

# SITE DEVELOPMENT PLAN

## A COMPREHENSIVE PERMIT M.G.L. c. 40B

### "DIAMOND HILL ESTATES"

### WALPOLE, MASSACHUSETTS

DATE: FEBRUARY 26, 2020  
 REVISED: JUNE 2, 2020  
 AUGUST 5, 2020  
 NOV. 30, 2020  
 FEB. 3, 2021  
 MARCH 15, 2021

**ASSESSOR'S REFERENCE:**  
 MAP 35, PARCEL 380-1

**DEED REFERENCE:**  
 NORFOLK COUNTY REGISTRY OF DEEDS  
 Bk. 20779, Pg. 209

**PLAN REFERENCE:**  
 NORFOLK COUNTY REGISTRY OF DEEDS  
 FILE IN PLAN BOOK 77, PLAN 3721

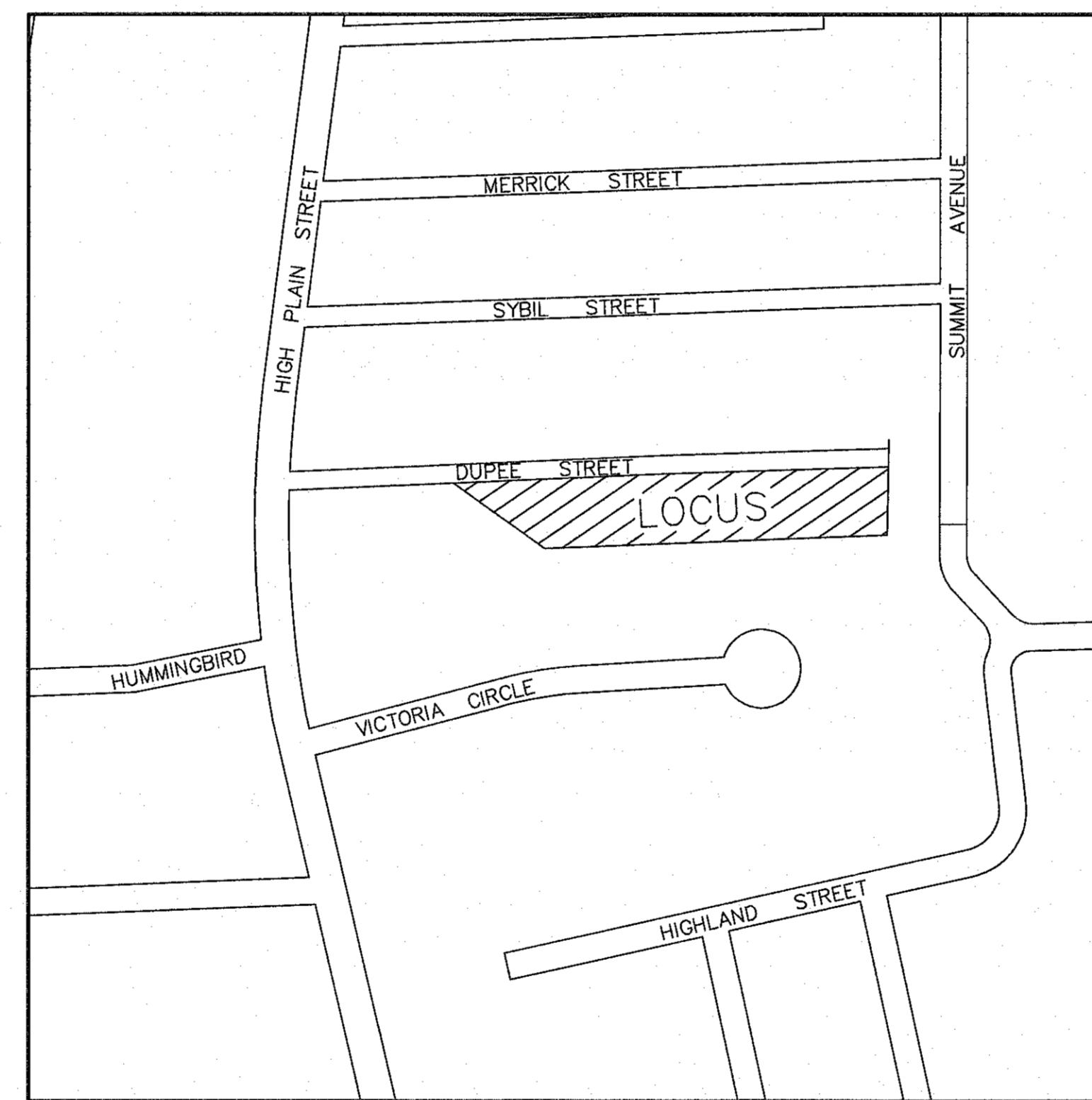
**OWNER OF RECORD:**  
 DIAMOND BROOK REALTY TRUST  
 P.O. BOX 31  
 SO. WALPOLE, MA

**ZONING CLASSIFICATION:**  
 RESIDENCE B - RB  
 LOT AREA: 20,000 S.F.  
 FRONTAGE: 125 FT.  
 SETBACKS:  
 FRONT: 30'  
 SIDE: 15'  
 REAR: 30'

**ZONING DATA:**

RESIDENCE-B (RB)

	REQUIRED	PROVIDED
LOT AREA:	20,000 S.F.	52,238 ± S.F. (1.2± AC)
FRONTAGE:	125 FT.	641.05 FT. (DUPEE STREET)
<b>SETBACKS:</b>		
FRONT:	30 FT.	24.0 FT.
SIDE:	15 FT.	23.0 FT.
REAR:	30 FT.	30.0 FT.
<b>MAXIMUM BUILDING HGHT</b>	35 FT	35 FT
<b>MAXIMUM STORIES</b>	2.5	2.5
<b>LOT COVERAGE:</b>	<b>ALLOWED</b>	<b>PROPOSED</b>
BUILDING:	25% (13,059 sf)	27.2% (14,184 sf)
TOTAL IMPERVIOUS (Buildings & Imp)	40% (20,895 sf)	35.6% (18,571 sf)



LOCUS MAP  
 1"=200'

APPROVED BY THE  
 WALPOLE ZONING BOARD  
 OF APPEALS:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

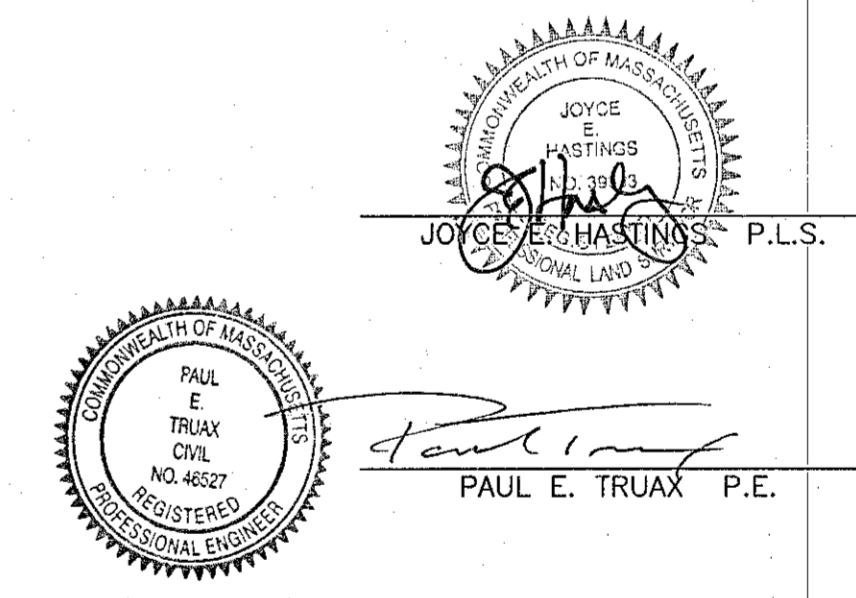
\_\_\_\_\_

DATE APPROVED: \_\_\_\_\_

DATE ENDORSED: \_\_\_\_\_

I TOWN CLERK OF THE TOWN OF WALPOLE  
 RECEIVED & RECORDED FROM THE ZONING  
 BOARD OF APPEALS, APPROVAL OF THIS PLAN  
 AND NO APPEAL HAS BEEN TAKEN FOR TWENTY  
 DAYS NEXT AFTER RECEIPT AND RECORDING OF  
 SAME.

\_\_\_\_\_ TOWN CLERK \_\_\_\_\_ DATE



3/15/2021  
 DATE

3-15-2021  
 DATE

**SHEET INDEX**

- 1 COVER
- 2 EXISTING CONDITIONS
- 3 LAYOUT PLAN
- 4 GRADING, DRAINAGE & UTILITIES
- 5 PROFILES
- 6 LANDSCAPE
- 7-13 DETAILS

Prepared By:  
**GLM** ENGINEERING  
 CONSULTANTS, INC.  
 19 EXCHANGE STREET  
 HOLLISTON, MASSACHUSETTS 01746  
 (508)429-1100 fax:(508)429-7160

**Applicant:**  
 WALL STREET DEVELOPMENT CORP.  
 P.O. BOX 272  
 WESTWOOD, MASSACHUSETTS 02090

JOB No.	15588
SCALE:	AS NOTED
DATE:	FEBRUARY 26, 2020
SHEET No.	1 of 13

**LEGEND:**

- 186--- EXISTING CONTOUR
- 163x2 EXISTING SPOT ELEVATION
- WC<sub>9</sub> EXISTING WATER GATE
- v--- EXISTING WATER LINE
- (M)--- EXISTING TREE LINE
- (S)--- EXISTING SEWER MANHOLE
- TP 1 EXISTING TEST PIT LOCATION
- (202)--- PROPOSED CONTOUR
- 301.0 PROPOSED SPOT ELEVATION
- v--- PROPOSED HYDRANT
- v--- PROPOSED WATER LINE
- (M)--- PROPOSED DRAIN MANHOLE
- (S)--- PROPOSED CATCH BASIN
- (D)--- PROPOSED DRAIN LINE
- (S)--- PROPOSED SEWER LINE
- (M)--- PROPOSED SEWER MANHOLE
- (M)--- PROPOSED TREE LINE

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<b>SETBACKS:</b>		
FRONT:	30 FT.	29.0 FT.
SIDE:	15 FT.	22.0 FT.
REAR:	30 FT.	30.0 FT.

