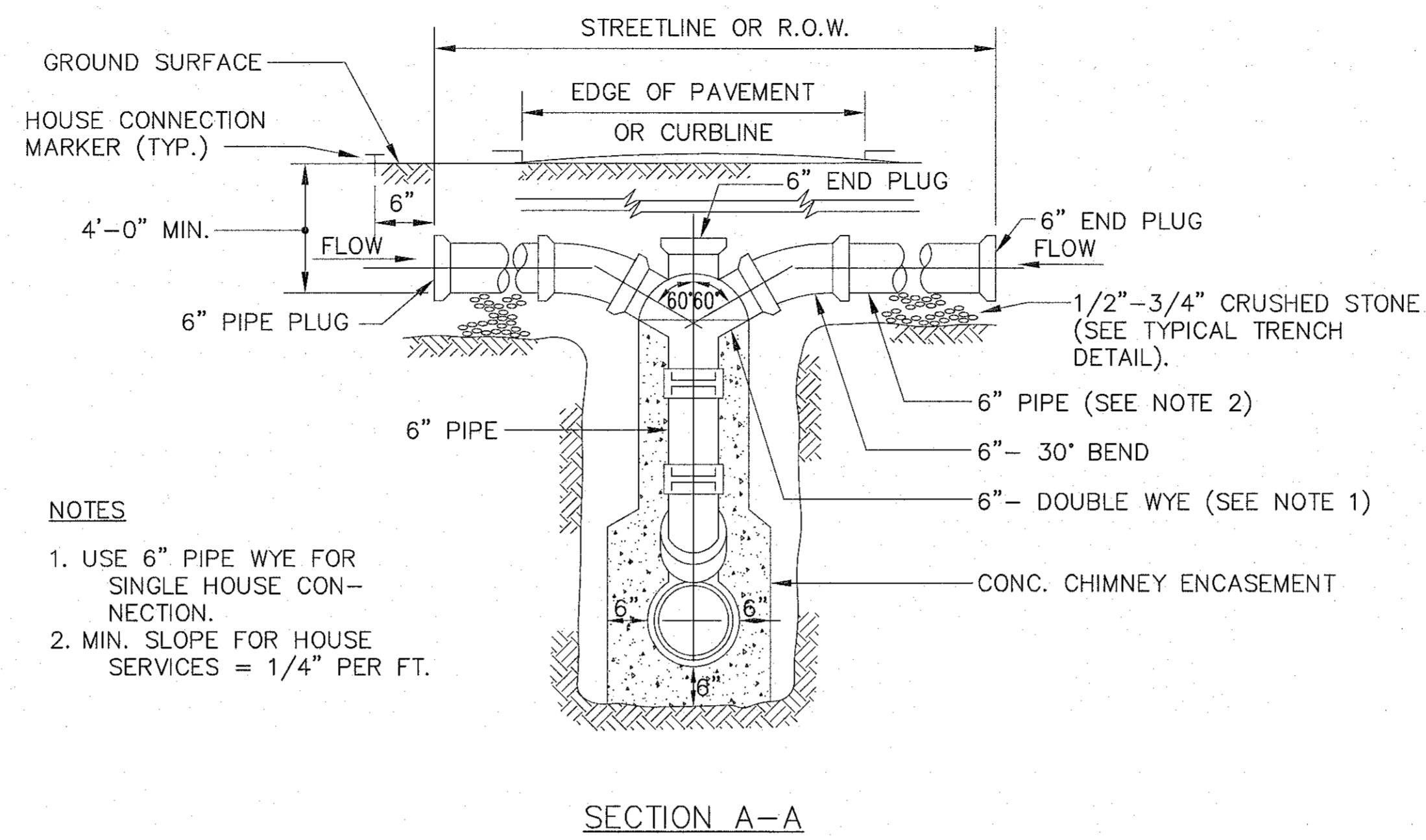
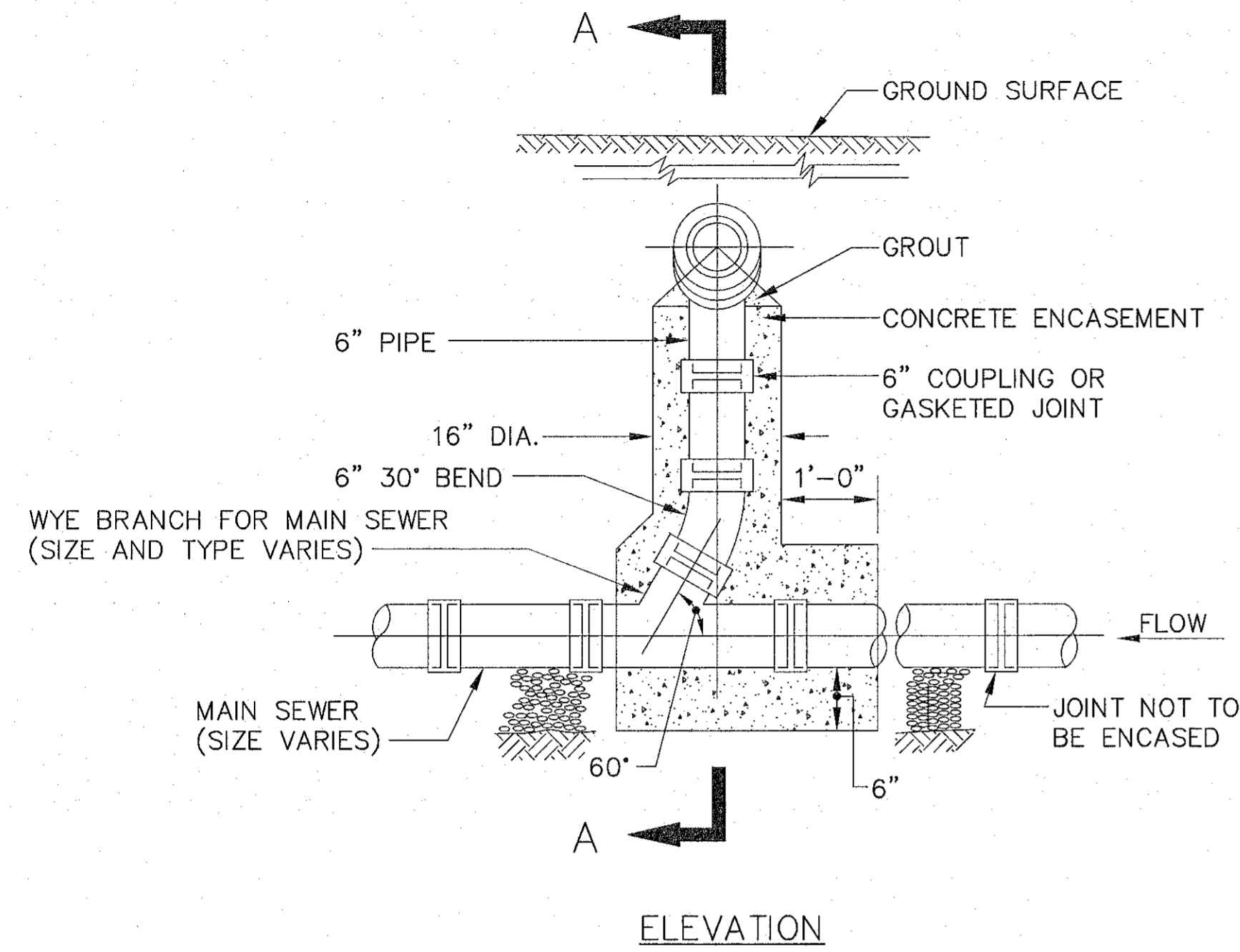
JOB No. 16,518  
DATE: FEB. 26, 2020  
SCALE: 1"=40'  
SHEET: 9 of 13  
PLAN #: 27,321

# TOWN OF WALPOLE, MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS PLAN SHOWING TYPICAL DRAINAGE CONSTRUCTION DETAILS

REV. #	DATE	DESCRIPTION	BY
1	7-11-08	DRAWN TO APPROVED FILE	MAJ
2	11-08-08	MANY MISC. UPDATES	MAJ

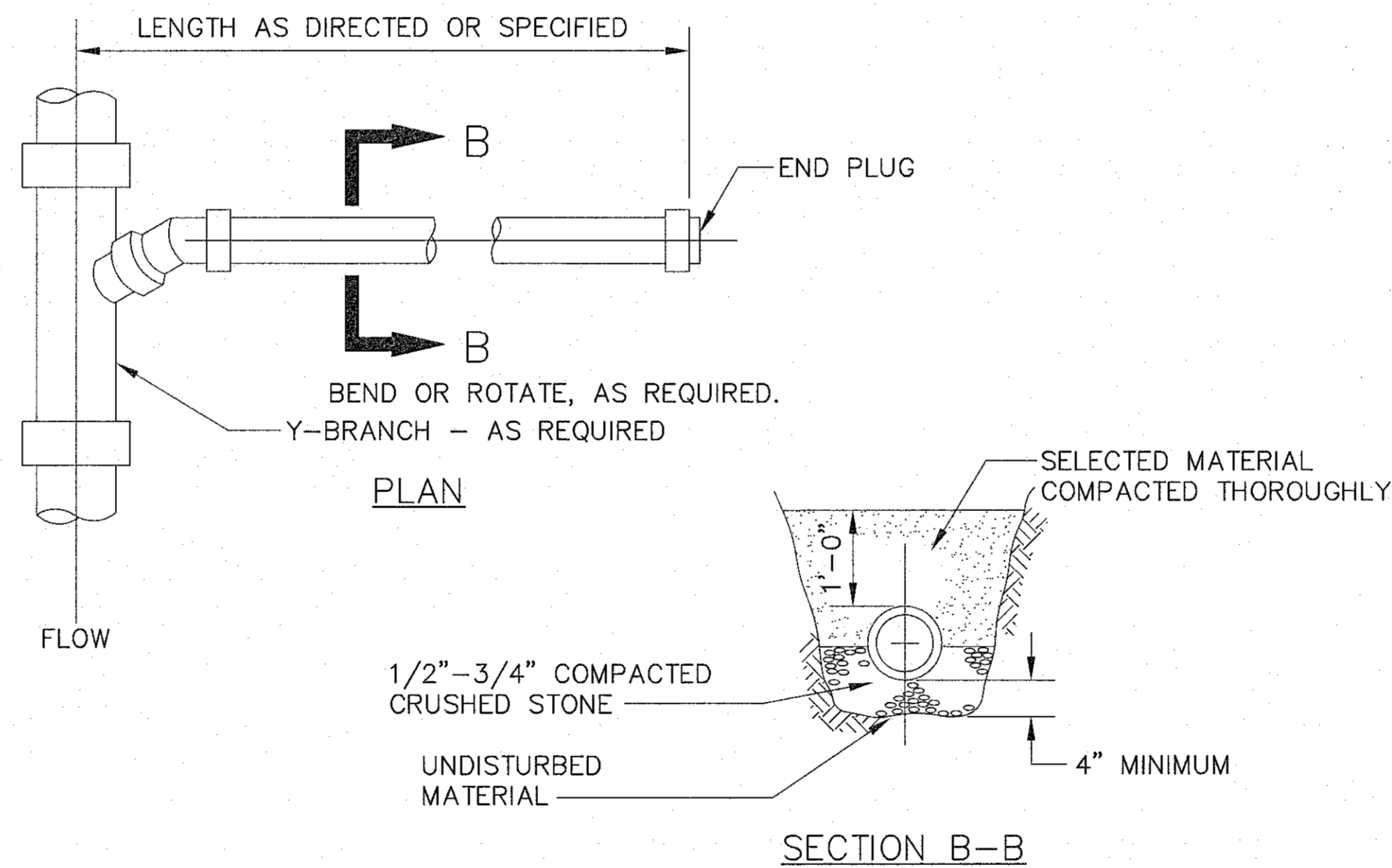
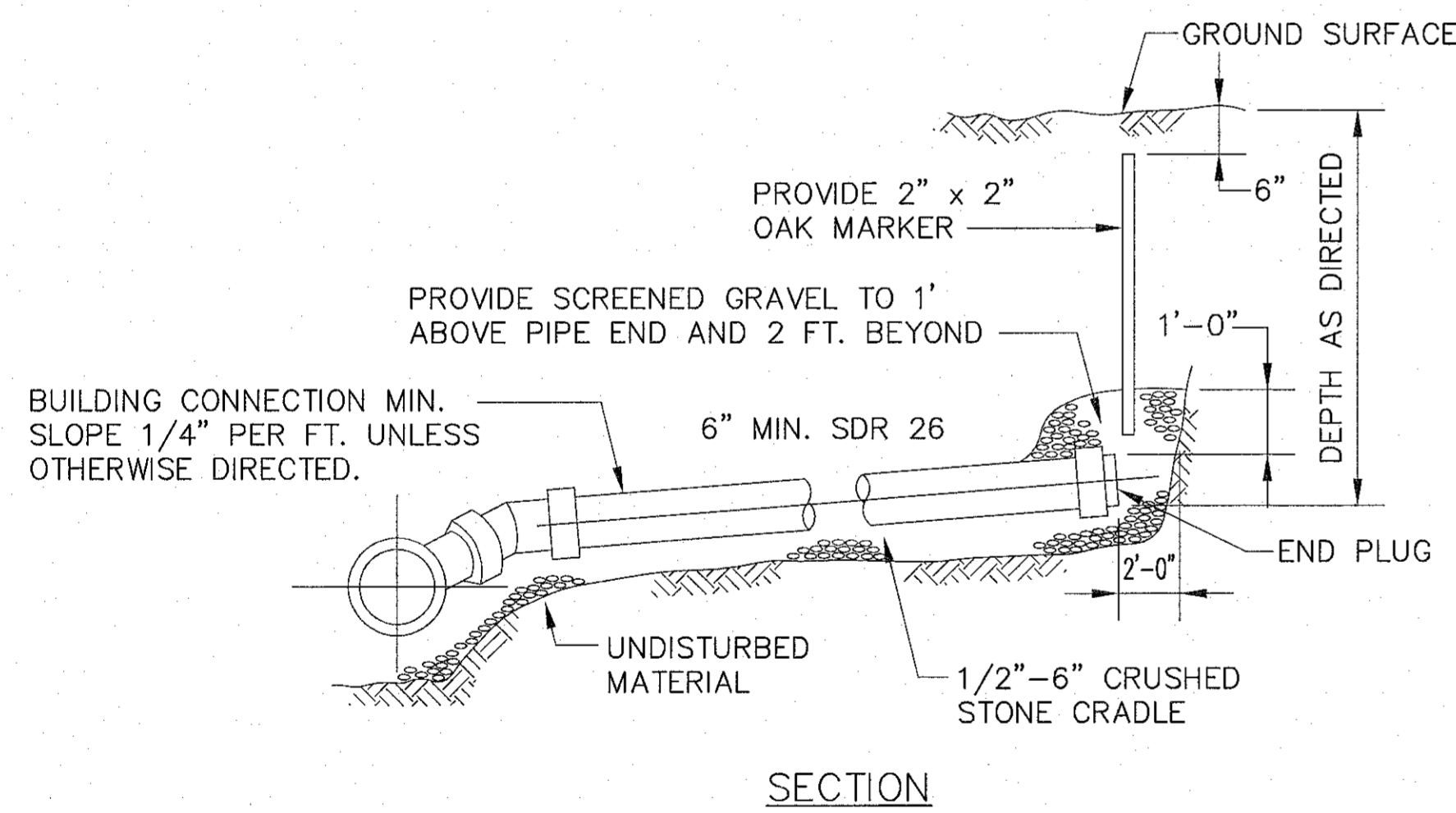
DETAILS