	ALLOWED	PROPOSED
MAXIMUM BUILDING HGT	35 FT	35 FT
MAXIMUM STORIES	2.5	2.5
<b>LOT COVERAGE:</b>		
BUILDING:	25% (13,059 sf)	27.4% (14,320 sf)
TOTAL IMPERVIOUS (Buildings & Imp)	40% (20,895 sf)	45.1% (23,580 sf)

**ASSESSOR'S REFERENCE:**  
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**OWNER OF RECORD:**  
DIAMOND BROOK REALTY TRUST  
P.O. BOX 31  
SO. WALPOLE, MA

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REAR: 30'

**NOTES:**

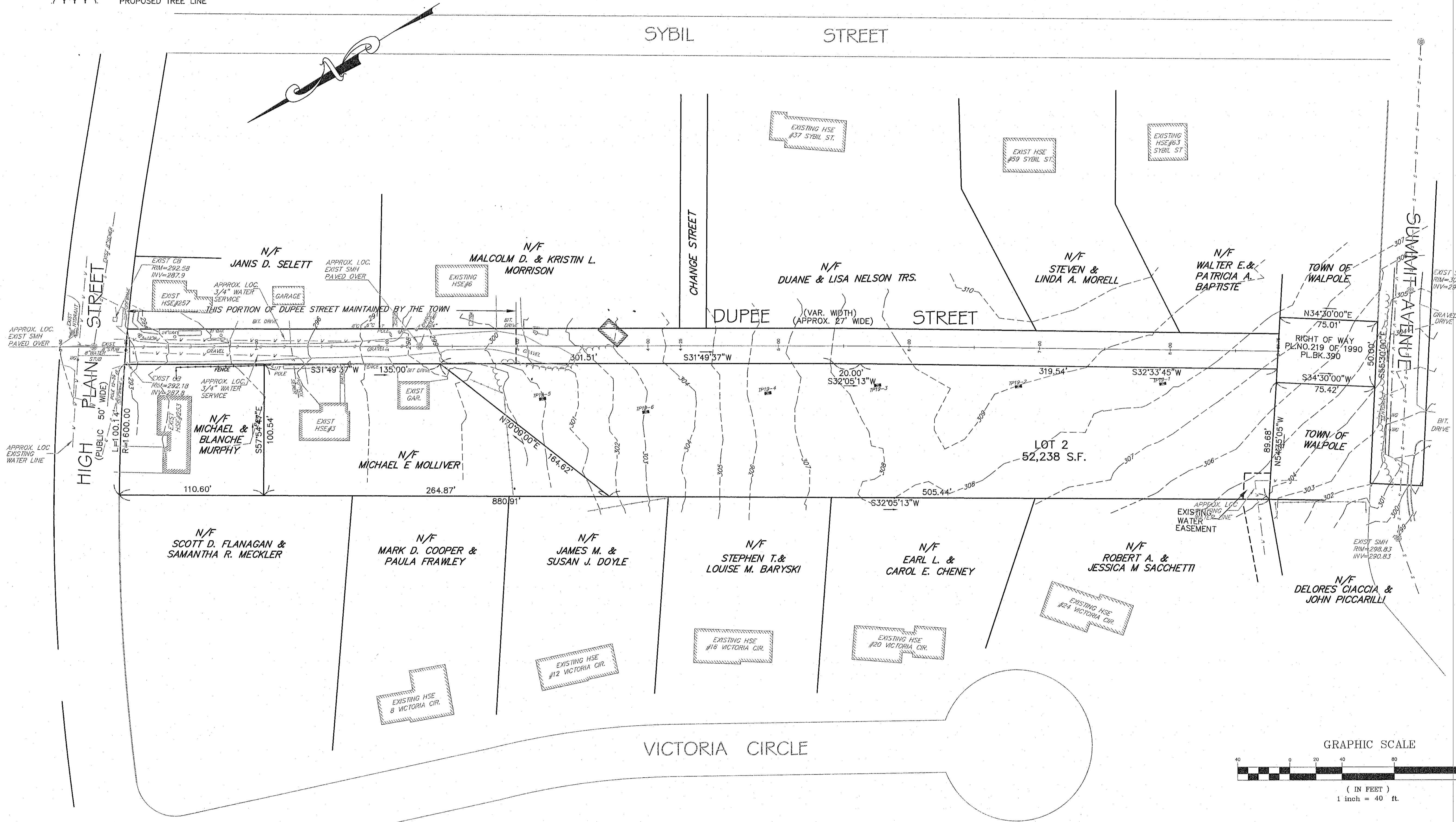
1. THE LOCATION OF EXISTING UTILITIES IS APPROXIMATE, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. NOTIFY "DIG SAFE" AT 1-888-344-7233 AT THE 72 HOURS PRIOR TO ANY SITE EXCAVATION.
2. EXISTING STRUCTURES SHOWN ARE APPROXIMATE, THE LOCATION OF THE BUILDINGS WHERE COMPILED FROM EXISTING PLANS OF RECORD AND TOWN OF WALPOLE GIS INFORMATION.

APPROVED BY THE  
WALPOLE ZONING BOARD  
OF APPEALS:

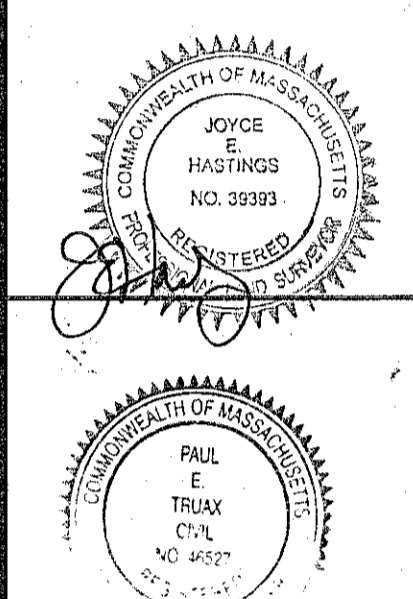
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TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_



REVISIONS	DATE	DESCRIPTION
No. 1	6/02/20	ZONING BOARD COMMENTS
2	8/05/20	DRAINAGE ANALYSIS
3	11/30/20	ZBA & PEER REVIEW COMMENTS
4	02/03/21	ZBA & PEER REVIEW COMMENTS
5	03/15/21	REVISED CUL-DE-SAC

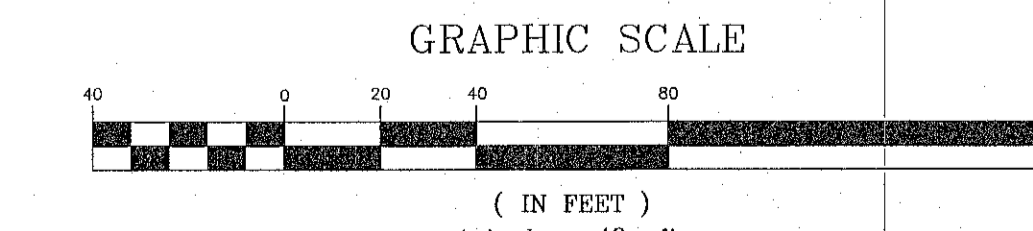


**SITE DEVELOPMENT PLAN**  
**A COMPREHENSIVE PERMIT M.G.L.c. 40B**  
**"DIAMOND HILL ESTATES"**  
**WALPOLE, MASSACHUSETTS**

PREPARED FOR:  
WALL STREET DEVELOPMENT CORP.  
P.O. BOX 272  
WESTWOOD, MA 02090

**GLM** Engineering  
Consultants, Inc.  
19 EXCHANGE STREET  
HOLLISTON, MA 01746  
P: 508-429-1100  
F: 508-429-7160  
www.GLMengineering.com

JOB No.	16,518
DATE:	FEB. 20, 2020
SCALE:	1"=40'
SHEET:	2 of 13
PLAN #:	27,321



**EXISTING CONDITIONS**

**LEGEND:**

- 186--- EXISTING CONTOUR
- 16.3x2 EXISTING SPOT ELEVATION
- WC<sub>0</sub> EXISTING WATER GATE
- v--- EXISTING WATER LINE
- w--- EXISTING TREE LINE
- s--- EXISTING SEWER MANHOLE
- TP 1 --- EXISTING TEST PIT LOCATION
- 202--- PROPOSED CONTOUR
- 301.0 PROPOSED SPOT ELEVATION
- h--- PROPOSED HYDRANT
- v--- PROPOSED WATER LINE
- d--- PROPOSED DRAIN MANHOLE
- c--- PROPOSED CATCH BASIN
- d--- PROPOSED DRAIN LINE
- s--- PROPOSED SEWER LINE
- s--- PROPOSED SEWER MANHOLE
- w--- PROPOSED TREE LINE

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REAR:	30 FT.	30.0 FT.
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MAXIMUM STORIES	2.5	2.5
LOT COVERAGE:	ALLOWED	PROPOSED
BUILDING:	25% (13,059 sf)	27.4% (14,320 sf)
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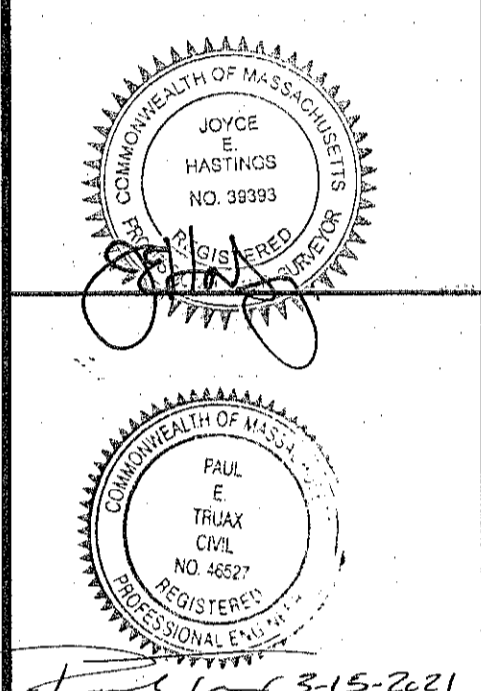
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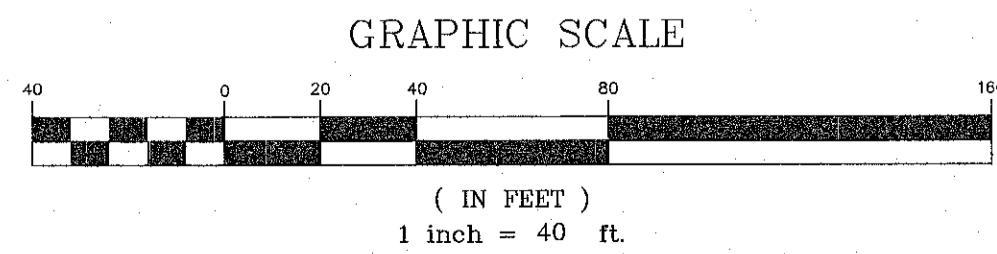
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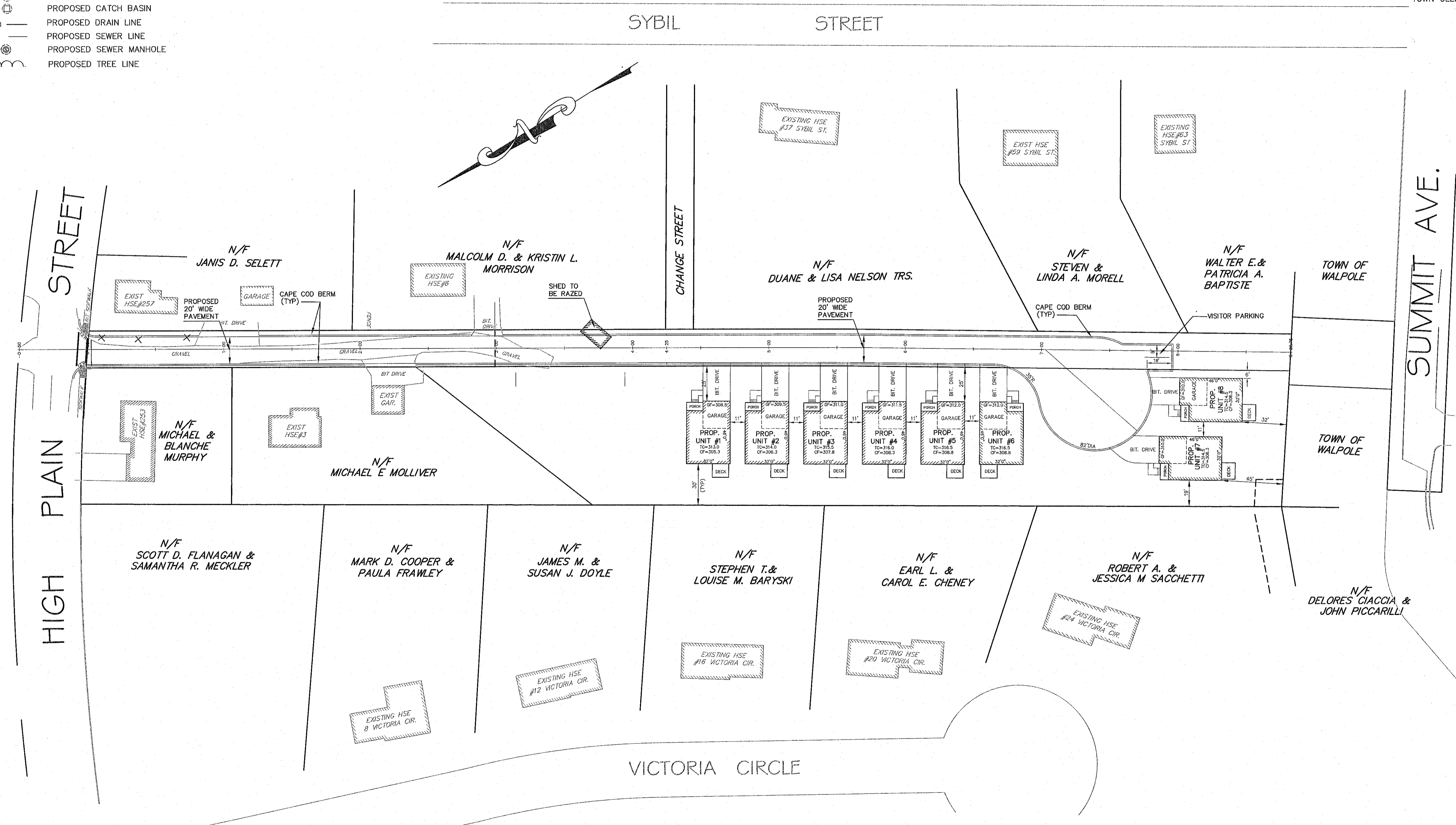
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JOB No.	16,518
DATE:	FEB. 26, 2020
SCALE:	1"=40'
SHEET:	3 of 13
PLAN #:	27,321



**PROPOSED LAYOUT**



**LEGEND:**

- 186--- EXISTING CONTOUR
- 163x2 EXISTING SPOT ELEVATION
- WC<sub>0</sub> EXISTING WATER GATE
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- d--- PROPOSED DRAIN LINE
- s--- PROPOSED SEWER LINE
- m--- PROPOSED SEWER MANHOLE
- t--- PROPOSED TREE LINE
- TC PROPOSED TOP OF FOUNDATION/CONC.
- CF PROPOSED CELLAR FLOOR

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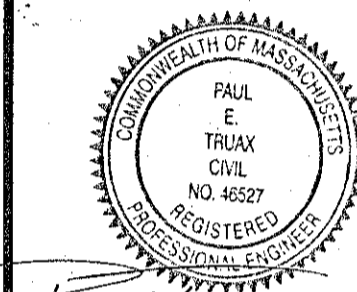
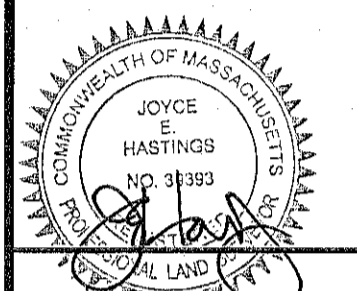
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5	03/15/21	REVISED CUL-DE-SAC	



Paul E. Thruak 3-15-2021

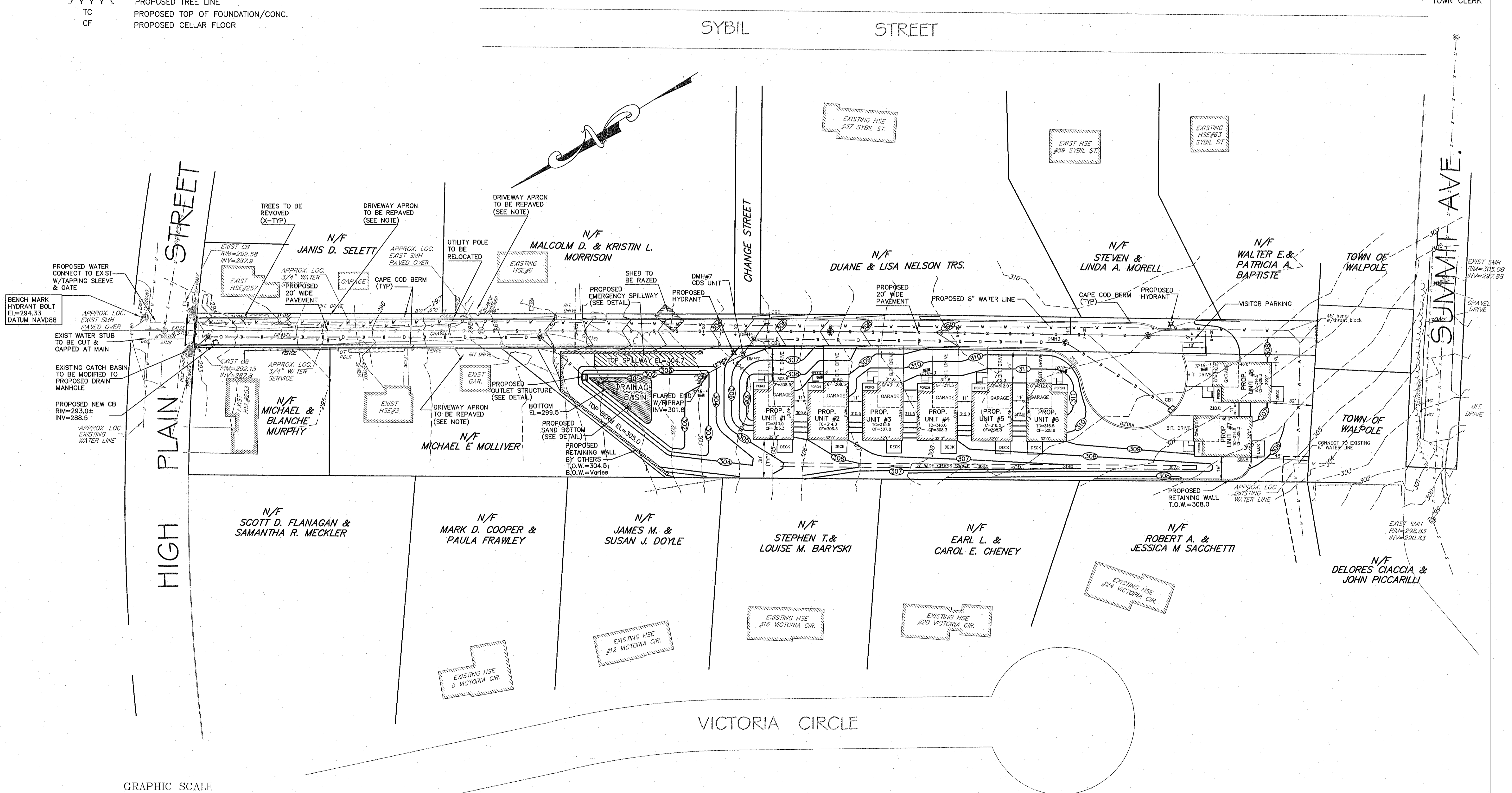
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"DIAMOND HILL ESTATES"  
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PREPARED FOR:  
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WESTWOOD, MA 02090

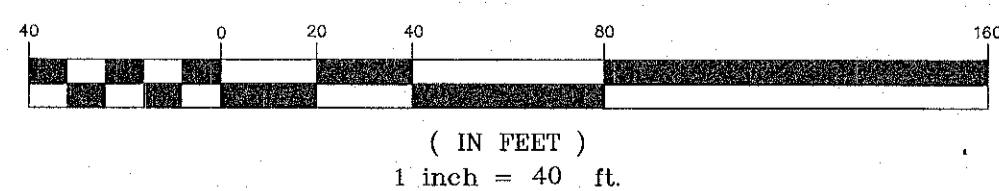
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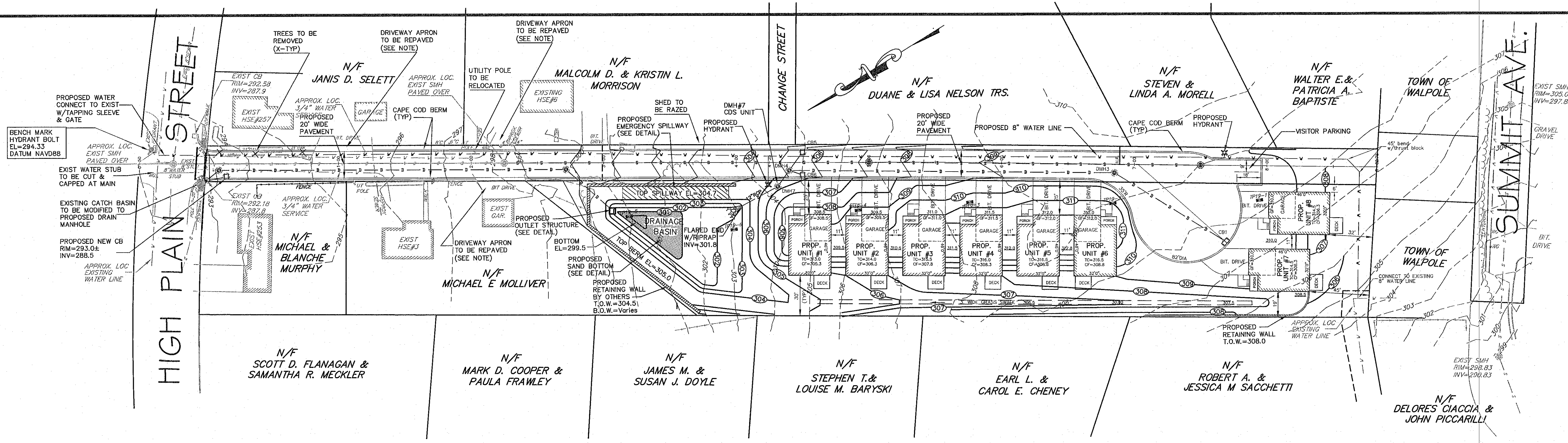
JOB No.	16,518
DATE:	FEB. 26, 2020
SCALE:	1"=40'
SHEET:	4 of 13
PLAN #:	27,321