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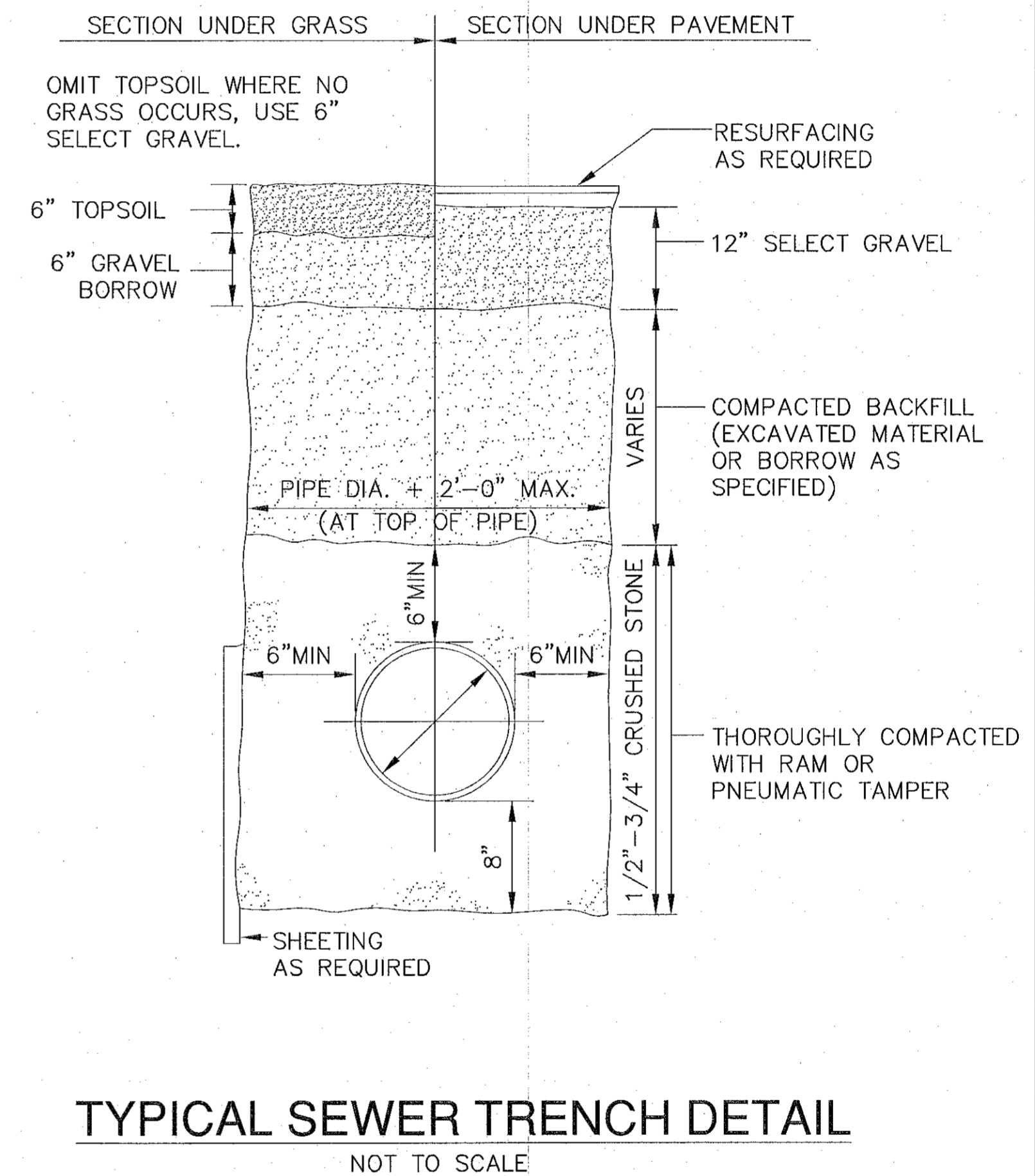


- NOTES**
1. USE 6" PIPE WYE FOR SINGLE HOUSE CONNECTION.
  2. MIN. SLOPE FOR HOUSE SERVICES = 1/4" PER FT.

**TYPICAL HOUSE SERVICE CONNECTION & CHIMNEY DETAIL**  
(FOR MAIN SEWER OVER 8'-0" DEEP)  
NOT TO SCALE



**TYPICAL BUILDING CONNECTION**  
NOT TO SCALE



**TYPICAL SEWER TRENCH DETAIL**  
NOT TO SCALE

APPROVED BY THE  
WALPOLE ZONING BOARD  
OF APPEALS:

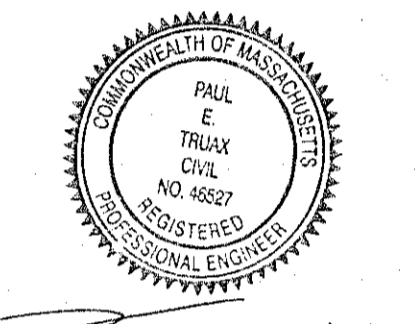
DATE APPROVED: \_\_\_\_\_

DATE ENDORSED: \_\_\_\_\_

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

I, TOWN CLERK OF THE TOWN OF WALPOLE RECEIVED & RECORDED FROM THE ZONING BOARD OF APPEALS, APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

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PREPARED FOR:  
WALL STREET DEVELOPMENT CORP.  
P.O. BOX 2772  
WESTWOOD, MA 02090

**SITE DEVELOPMENT PLAN**  
**A COMPREHENSIVE PERMIT M.G.L.c. 40B**  
**"DIAMOND HILL ESTATES"**  
**WALPOLE, MASSACHUSETTS**

**Note:**

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**TOWN OF WALPOLE, MASSACHUSETTS**  
**DEPARTMENT OF PUBLIC WORKS**  
**PLAN SHOWING TYPICAL**  
**SEWAGE CONSTRUCTION DETAILS**

REV. #	DATE	DESCRIPTION	BY
1	7-11-08	DRAWN TO AUTOCAD FILE	MAJ
2	11-29-08	MANY MISC. UPDATES	MAJ

**DETAILS**

**GLM** Engineering Consultants, Inc.  
19 EXCHANGE STREET  
HOLLISTON, MA 01746  
P: 508-429-1100  
F: 508-429-7160  
www.GLMengineering.com

JOB No. 16,518  
DATE: FEB. 26, 2020  
SCALE: 1"=40'  
SHEET: 10 of 13  
PLAN #: 27,321



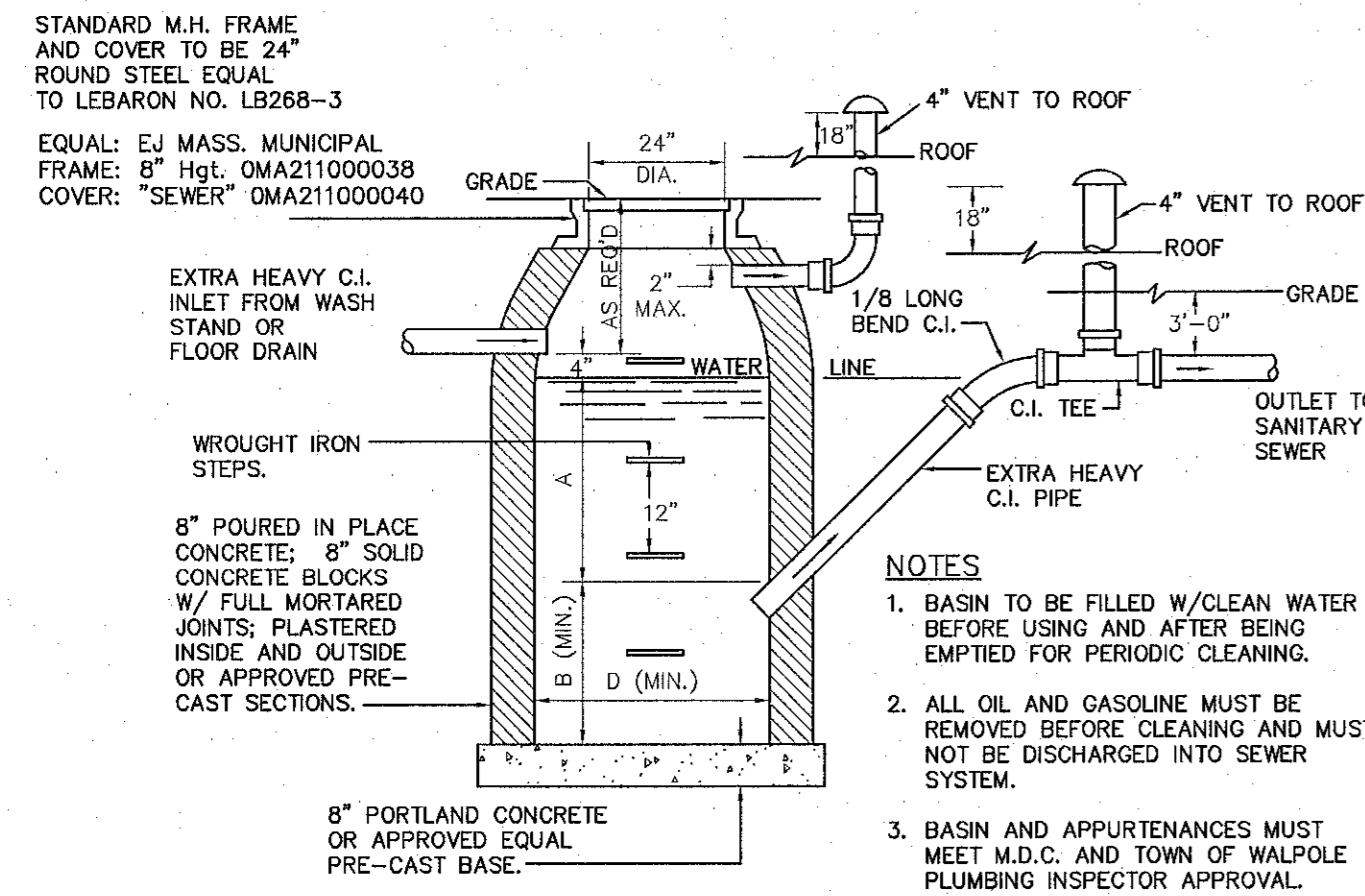
APPROVED BY THE  
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BOARD OF APPEALS, APPROVAL OF THIS PLAN  
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DAYS NEXT AFTER RECEIPT AND RECORDING OF  
SAME.