**GRADING & UTILITIES**

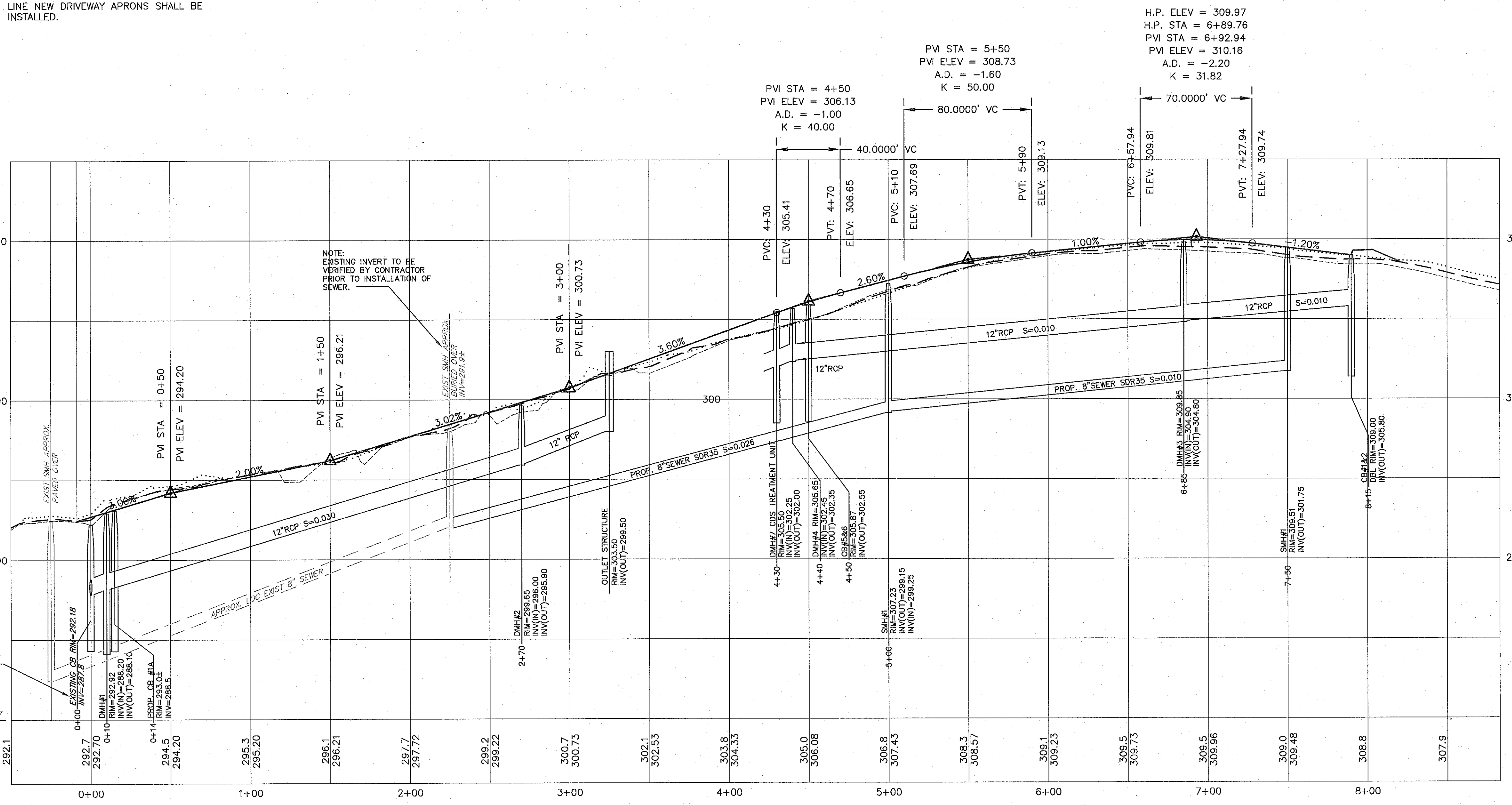


**GRAPHIC SCALE**





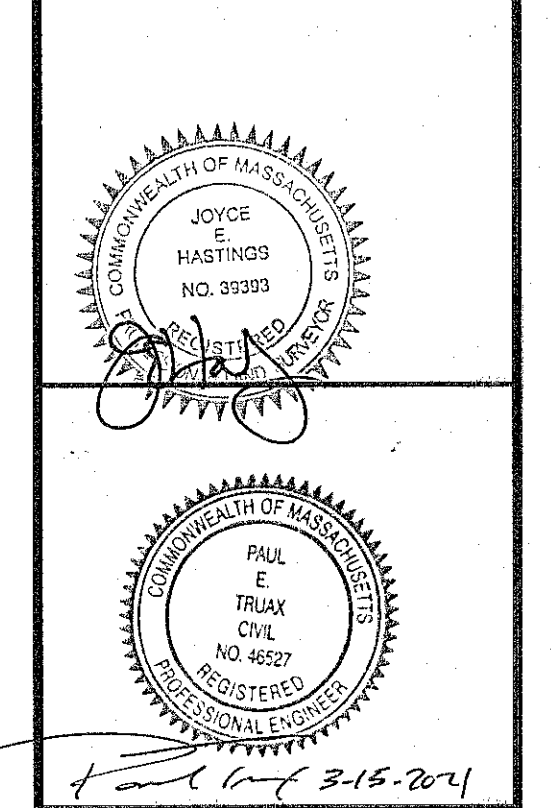
NOTES:  
 1. THE EXISTING DRIVEWAYS ALONG DUPEE STREET SHALL BE CUT BACK TO THE PROPERTY LINE. NEW DRIVEWAY APRONS SHALL BE INSTALLED.



PROFILE DUPEE ST.  
 SCALE: Horiz: 1"=40'; Vert: 1"=4'

ROADWAY PROFILE

NO.	DATE	DESCRIPTION
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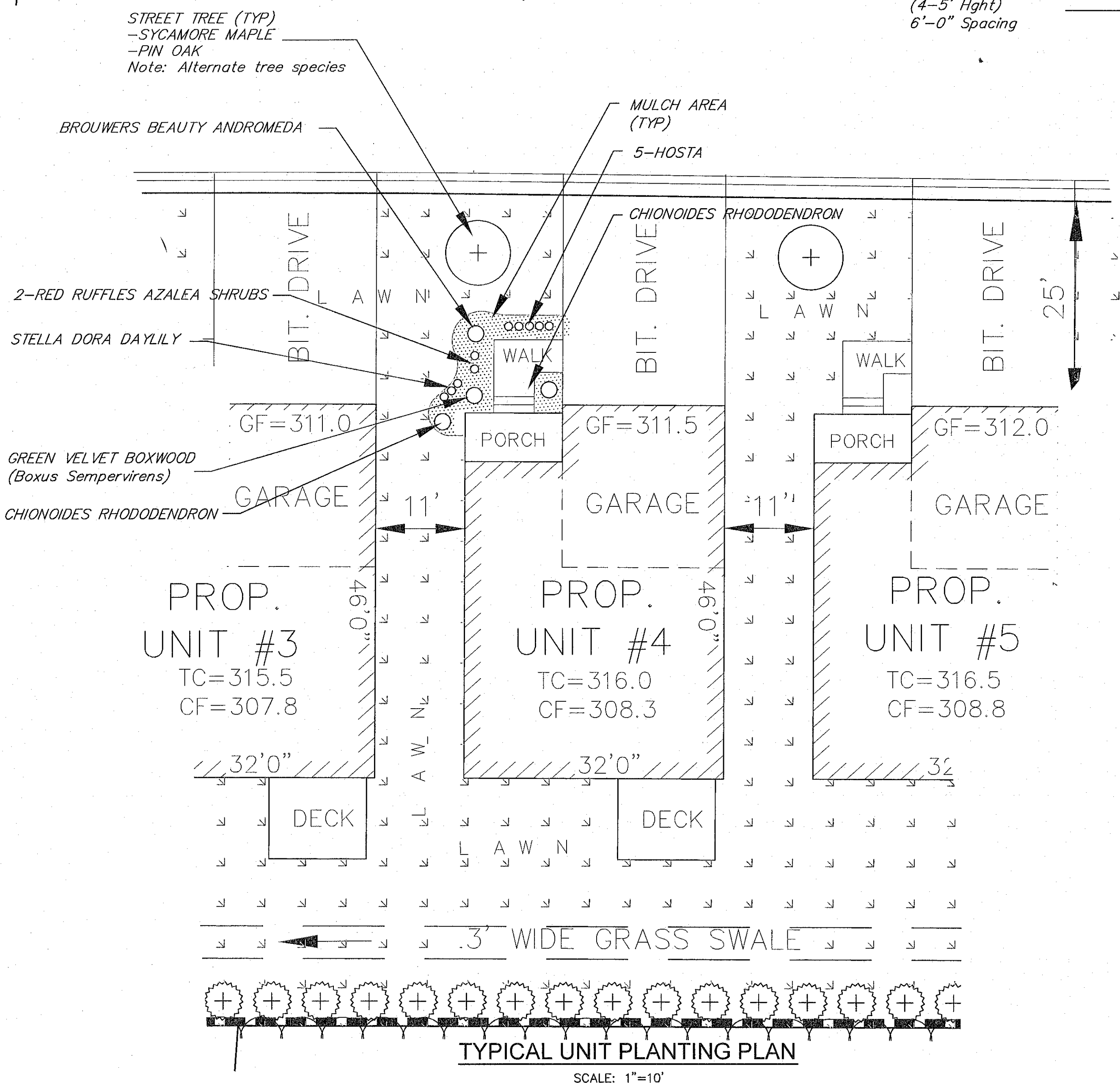
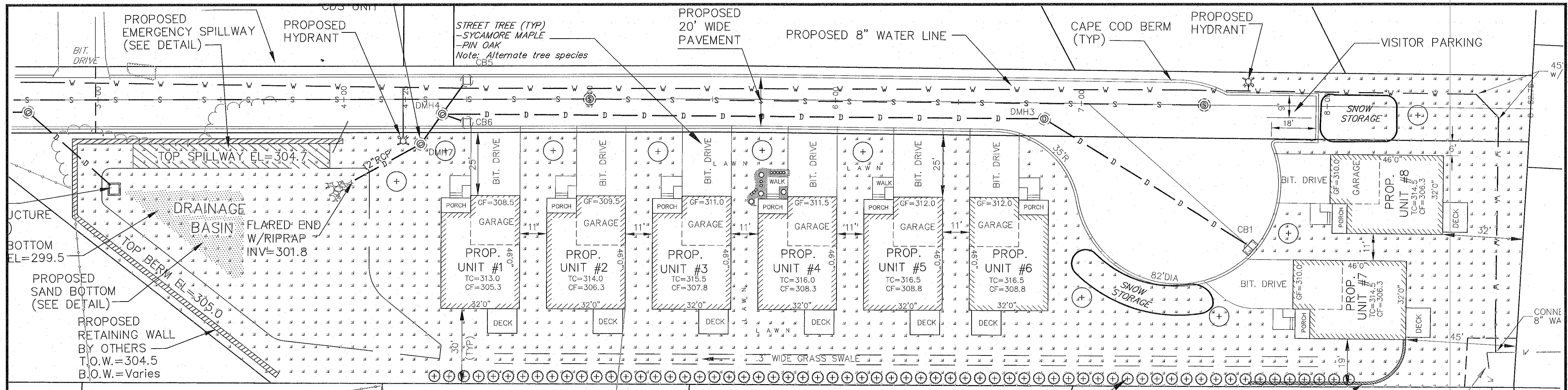
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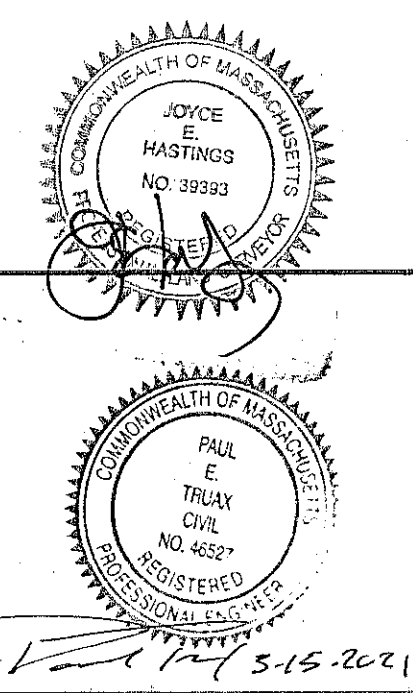
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DATE:	FEB. 26, 2020
SCALE:	1"=40'
SHEET:	5 of 13
PLAN #:	27,321



REVISIONS		DESCRIPTION
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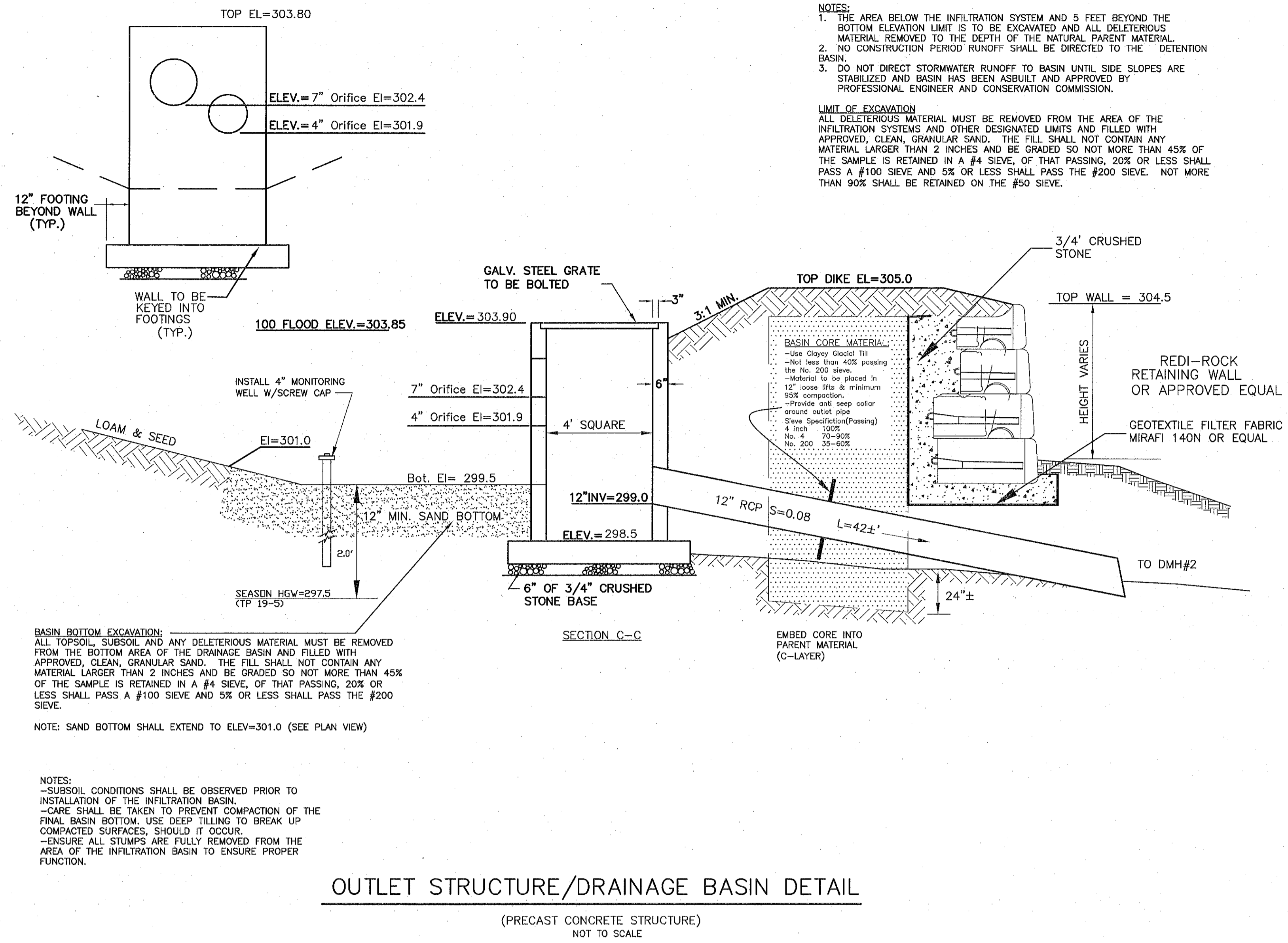
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TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

LANDSCAPE

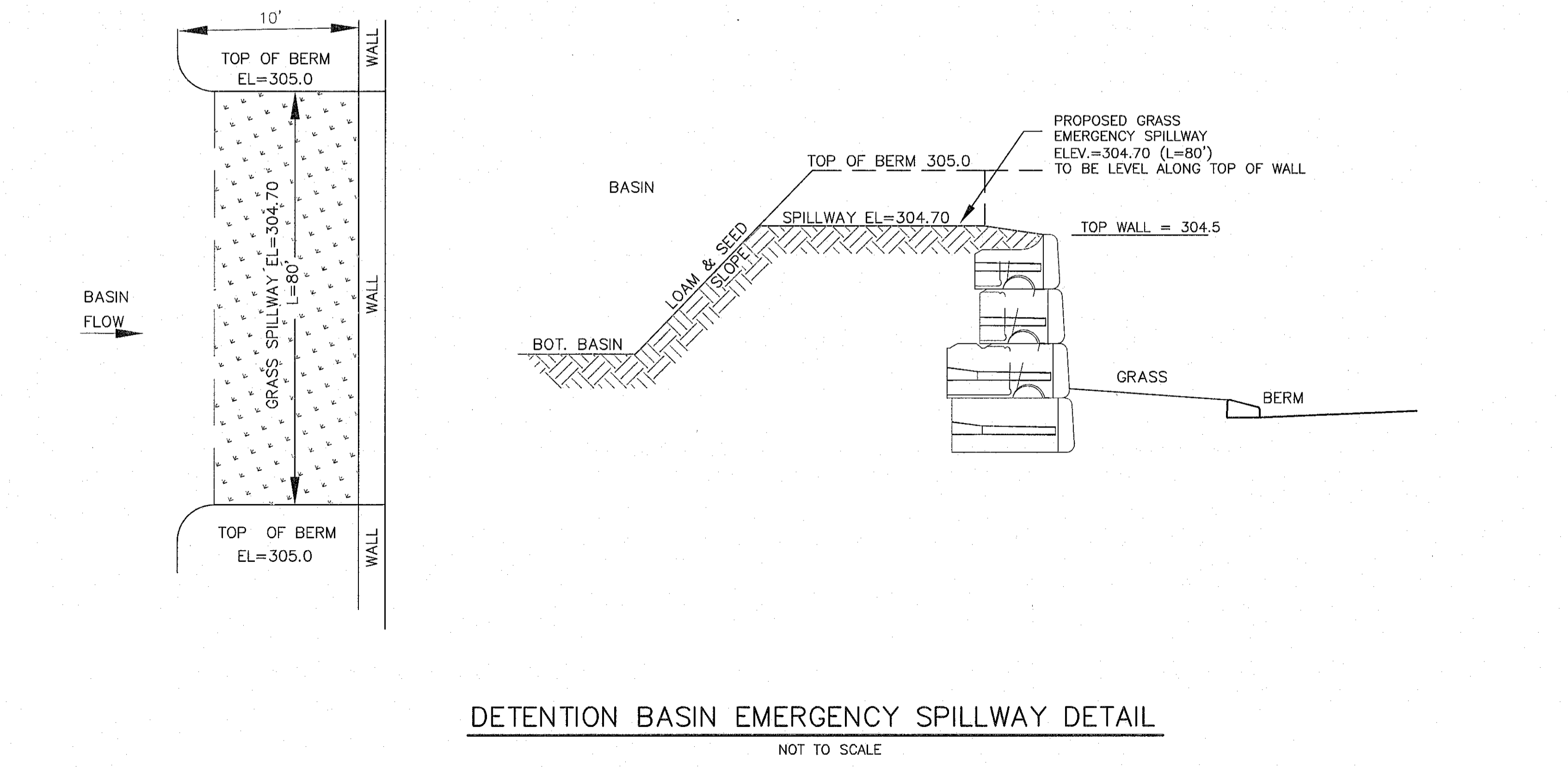
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JOB No. 16,518  
 DATE: FEB. 26, 2020  
 SCALE: 1"=40'  
 SHEET: 6 of 13  
 PLAN #: 27,321