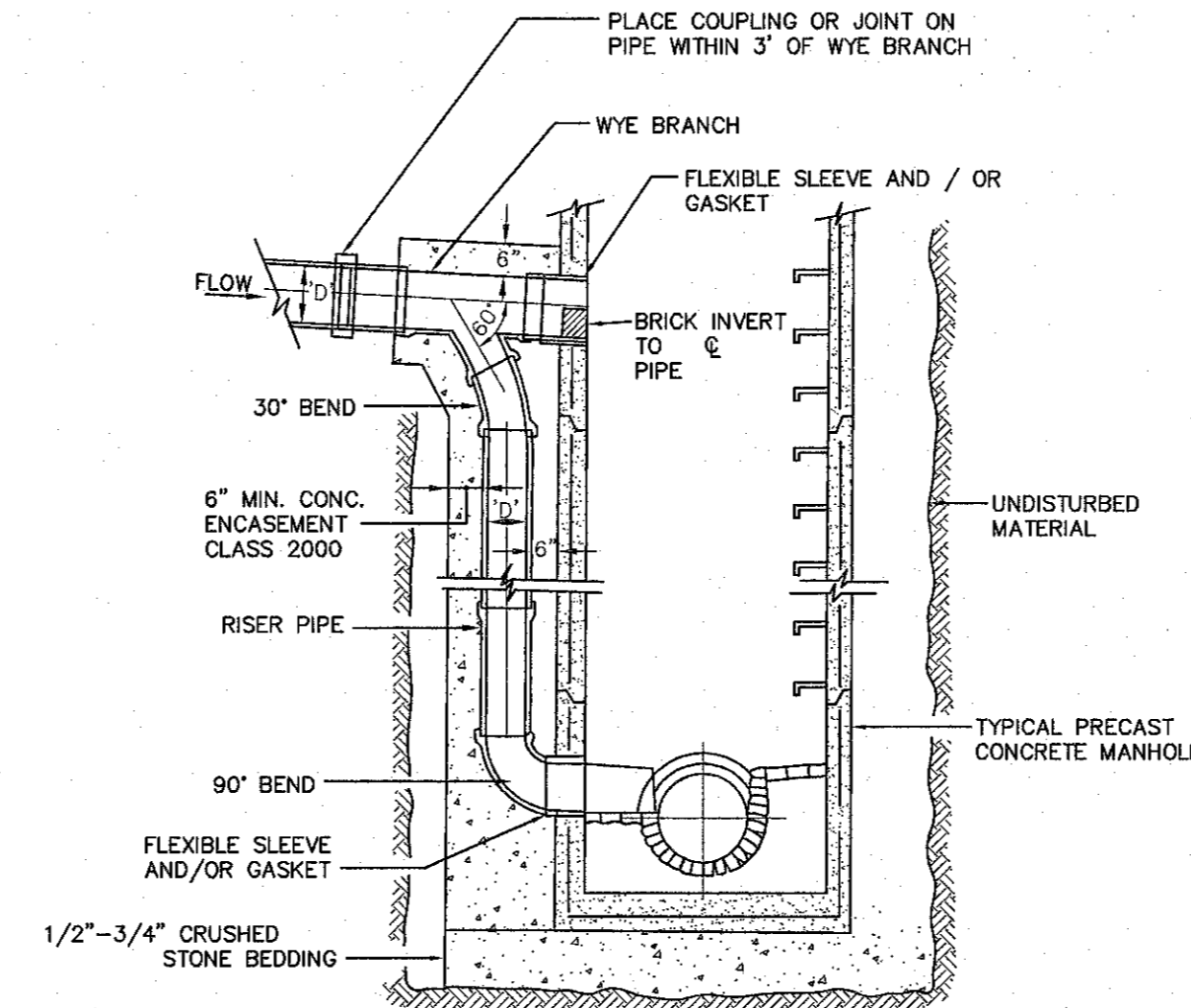
TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_



INLET	D	A	B
4"	4'-0"	2'-3"	1'-11"
	3'-6"	3'-0"	2'-6"
	3'-6"	5'-0"	4'-0"
5"	3'-6"	4'-0"	3'-0"
	4'-0"	3'-6"	3'-0"
	4'-0"	3'-0"	2'-6"
	4'-6"	3'-0"	2'-6"
6"	4'-0"	5'-0"	4'-6"
	4'-0"	4'-0"	3'-6"
	4'-6"	4'-0"	3'-6"
	4'-6"	3'-6"	3'-0"
	5'-0"	3'-6"	3'-0"
	5'-0"	3'-0"	2'-6"
8"	5'-0"	6'-0"	5'-0"
	5'-0"	4'-6"	4'-0"
	6'-0"	4'-0"	3'-6"
	6'-0"	3'-6"	3'-0"
	6'-6"	3'-0"	2'-6"
	6'-6"	3'-0"	2'-6"

NOTE: FOR INLETS LARGER THAN 8", THE DESIGN AND DIMENSIONS WILL BE DETERMINED FOR EACH PARTICULAR CASE.  
CIRCULAR BASINS ARE RECOMMENDED.

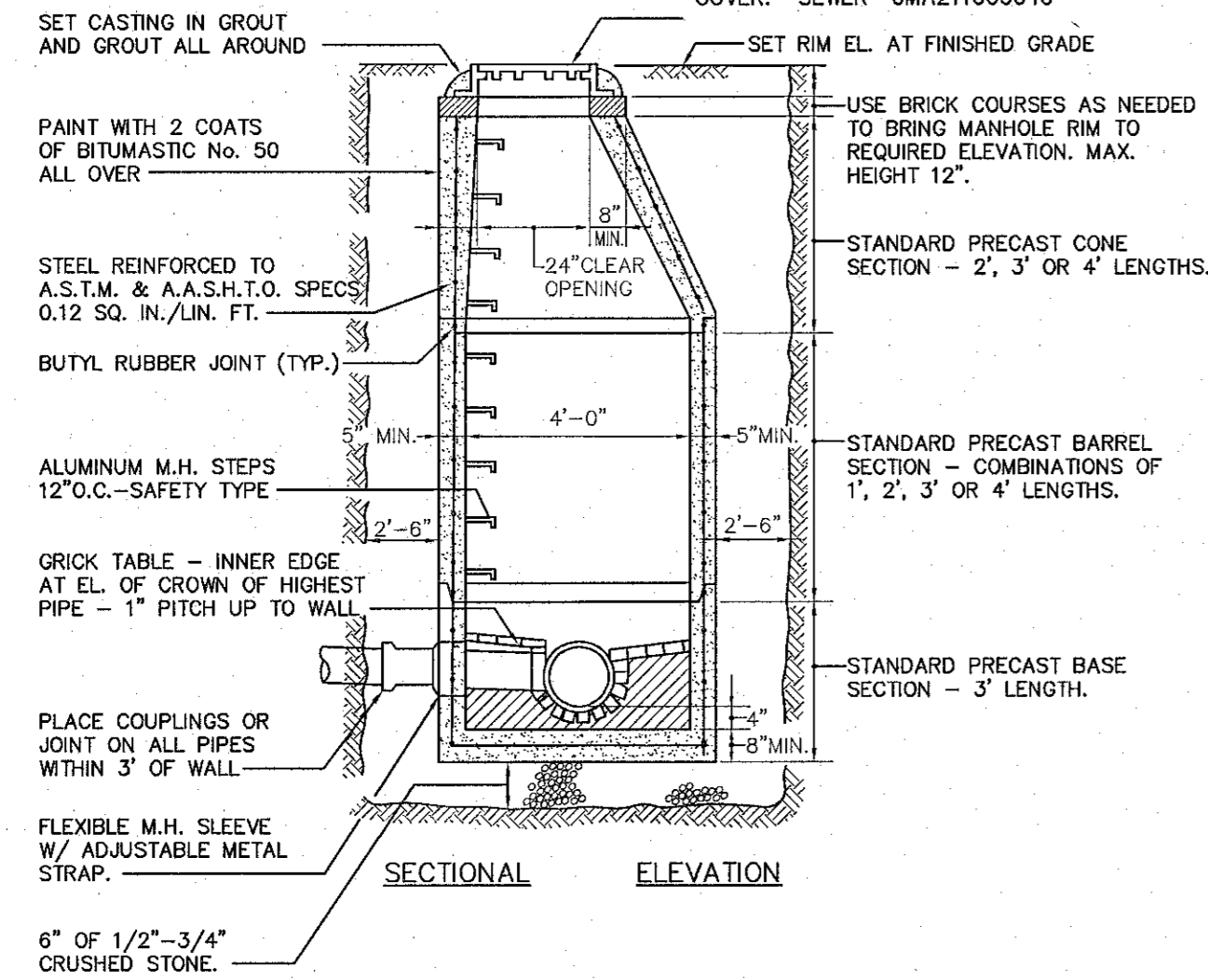
STANDARD M.D.C. CATCH BASIN & GASOLINE TRAP DETAILS  
NOT TO SCALE



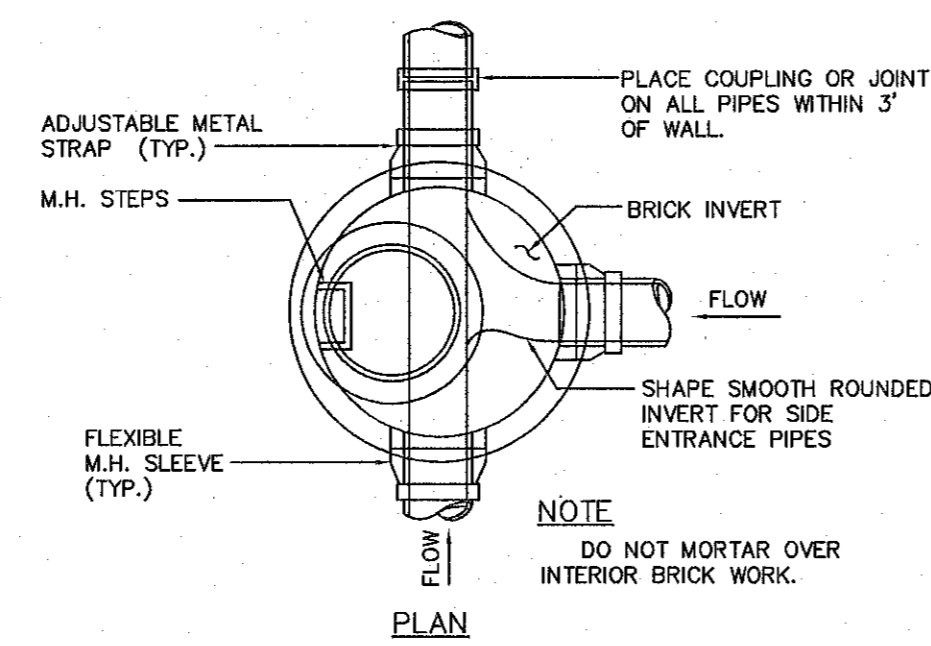
TYPICAL OUTSIDE DROP INLET MANHOLE DETAILS  
NOT TO SCALE

\*NOTE: SMH #S 2-4 SHALL BE INSTALLED WITH BOLT DOWN COVERS.