**OUTLET STRUCTURE/DRAINAGE BASIN DETAIL**

(PRECAST CONCRETE STRUCTURE)  
NOT TO SCALE



**DETENTION BASIN EMERGENCY SPILLWAY DETAIL**

NOT TO SCALE

**DEEP OBSERVATION HOLE LOGS**

DEEP HOLE - 19-1	DEEP HOLE - 19-2	DEEP HOLE - 19-3	DEEP HOLE - 19-4	DEEP HOLE - 19-5	DEEP HOLE - 19-6
HORIZ DATE: 7/2/19 DEPTH SOIL DESCRIPTION ELEV. 4" A SANDY LOAM 101R3/2 308.0	HORIZ DATE: 7/2/19 DEPTH SOIL DESCRIPTION ELEV. 4" A SANDY LOAM 101R3/2 309.0	HORIZ DATE: 7/2/19 DEPTH SOIL DESCRIPTION ELEV. 4" A SANDY LOAM 101R3/2 308.3	HORIZ DATE: 7/2/19 DEPTH SOIL DESCRIPTION ELEV. 4" A SANDY LOAM 101R3/2 306.3	HORIZ DATE: 7/2/19 DEPTH SOIL DESCRIPTION ELEV. 4" A SANDY LOAM 101R3/2 300.0	HORIZ DATE: 7/2/19 DEPTH SOIL DESCRIPTION ELEV. 4" A SANDY LOAM 101R3/2 303.0
20" Bw SANDY LOAM 101R5/6 306.3	18" Bw SANDY LOAM 101R5/6 307.5	20" Bw SANDY LOAM 101R5/6 306.6	20" Bw SANDY LOAM 101R5/6 105.0	20" Bw SANDY LOAM 101R5/6 298.3	28" Bw SANDY LOAM 101R5/6 300.6
108" C SANDY LOAM Med-Coarse 3% Cobbles 2.515/4 299.0	115" C SANDY LOAM Med-Coarse 3% Cobbles 2.515/4 329.9	118" C SANDY LOAM Med-Coarse 3% Cobbles 2.515/4 298.4	108" C SANDY LOAM Med-Coarse 3% Cobbles 2.515/4 101.1	92" C SANDY LOAM Med-Coarse 3% Cobbles 2.515/4 292.3	104" C SANDY LOAM Med-Coarse 3% Cobbles 2.515/4 294.3
None GROUNDWATER OBSERVED	None GROUNDWATER OBSERVED	None GROUNDWATER OBSERVED	None GROUNDWATER OBSERVED	None GROUNDWATER OBSERVED	None GROUNDWATER OBSERVED
30" SOIL MOTTLING 305.5	30" SOIL MOTTLING 306.5	30" SOIL MOTTLING 305.8	30" SOIL MOTTLING 303.8	30" SOIL MOTTLING 297.5	30" SOIL MOTTLING 300.5
30" GROUNDWATER MONITORED ESTIMATED SEASONAL HIGH GROUNDWATER 305.5	30" GROUNDWATER MONITORED ESTIMATED SEASONAL HIGH GROUNDWATER 306.5	30" GROUNDWATER MONITORED ESTIMATED SEASONAL HIGH GROUNDWATER 305.8	30" GROUNDWATER MONITORED ESTIMATED SEASONAL HIGH GROUNDWATER 303.8	30" GROUNDWATER MONITORED ESTIMATED SEASONAL HIGH GROUNDWATER 297.5	30" GROUNDWATER MONITORED ESTIMATED SEASONAL HIGH GROUNDWATER 300.5

APPROVED BY THE  
WALPOLE ZONING BOARD  
OF APPEALS:

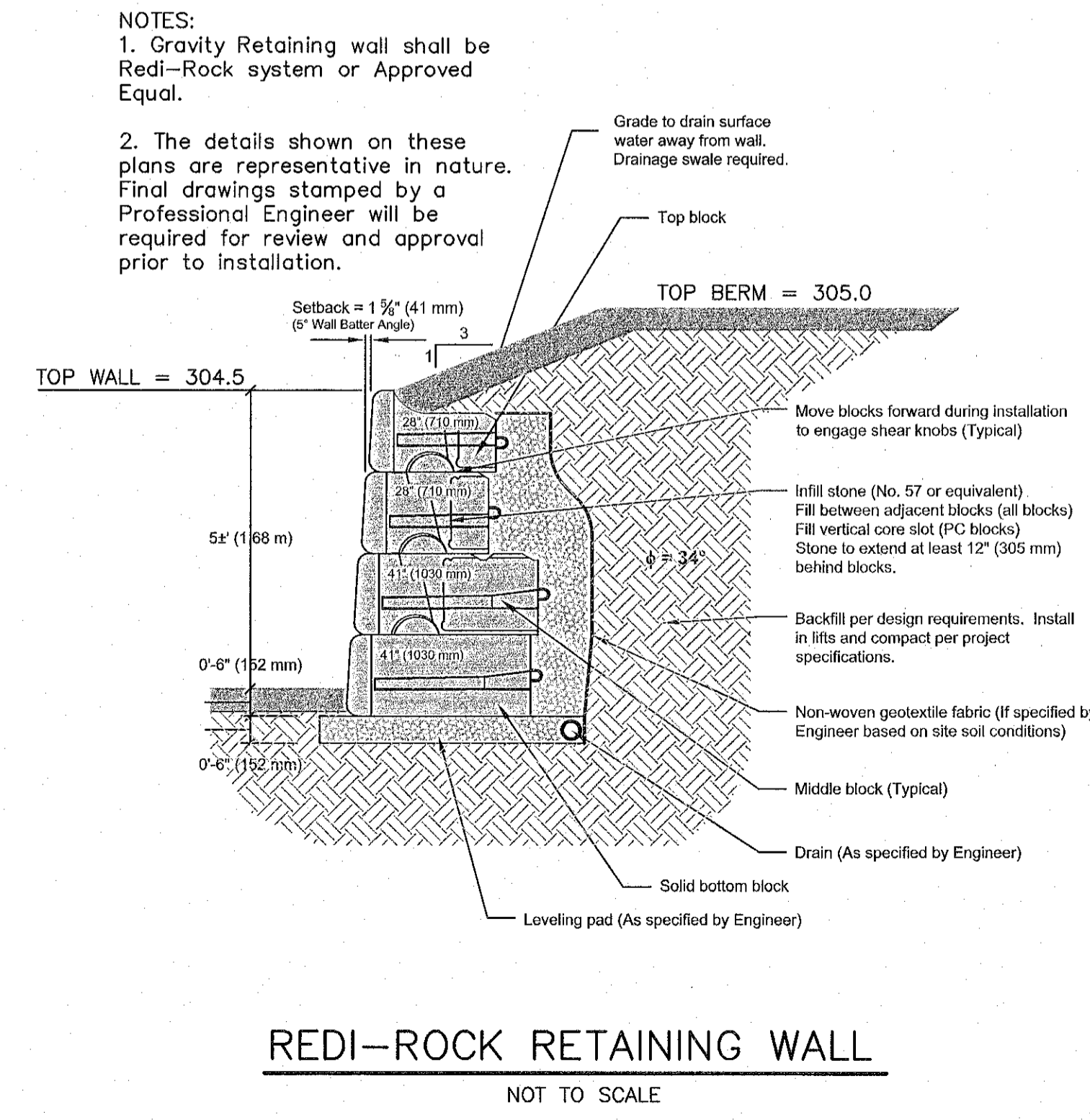
DATE APPROVED: \_\_\_\_\_

DATE ENDORSED: \_\_\_\_\_

I TOWN CLERK OF THE TOWN OF WALPOLE RECEIVED & RECORDED FROM THE ZONING BOARD OF APPEALS, APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

TOWN CLERK \_\_\_\_\_

DATE \_\_\_\_\_



**REDI-ROCK RETAINING WALL**

NOT TO SCALE

**REVISIONS**

No.	DATE	DESCRIPTION
1	6/02/20	ZONING BOARD COMMENTS
2	8/05/20	DRAINAGE ANALYSIS
3	11/30/20	ZBA & PEER REVIEW COMMENTS
4	02/03/21	ZBA & PEER REVIEW COMMENTS
5	03/15/21	REVISED CUL-DE-SAC

**DATE** 6/02/20

**DESCRIPTION** ZONING BOARD COMMENTS

**DATE** 8/05/20

**DESCRIPTION** DRAINAGE ANALYSIS

**DATE** 11/30/20

**DESCRIPTION** ZBA & PEER REVIEW COMMENTS

**DATE** 02/03/21

**DESCRIPTION** ZBA & PEER REVIEW COMMENTS

**DATE** 03/15/21

**DESCRIPTION** REVISED CUL-DE-SAC

**APPROVED BY THE WALPOLE ZONING BOARD OF APPEALS:**

**DATE APPROVED:** \_\_\_\_\_

**DATE ENDORSED:** \_\_\_\_\_

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**TOWN CLERK** \_\_\_\_\_

**DATE** \_\_\_\_\_

**PREPARED FOR:** WALL STREET DEVELOPMENT CORP.  
P.O. BOX 272  
WESTWOOD, MA 02090

**GLM Engineering Consultants, Inc.**  
19 EXCHANGE STREET  
HOLLISTON, MA 01746  
P: 508-429-1100  
F: 508-429-7160  
www.GLMengineering.com