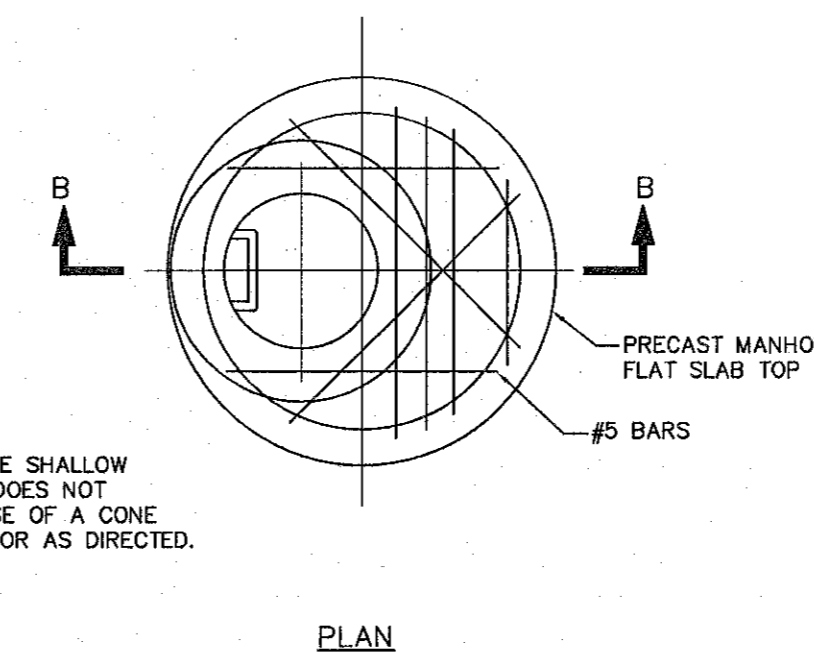
STANDARD MANHOLE FRAME AND COVER TO BE 24" ROUND STEEL FRAME AND COVER EQUAL TO LEBARON NO. LB 268-3. COVER TO READ "SEWER"  
EQUAL: EJ MASS. MUNICIPAL FRAME: 8" Hgt. OMA211000038 COVER: "SEWER" OMA211000040



TYPICAL PRECAST CONCRETE SEWER MANHOLE DETAILS  
NOT TO SCALE

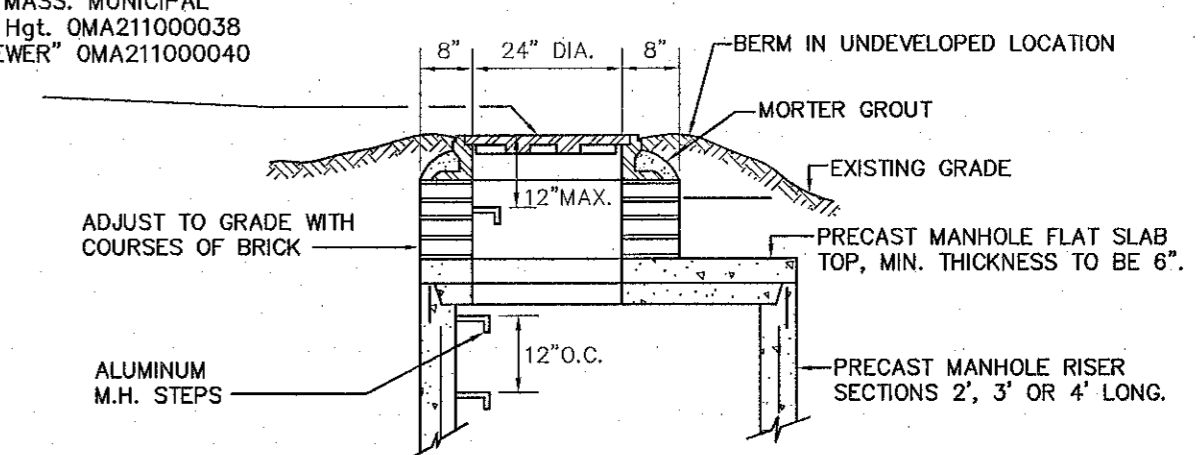


NOTE: FOR USE WHERE SHALLOW INSTALLATION DOES NOT PERMIT THE USE OF A CONE TYPE SECTION OR AS DIRECTED.



\*NOTE: SMH #S 2-4 SHALL BE INSTALLED WITH BOLT DOWN COVERS.

STANDARD MANHOLE FRAME AND COVER TO BE 24" ROUND STEEL FRAME AND COVER EQUAL TO LEBARON NO. LB 268-3. COVER TO READ "SEWER"  
EQUAL: EJ MASS. MUNICIPAL FRAME: 8" Hgt. OMA211000038 COVER: "SEWER" OMA211000040



FLAT TOP SECTION  
NOT TO SCALE

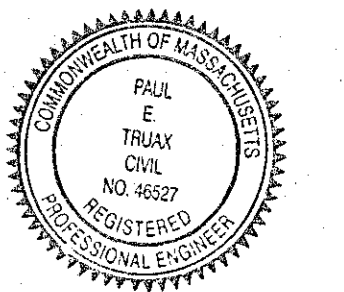
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TOWN OF WALPOLE, MASSACHUSETTS  
DEPARTMENT OF PUBLIC WORKS  
PLAN SHOWING TYPICAL  
SEWERAGE CONSTRUCTION DETAILS

REV. #	DATE	DESCRIPTION	BY
1	7-11-08	DRAWN TO APPROVED FILE	MAJ
2	11-20-08	UPDATED	MAJ

DETAILS

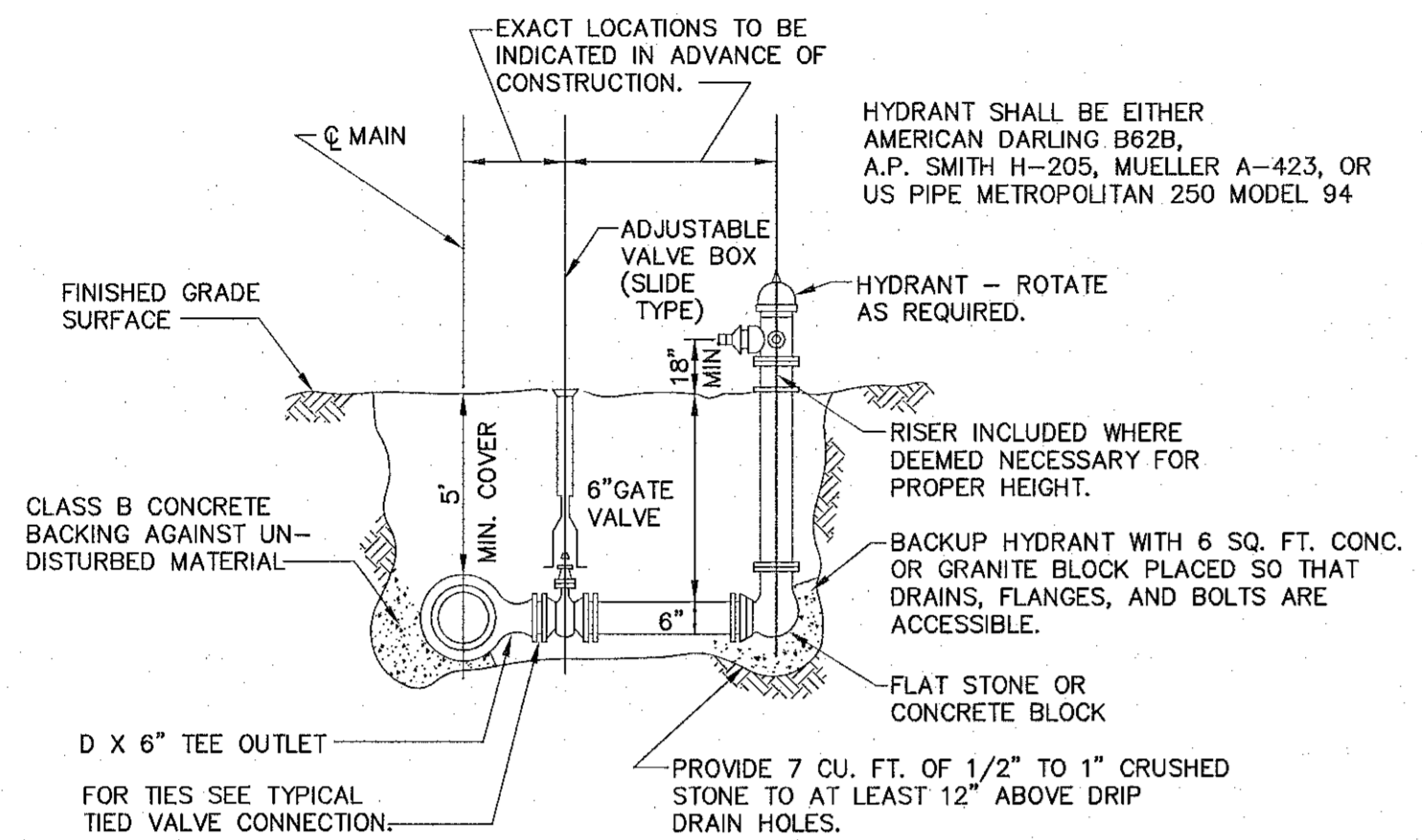
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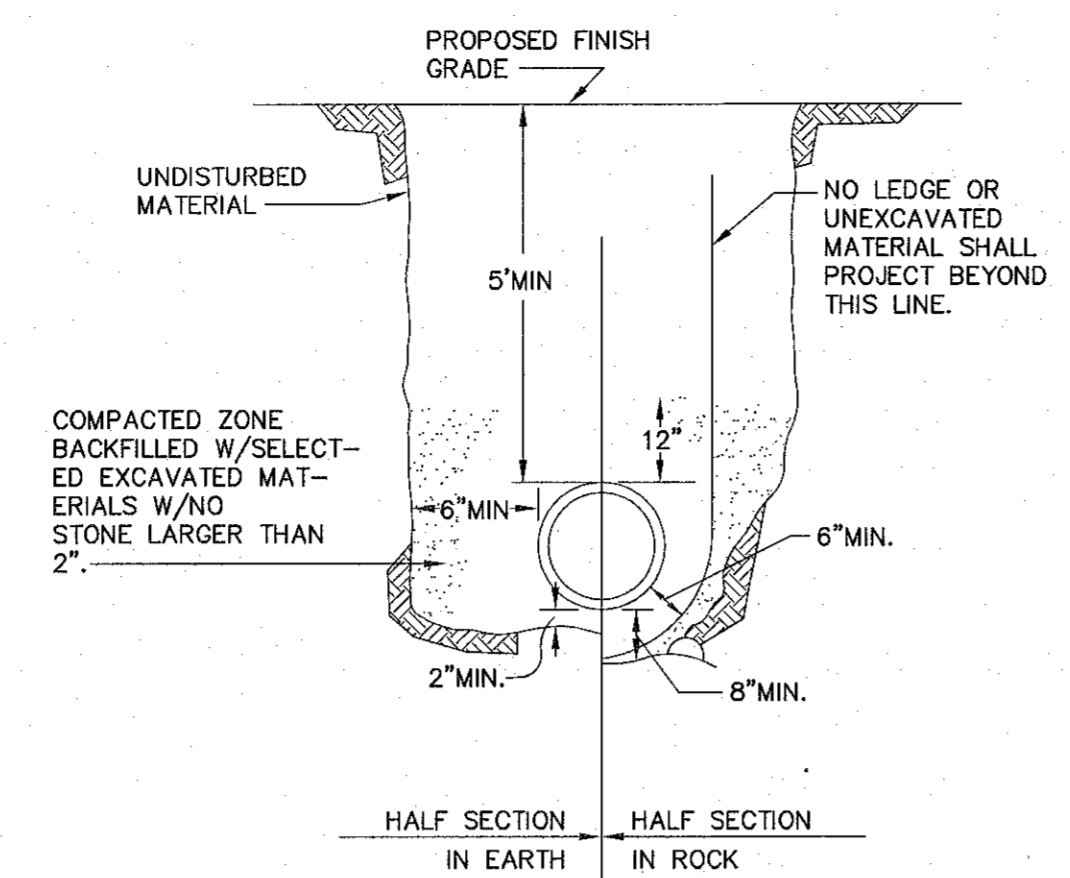
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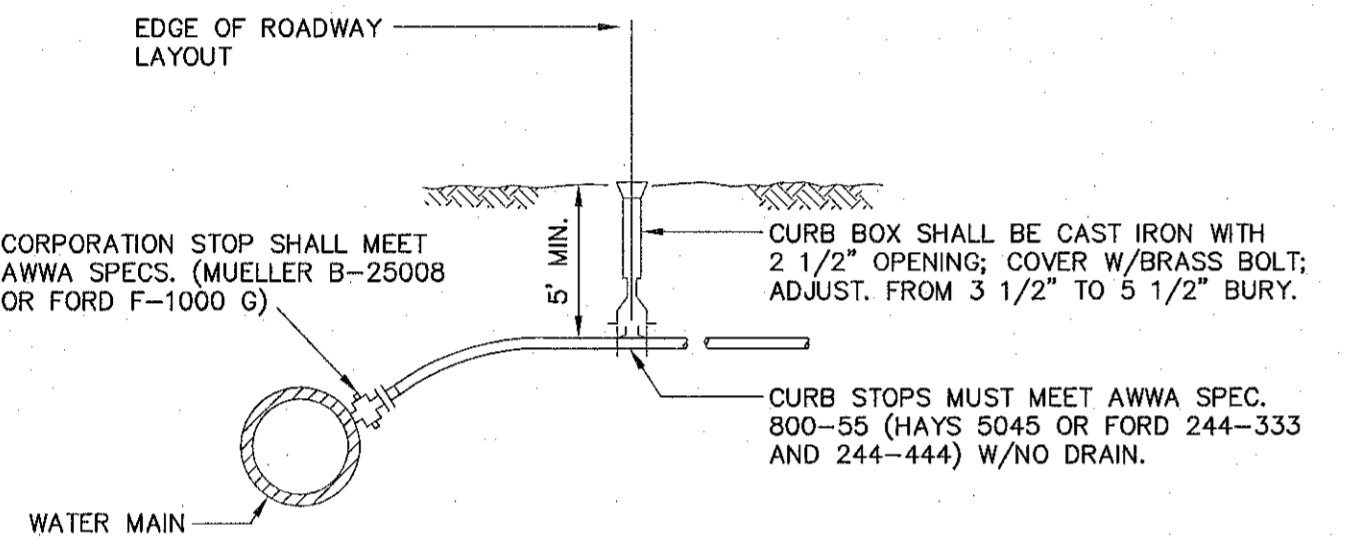
JOB No. 16,518  
DATE: FEB. 26, 2020  
SCALE: 1"=40'  
SHEET: 11 of 13  
PLAN #: 27,321