**JOB No.** 16,518

**DATE:** FEB. 26, 2020

**SCALE:** 1"=40'

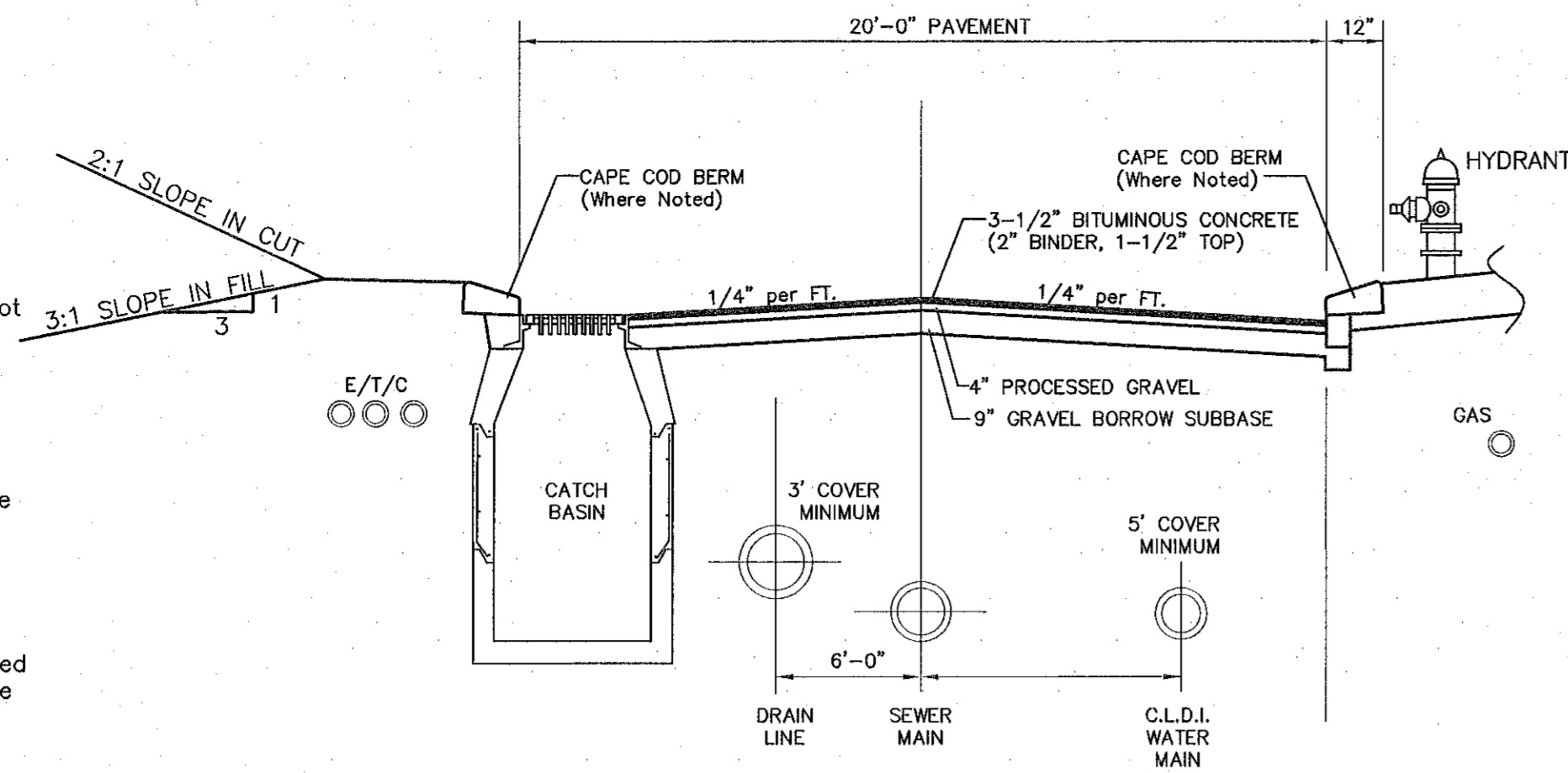
**SHEET:** 7 of 13

**PLAN #:** 27,321

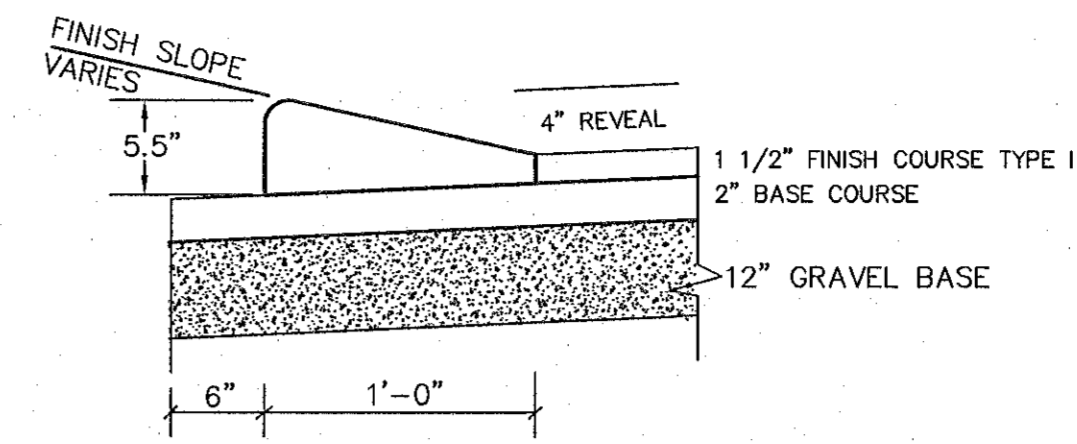
**DETAILS**

**NOTES**

- A) Gravel borrow subbase shall conform to section M1.03.0 type b, three inches largest dimension of the latest edition of the Massachusetts Highway Department Standard Specifications for Highways and Bridges (Standard Specifications).
- B) Gravel borrow subbase shall be compacted to not less than 95 percent of maximum dry density of the material as determined by the Standard AASHTO Test Designation T99 compaction test method C at optimum moisture content as determined by the engineer.
- C) "Tac Coat" as specified in Section 486.61 of the Standard Specifications shall be applied by "tac truck" between asphalt layers or as determined by the engineer.
- D) Soils testing including sieve analysis, proctor testing and compaction testing shall be performed once every 100 feet of paved roadway along the centerline of the roadway or as directed by the engineer.
- E) Sidewalk ramps must meet current applicable ADA / AAB standards.



**TYPICAL DRIVE CROSS SECTION**  
NOT TO SCALE



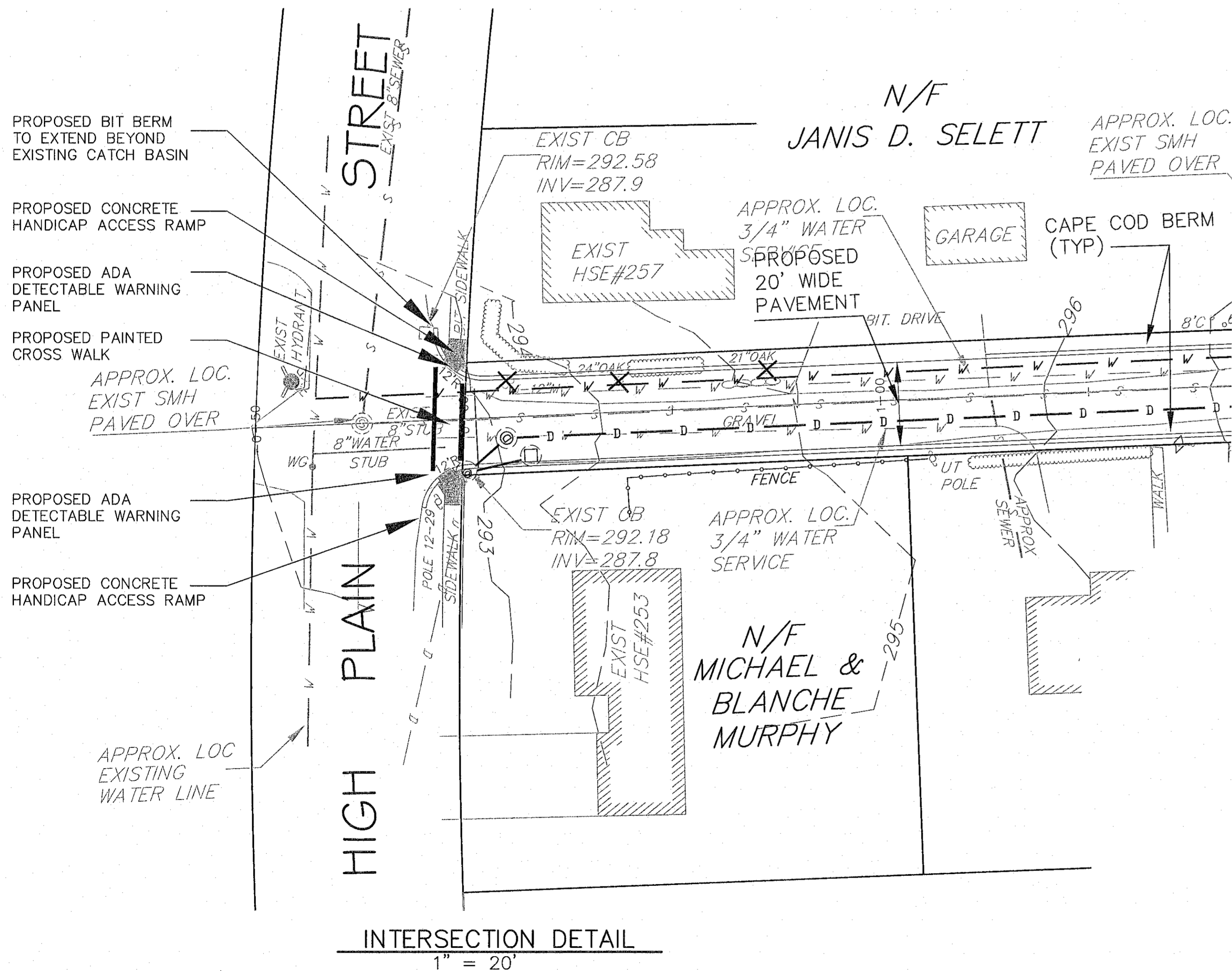
**CAPE COD BERM DETAIL**  
NOT TO SCALE

APPROVED BY THE WALPOLE ZONING BOARD OF APPEALS:

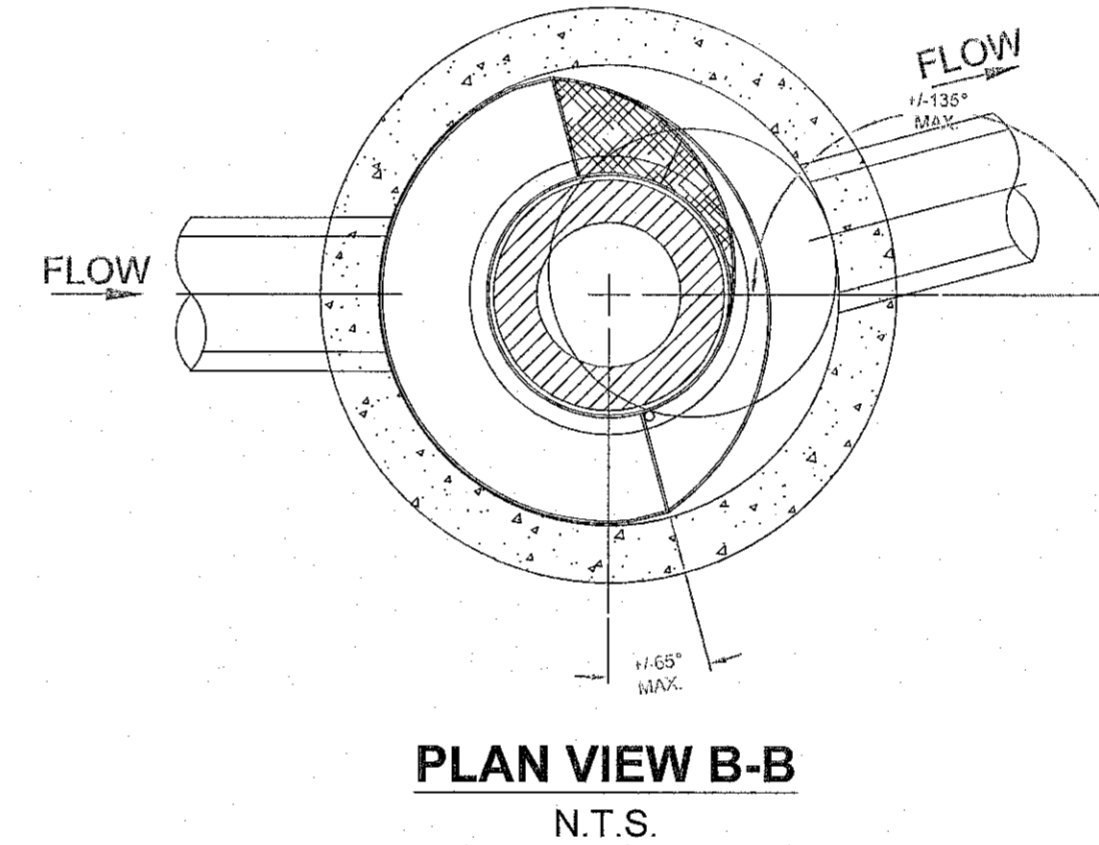
DATE APPROVED: \_\_\_\_\_  
DATE ENDORSED: \_\_\_\_\_