**TYPICAL HYDRANT ASSEMBLY DETAIL**  
NOT TO SCALE

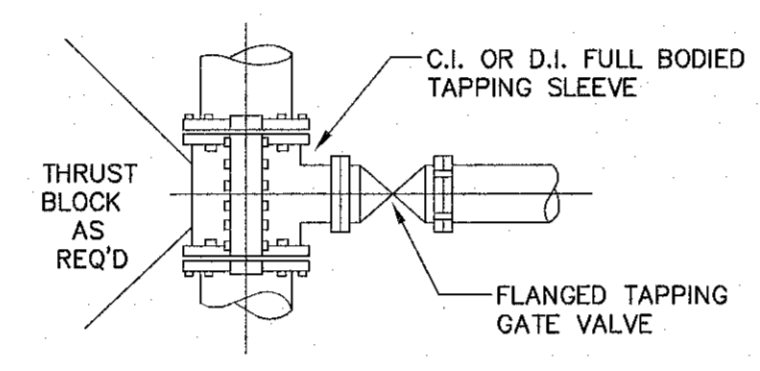


**WATER MAIN TRENCH DETAIL**  
NOT TO SCALE

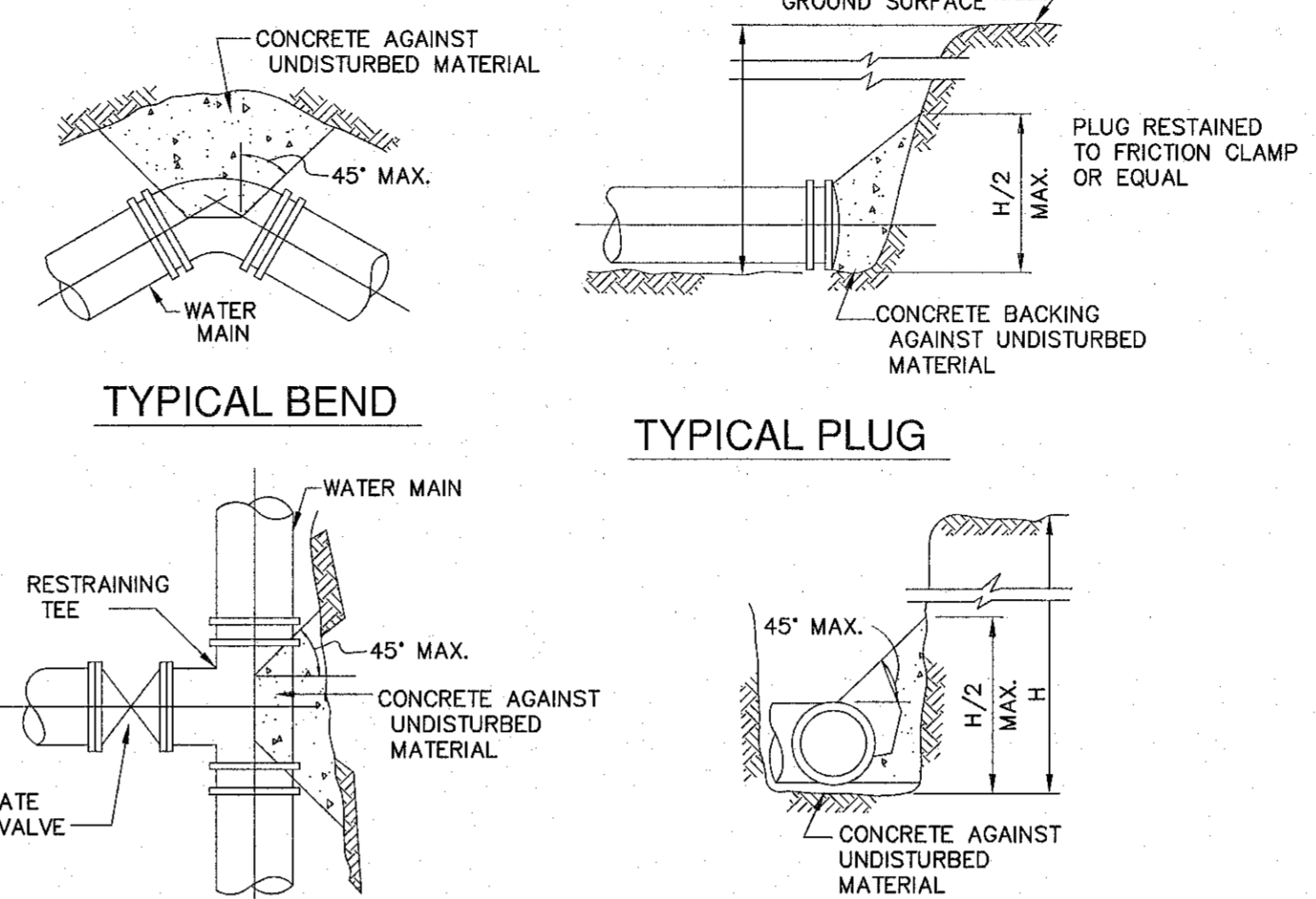


**NOTE**  
1" TYPE K SERVICES  
COPPER TUBING SHALL MEET AWWA SPEC. 76-OR TYPE K OR FEDERAL SPEC. WWT-799 TYPE K.

**TYPICAL SERVICE CONNECTION**  
NOT TO SCALE



**TAPPING SLEEVE AND VALVE DETAILS**  
NOT TO SCALE

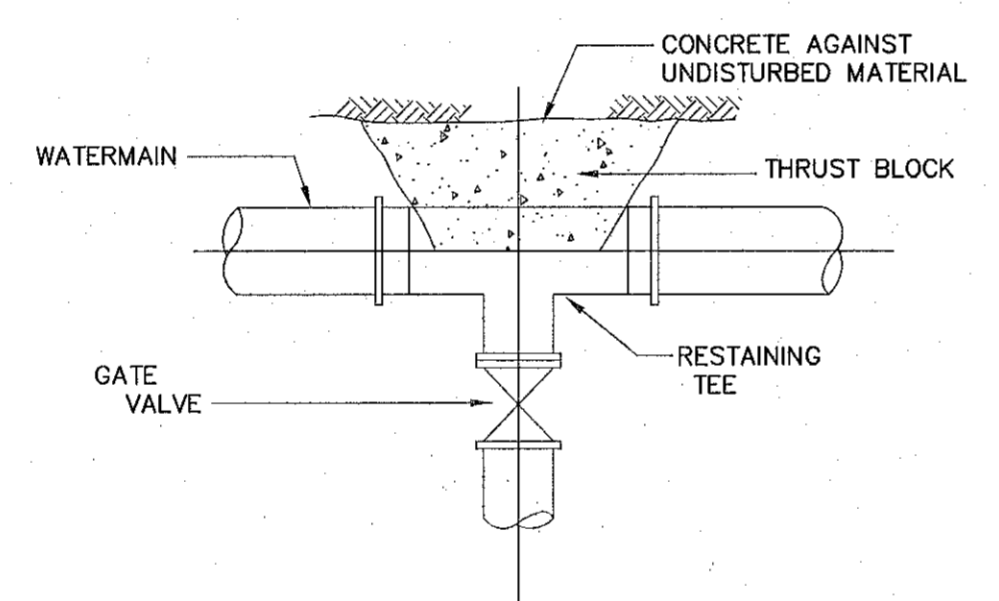


**TYPICAL BEND**      **TYPICAL PLUG**  
**TYPICAL TEE**      **TYPICAL SECTION**

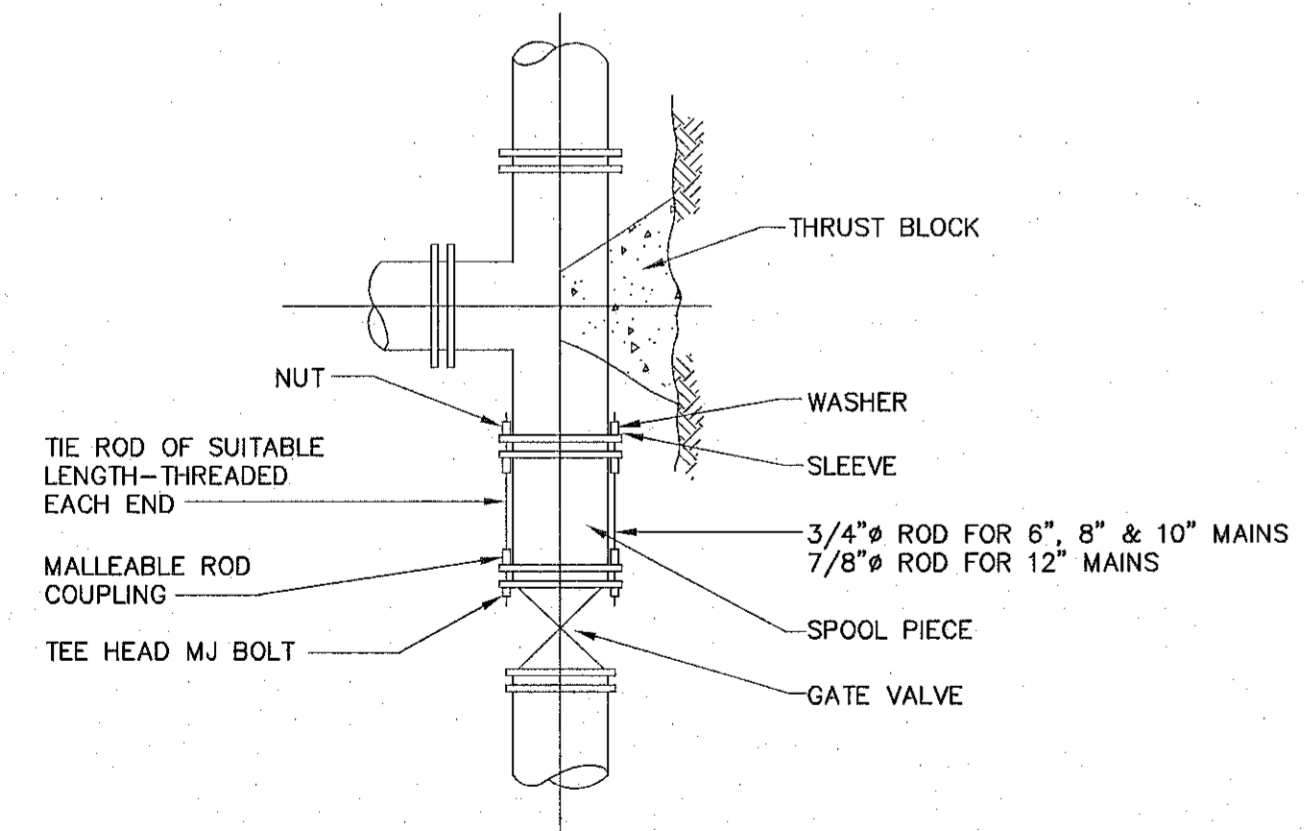
**NOTE:** CONCRETE FOR THRUST BLOCKS SHALL BE NO LONGER THAN THE RATIO OF 2 1/2 : 5 1/2 AND SHALL HAVE A MINIMUM COMPRESSION STRENGTH OF 2000 PSI (SO THAT FLANGES AND BOLTS ARE ACCESSIBLE.)

BEARING AREAS OF THRUST BLOCKS (BEARING AREA IN SQUARE FT.)				
PIPE SIZE INCHES	1/4 BEND	1/8 BEND	1/16 BEND OR LESS	PLUG TEES
6 AND 8	8	8		8
10 AND 12	22	13	8	16

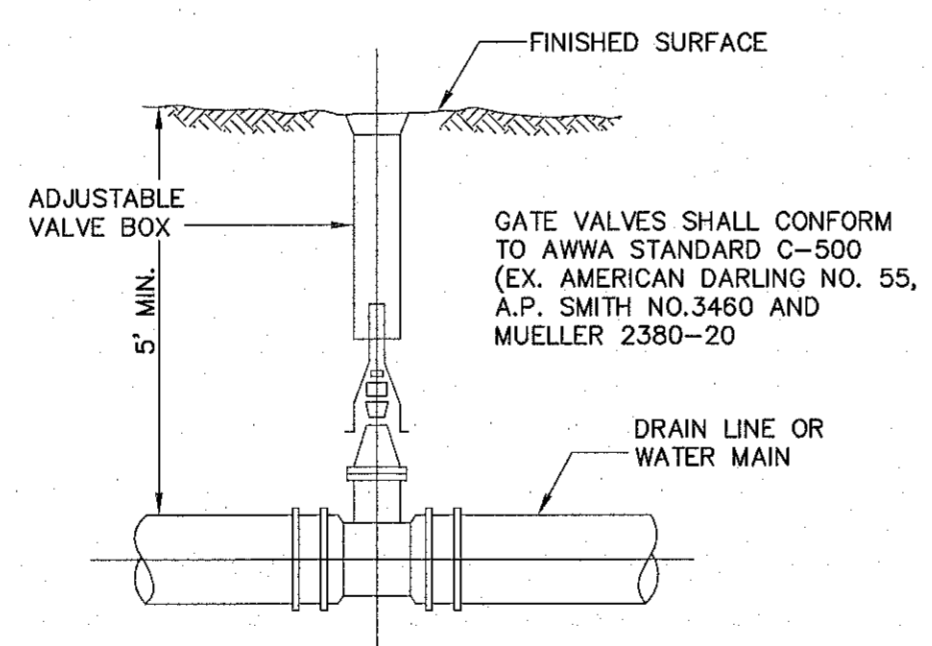
**TYPICAL THRUST BLOCK DETAIL**  
NOT TO SCALE



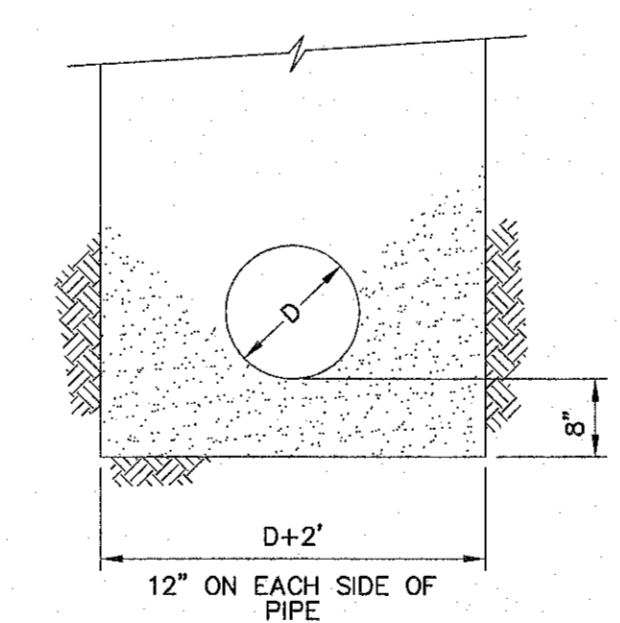
**TYPICAL LATERAL GATE VALVE CONNECTION DETAILS**  
NOT TO SCALE



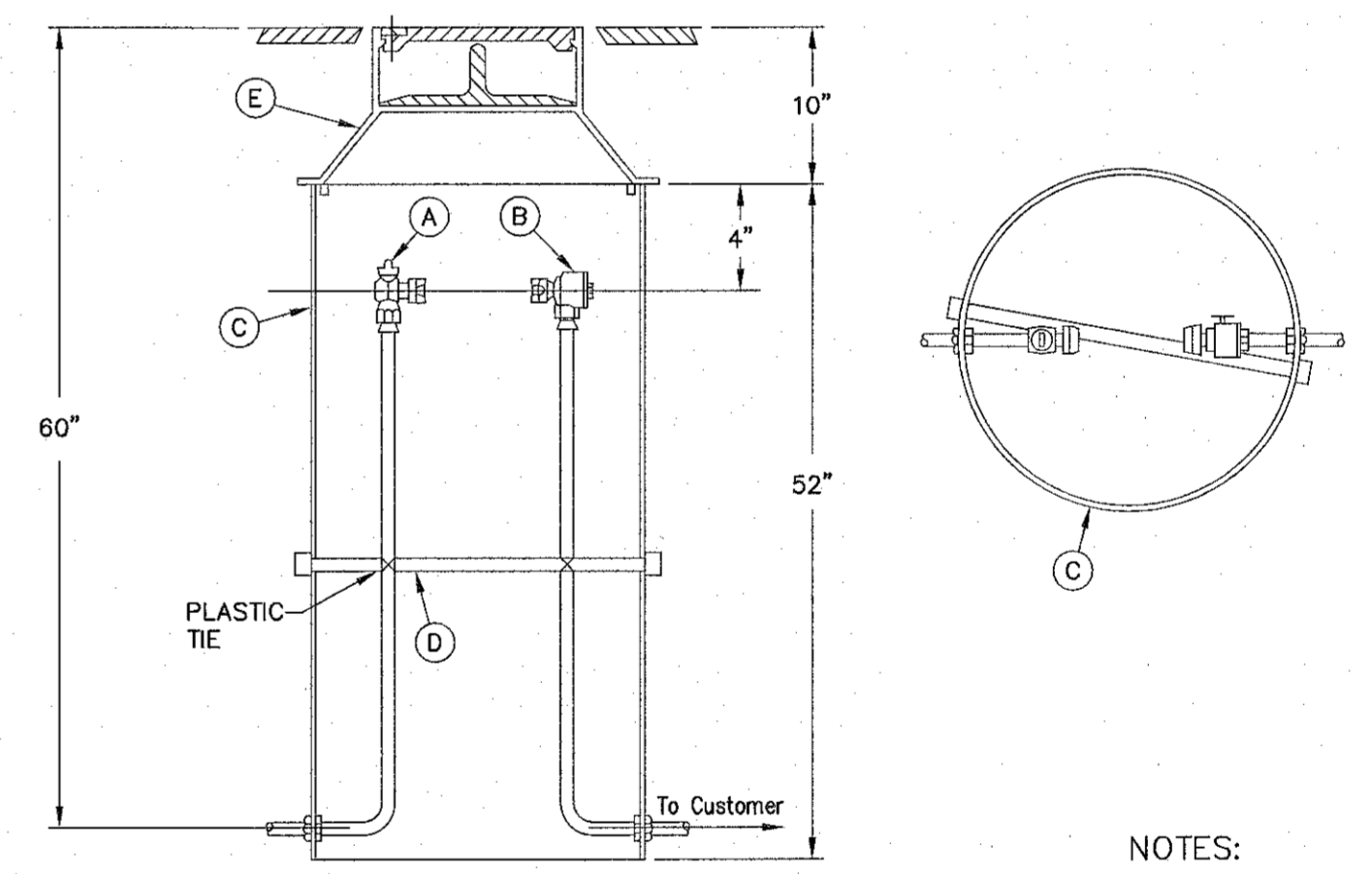
**TYPICAL TIED MECHANICAL JOINT VALVE CONNECTION DETAILS**  
NOT TO SCALE



**TYPICAL GATE VALVE**  
NOT TO SCALE



**PAYMENT LIMIT FOR LEDGE EXCAVATION**  
NOT TO SCALE



ITEM	DESCRIPTION	CAT No.
A	ANGLE BALL VALVE	BA13-232W
B	DUAL ANGLE CHECK VALVE	HA31-3230
C	20" I.D. PVC PIPE	
D	1/2" PVC SUPPORT & CAPS	
E	METER BOX COVER & LID	W-3

\* ORDERED SEPARATELY

**METER PIT SPECIFICATIONS**  
NOT TO SCALE

- NOTES:**
- ALL SERVICE SHALL ENTER THE PIT AT A 90° ANGLE TO THE STREET.
  - TO BE USED FOR DWELLINGS WHICH EXCEED A DISTANCE OF 200' FROM FRONT PROPERTY LINES.

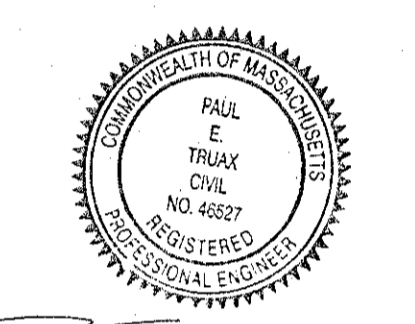
APPROVED BY THE WALPOLE ZONING BOARD OF APPEALS:

DATE APPROVED: \_\_\_\_\_

DATE ENDORSED: \_\_\_\_\_

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

REVISIONS	DATE	DESCRIPTION
1	6/02/20	ZONING BOARD COMMENTS
2	8/05/20	DRAINAGE ANALYSIS
3	11/30/20	ZBA & PEER REVIEW COMMENTS
4	02/03/21	ZBA & PEER REVIEW COMMENTS



**SITE DEVELOPMENT PLAN**  
**A COMPREHENSIVE PERMIT M.G.L.c. 40B**  
**"DIAMOND HILL ESTATES"**  
**WALPOLE, MASSACHUSETTS**

PREPARED FOR:  
WALL STREET DEVELOPMENT CORP.  
P.O. BOX 2172  
WESTWOOD, MA 02090

**Note:**  
1) All details are subject to change without notice. Check with the Town of Walpole prior to using these details for the most up to date revisions.

**TOWN OF WALPOLE, MASSACHUSETTS**  
**DEPARTMENT OF PUBLIC WORKS**  
**PLAN SHOWING TYPICAL**  
**WATER MAIN CONSTRUCTION DETAILS**

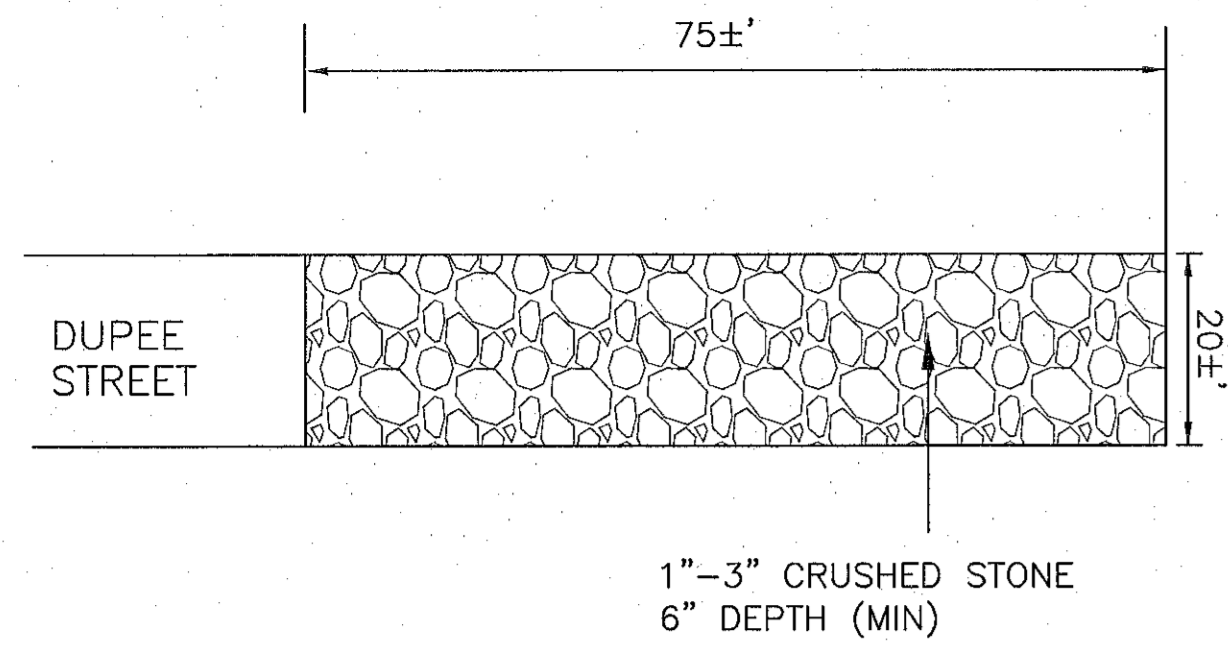
REV. #	DATE	DESCRIPTION	BY
1	7-11-98	DESIGN TO APPROVAL FILE	MAJ
2	11-20-03	UPDATES	MAJ

**DETAILS**

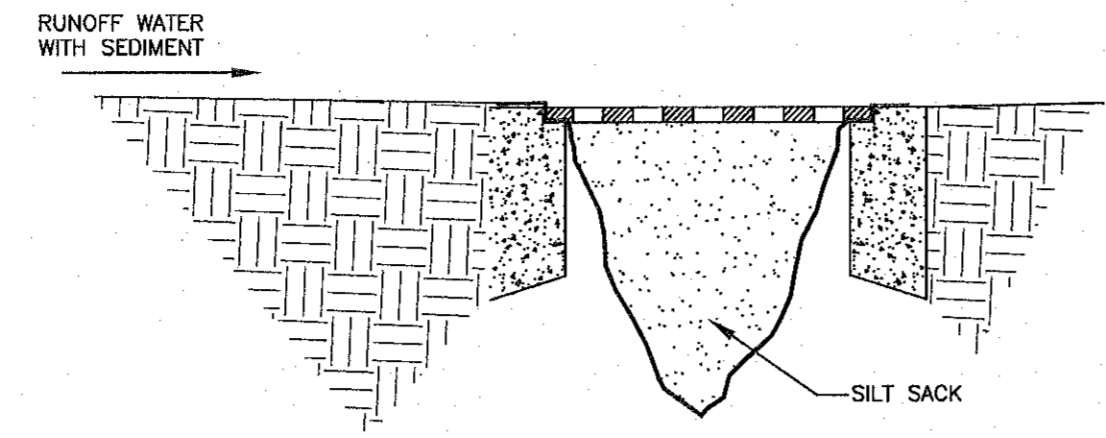
**GLM** Engineering Consultants, Inc.  
19 EXCHANGE STREET  
HOLLISTON, MA 01746  
P: 508-429-1100  
F: 508-429-7160  
www.GLMengineering.com

JOB No. 16,518  
DATE: FEB. 26, 2020  
SCALE: 1"=40'  
SHEET: 12 of 13  
PLAN #: 27,321

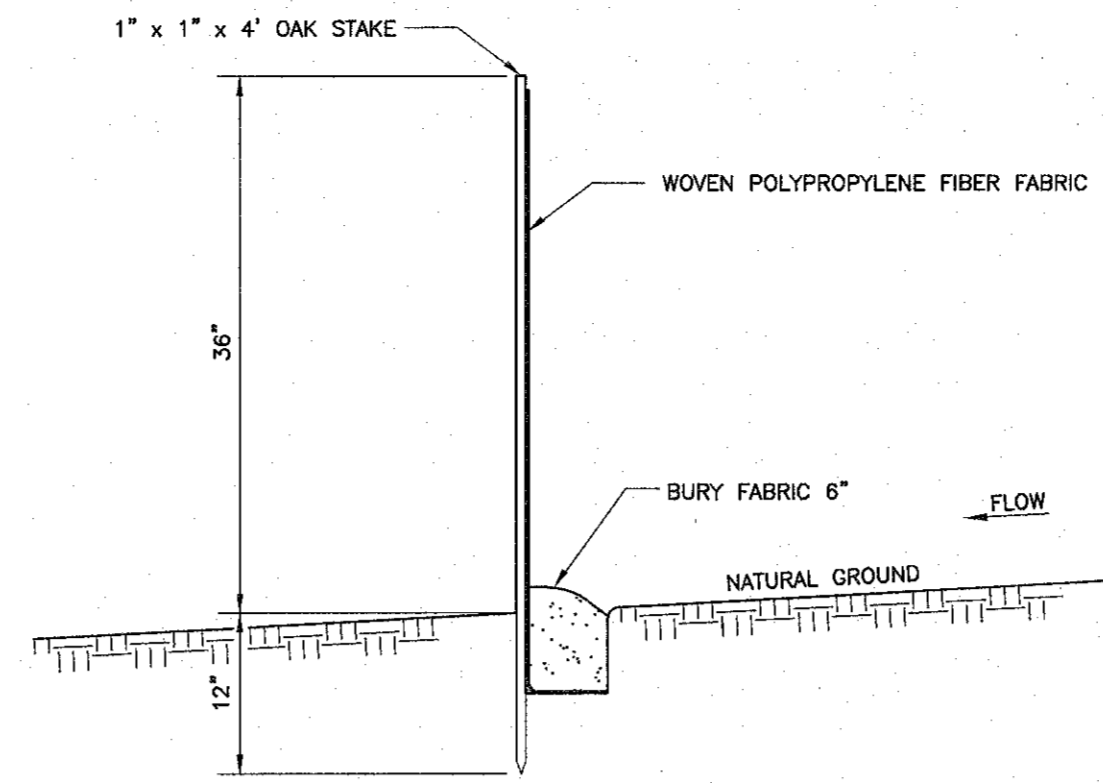




**STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE



**SILT SACK CATCH BASIN INLET**  
NOT TO SCALE



**EROSION CONTROL SILT FENCE DETAIL**  
NOT TO SCALE

**LEGEND:**

- 186 -- EXISTING CONTOUR
- 16.3x2 EXISTING SPOT ELEVATION
- WC<sub>0</sub> EXISTING WATER GATE
- v — EXISTING WATER LINE
- w — EXISTING TREE LINE
- TP 1 EXISTING SEWER MANHOLE
- 202 EXISTING TEST PIT LOCATION
- 301.0 PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED HYDRANT
- w — PROPOSED WATER LINE
- PROPOSED DRAIN MANHOLE
- PROPOSED CATCH BASIN
- D — PROPOSED DRAIN LINE
- S — PROPOSED SEWER LINE
- PROPOSED SEWER MANHOLE
- PROPOSED TREE LINE

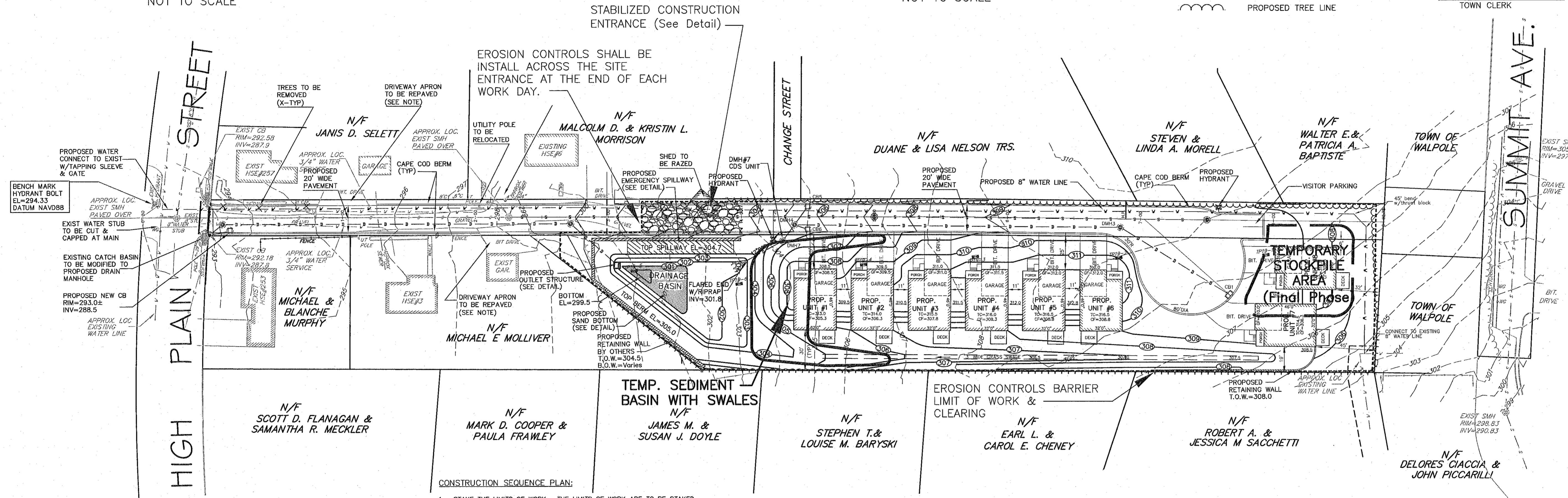
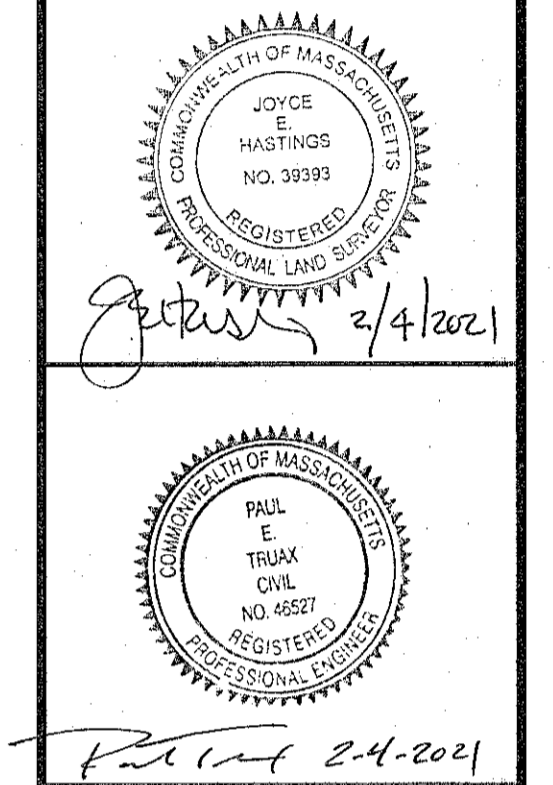
APPROVED BY THE WALPOLE ZONING BOARD OF APPEALS:

DATE APPROVED: \_\_\_\_\_  
DATE ENDORSED: \_\_\_\_\_

I TOWN CLERK OF THE TOWN OF WALPOLE RECEIVED & RECORDED FROM THE ZONING BOARD OF APPEALS, APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

NO.	DATE	DESCRIPTION
1	6/02/20	ZONING BOARD COMMENTS
2	8/05/20	DRAINAGE ANALYSIS
3	11/30/20	ZBA & PEER REVIEW COMMENTS
4	02/03/21	ZBA & PEER REVIEW COMMENTS



**CONSTRUCTION SEQUENCE PLAN:**

1. STAKE THE LIMITS OF WORK: THE LIMITS OF WORK ARE TO BE STAKED OUT JUST PRIOR TO THE TIME OF COMMENCING CONSTRUCTION.
2. INSTALL EROSION CONTROLS: PLACE AND STAKE SILTATION FENCING AT STAKED LIMIT OF WORK FOR EROSION CONTROL.
3. TREE AND BRUSH REMOVAL: TREES AND BRUSH IN THE WORK AREA ARE TO BE CUT AT THE BASE AND REMOVED. ALL TREES ARE TO BE FELLED INTO THE UPLAND AREA AND NOT ACROSS THE LIMIT OF WORK BARRIER.
4. SITE PREPARATION: WITH ALL TREES REMOVED AND ALL EROSION CONTROLS IN PLACE PROCEED WITH EXCAVATION AND PREPARATION FOR CONSTRUCTION OF THE RIGHT OF WAY. ALL STUMPS ARE TO BE PULLED AND BE DISPOSED DURING THE EXCAVATION PROCESS IN ACCORDANCE WITH ESTABLISHED RULES AND REGULATIONS. MATERIALS, SUCH AS TOPSOIL, WILL BE SET ASIDE FOR FUTURE USE ON-SITE AND STOCKPILED, TO THE EXTENT FEASIBLE, OUTSIDE THE WETLAND BUFFER AREA. THE DESIGNATED AREA FOR SAID STOCKPILING IS SHOWN ON SHEET NO. 5 OF THE APPROVED SITE DEVELOPMENT PLANS. SUCH OTHER STOCKPILING AREA MAY BE RECOMMENDED BY THE COMMISSION OR ITS AGENT. ADDED SILT FENCE WILL BE PLACED AROUND THESE STOCKPILES TO PREVENT WIND AND WATER EROSION. (NOTE: IT IS INTENDED FOR ALL EXCESS EXCAVATED MATERIAL TO BE RE-USED ON SITE.)
5. EXCAVATION ROUGH SUB-GRADE: EXCAVATION OF THE RIGHT OF WAY, AS REQUIRED, SHALL PROCEED UNTIL ALL AREAS HAVE BEEN EXCAVATED TO APPROXIMATE ROUGH SUB-GRADE AND ALL SIDE SLOPES GRADED. IMPORTED FILL MAY BE REQUIRED TO ACHIEVE REQUIRED SUB-GRADE.
6. DUPEE STREET CONSTRUCTION: UTILITIES SHALL BE INSTALLED UP TO THE CONSTRUCTION ENTRANCE (STA. 3+25), INCLUDING BUT NOT LIMITED TO SEWER, WATER, DRAINAGE AND SERVICE CONNECTIONS TO EXISTING HOMES. DUPEE STREET SHALL BE GRADED AND BINDER COURSE INSTALLED UP TO THE CONSTRUCTION ENTRANCE (STA. 3+25).
7. INSTALLATION OF DRAINAGE: WORK SHALL COMMENCE ON INSTALLATION OF ANY DRAINAGE STRUCTURES, SUCH AS DRAINAGE SWALES, BASINS, PIPING, CATCH BASINS, MANHOLES, HEADWALLS, ETC. AS SHOWN ON THE PLAN.
8. LOAM AND SEED SIDE SLOPES: LOAM AND SEED SIDE SLOPES OF ROADWAY, AS NEEDED.
9. ELECTRICAL/TELEPHONE/CABLE: RE-LOCATE UTILITY POLES WITHIN ROADWAY, AS NEEDED. EXCAVATE TRENCH FOR INSTALLATION OF UNDERGROUND ELECTRICAL, TELEPHONE AND CABLE SERVICE AS SHOWN ON THE PLAN.
10. BINDER PREPARATION: DELIVER AND PLACE PROCESSED GRAVEL TO PROPER GRADE, INCLUDING GRADING AND COMPACTION.
11. BINDER INSTALLATION: INSTALL BASE COAT PAVEMENT FOR ROADWAY, AS REQUIRED.
12. FINAL PAVEMENT: FINISH PAVEMENT FOR ROADWAY TO BE INSTALLED AT OWNER'S DISCRETION.

**EROSION CONTROL NOTES**

- THE FOLLOWING EROSION CONTROL SPECIFICATIONS ARE IN EFFECT WHEN SITE ALTERATION WORK IS COMPLETED TO PREVENT DOWN GRADIENT OR ADJACENT AREAS FROM BEING ADVERSELY IMPACTED.
1. PRIOR TO ANY DISTURBANCE OR ALTERATIONS ON ANY AREA ON THE SITE, THE FILTER MITT SEDIMENT BARRIER SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE SITE PLAN.
  2. THE SITE SHALL BE SECURED BY INSTALLATION OF TEMPORARY CHAINLINK FENCING WITH GATED ENTRANCE AT THE STABILIZED CONSTRUCTION ENTRANCE.
  3. ONCE INSTALLED, THE FILTER MITT SEDIMENT BARRIERS SHALL BE MAINTAINED IN PLACE UNTIL ALL AREAS UPGRADEMENT FROM THE BARRIERS HAVE BEEN STABILIZED AS SPECIFIED HEREIN. UPON COMPLETION AND STABILIZATION OF THE PROJECT, THE FILTER MITT SHALL BE REMOVED.
  4. THE TEMPORARY CONSTRUCTION IS INTENDED TO ACT AS A LIMIT OF DISTURBANCE. ANY LAND DOWN GRADIENT FROM THE FENCE ACCIDENTALLY DISTURBED SHALL BE IMMEDIATELY REPAIRED AND RESTORED TO ORIGINAL CONDITION.
  5. ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED OR WHERE SPECIAL STABILIZATION MEASURES OR LANDSCAPE PLANTINGS ARE NOT PROPOSED SHALL BE LOAMED AND SEEDDED. NO LESS THAN FOUR INCHES OF LOAM TOPSOIL SHALL BE SPREAD AND THE AREA SEEDDED WITH CONSERVATION MIX.
  6. ALL AREAS OUTSIDE THE LIMIT OF WORK ARE TO BE LEFT UNDISTURBED. DURING SITE WORK ALL PERSONS AND EQUIPMENT SHALL STAY OUTSIDE THESE AREAS TO PRESERVE THE EXISTING VEGETATION.
  7. ALL SLOPES CAUSED BY EXCAVATION OF EXISTING GROUND, OR FILL OVER EXISTING GROUND TO CREATE BERMS OF EARTH MATERIALS OR RESULTING FROM RECONTOURING LAND FOR PROPOSED HOUSE LOCATIONS SHALL BE NO GREATER THAN 3:1, HORIZONTAL TO VERTICAL. THE TOE OF SLOPES IN FILL AREAS OR TOP OF SLOPE IN EXCAVATED AREAS SHALL BE NO CLOSER THAN 5 FEET FROM ADJACENT LOT LINES.
  8. THE FIRST SEVENTY-FIVE (75) FEET OF THE PROPOSED CONSTRUCTION ENTRANCE AS SHOWN SHALL BE COVERED WITH TWELVE (12) INCHES OF 1 - 3 INCH CRUSHED STONE TO STABILIZE THE AREA (SEE DETAIL).
- A MORE DETAILED SEDIMENT AND EROSION CONTROL PLAN WILL BE DEVELOPED AS PART OF THE NPDES STORMWATER POLLUTION PREVENTION PLAN.

**BUILDING PHASE CONSTRUCTION SCHEDULE:**

- PHASE 1  
Units 2-6
- PHASE 2  
Units 7 & 8
- PHASE 3  
Unit 1  
(Last unit to be constructed)

**EROSION CONTROL MAINTENANCE:**

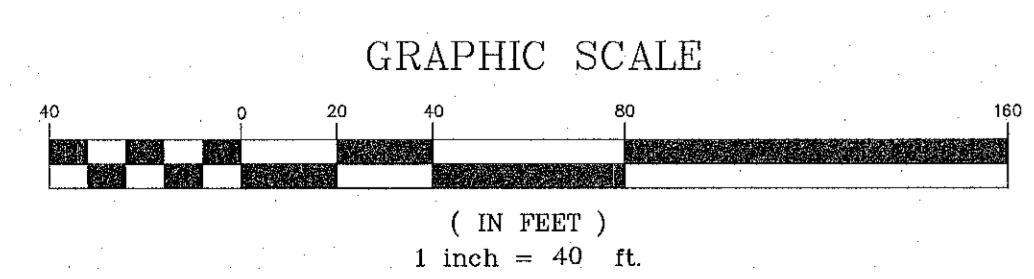
THE CONTRACTOR SHALL HAVE ON THE SITE, AN ADEQUATE QUANTITY OF SUPPLEMENTAL HAYBALES, SILT FENCE AND STAKES TO BE USED FOR CONTROL OF EMERGENCY EROSION PROBLEMS. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER A STORM EVENT OF 1" INCH OR GREATER.

**DEWATERING:**

DISCHARGES FROM A DEWATERING CONSTRUCTION PROCEDURE WILL BE FILTERED THROUGH A SILTATION BASIN CONSTRUCTED UPLAND FROM THE WORK SITE. THE SILTATION BASIN SHALL BE A DEPRESSION SURROUNDED BY A HAYBALE DIKE OR SILT FENCE. OVERFLOW FROM THE BASIN SHALL BE PLANNED TO BE LOCATED OVER THICKLY AND NATURALLY MULCHED UPLAND AREA.

**STOCKPILING:**

STOCKPILE MATERIAL SHALL STORED IN THE AREAS DESIGNATED. ALL STOCKPILES AREAS SHALL BE SECURED AROUND THE PERIMETER WITH HAYBALE DIKE OR SILT FENCE.



**EROSION CONTROL**

**SITE DEVELOPMENT PLAN**  
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**"DIAMOND HILL ESTATES"**  
**WALPOLE, MASSACHUSETTS**

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