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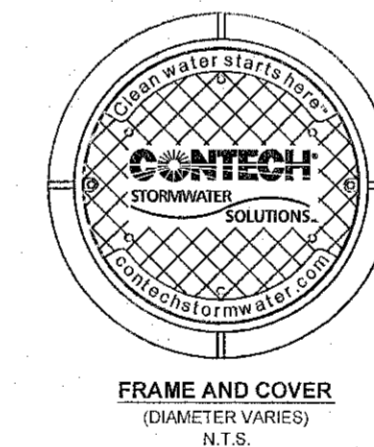
TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_



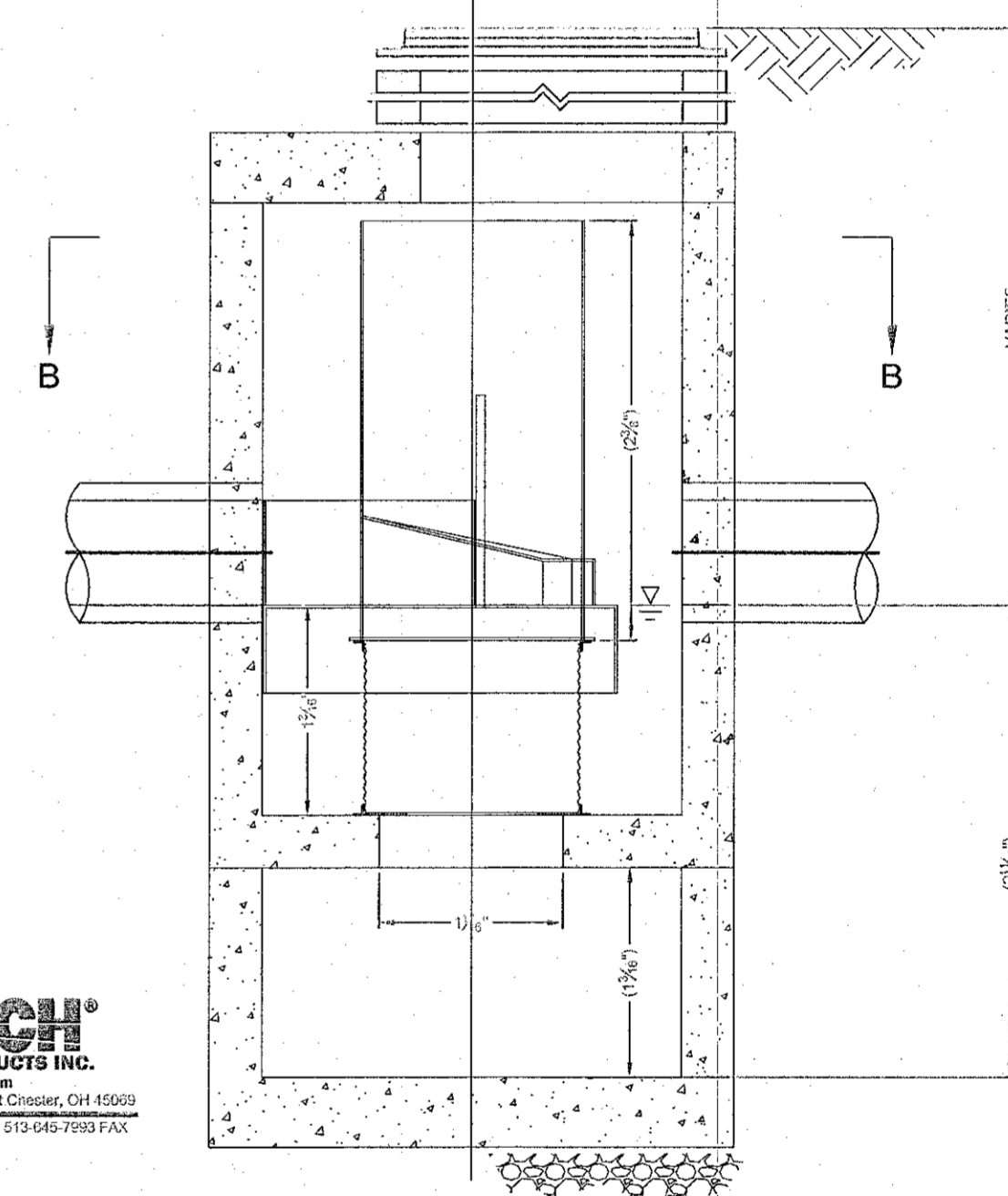
**INTERSECTION DETAIL**  
1" = 20'



**PLAN VIEW B-B**  
N.T.S.



**FRAME AND COVER**  
DIAMETER VARIES  
N.T.S.



**ELEVATION A-A**  
N.T.S.

- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
  - DIMENSIONS MARKED WITH ( ) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
  - FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH CONSTRUCTION PRODUCTS REPRESENTATIVE - www.contech-cp.com
  - CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
  - STRUCTURE SHALL MEET AASHTO HS20 AND CASTINGS SHALL MEET AASHTO M306 LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
  - PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
  - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
  - CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
  - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
  - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

**WATER QUALITY UNIT DETAIL**  
CDS1515-3-C CDS INLINE STANDARD DETAIL  
NOT TO SCALE

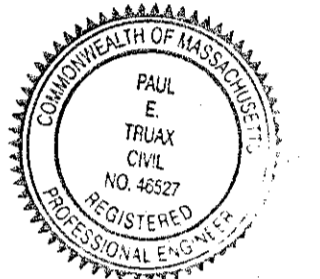
**Note:**  
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**TOWN OF WALPOLE, MASSACHUSETTS**  
**DEPARTMENT OF PUBLIC WORKS**  
**PLAN SHOWING TYPICAL**  
**ROADWAY DETAILS**

- 1 7-11-06 DRAWN TO AUTOCAD FILE MAJ
- 2 12-9-06 ADDED SLOPED GRANITE DETAILS MAJ

**DETAILS**

NO.	DATE	DESCRIPTION
1	6/02/20	ZONING BOARD COMMENTS
2	8/05/20	DRAINAGE ANALYSIS
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4	02/03/21	ZBA & PEER REVIEW COMMENTS
5	03/15/21	REVISED CUL-DE-SAC



Paul E. Triak 3-15-2021

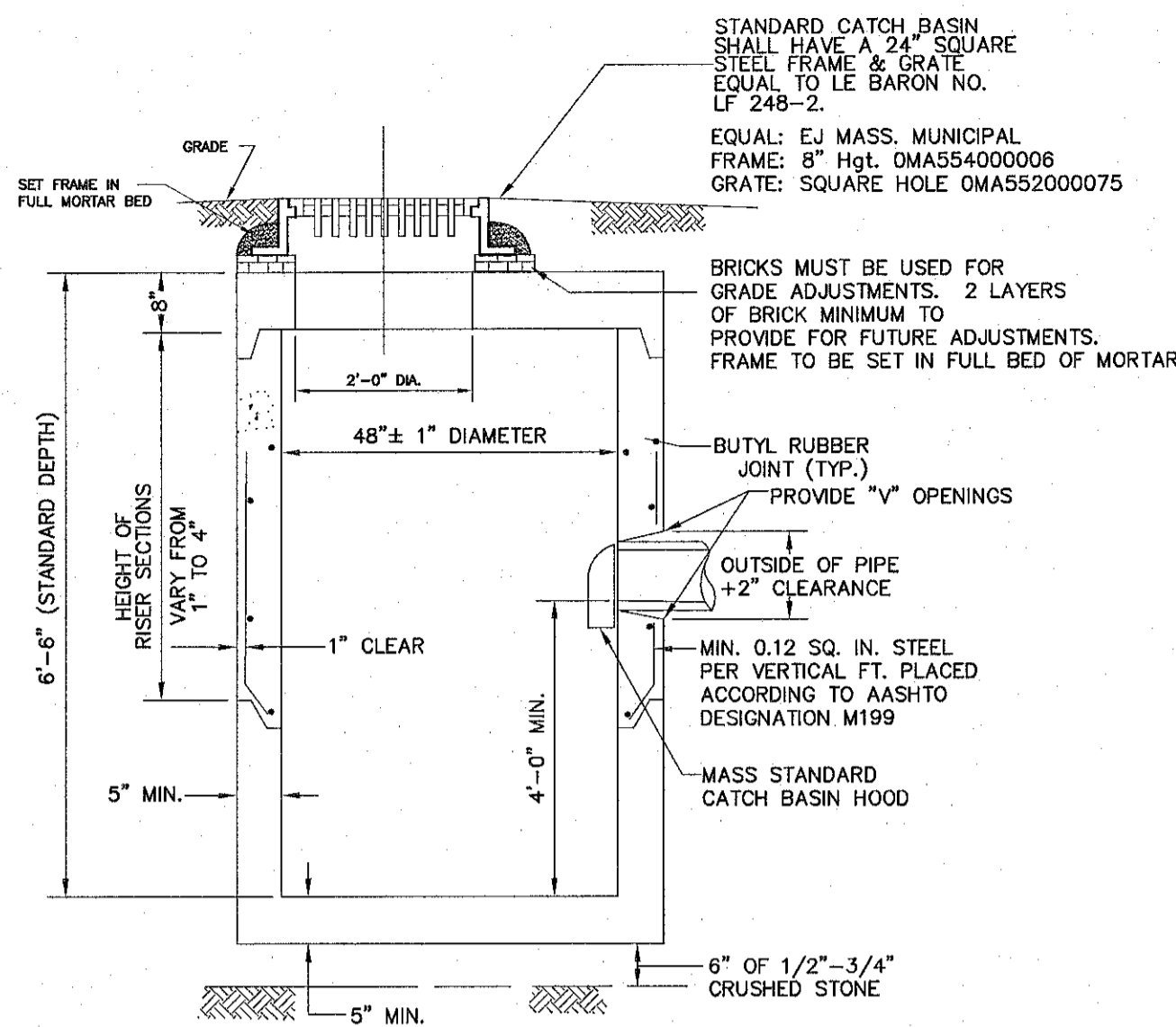
**SITE DEVELOPMENT PLAN**  
**A COMPREHENSIVE PERMIT M.G.L.C. 40B**  
**"DIAMOND HILL ESTATES"**  
**WALPOLE, MASSACHUSETTS**

PREPARED FOR:  
WALL STREET DEVELOPMENT CORP.  
P.O. BOX 272  
WESTWOOD, MA 02090

**GLM** Engineering Consultants, Inc.  
19 EXCHANGE STREET  
HOLLISTON, MA 01746  
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www.GLMengineering.com

JOB No.	16,518
DATE:	FEB. 26, 2020
SCALE:	1"=40'
SHEET:	8 of 13
PLAN #:	27,321

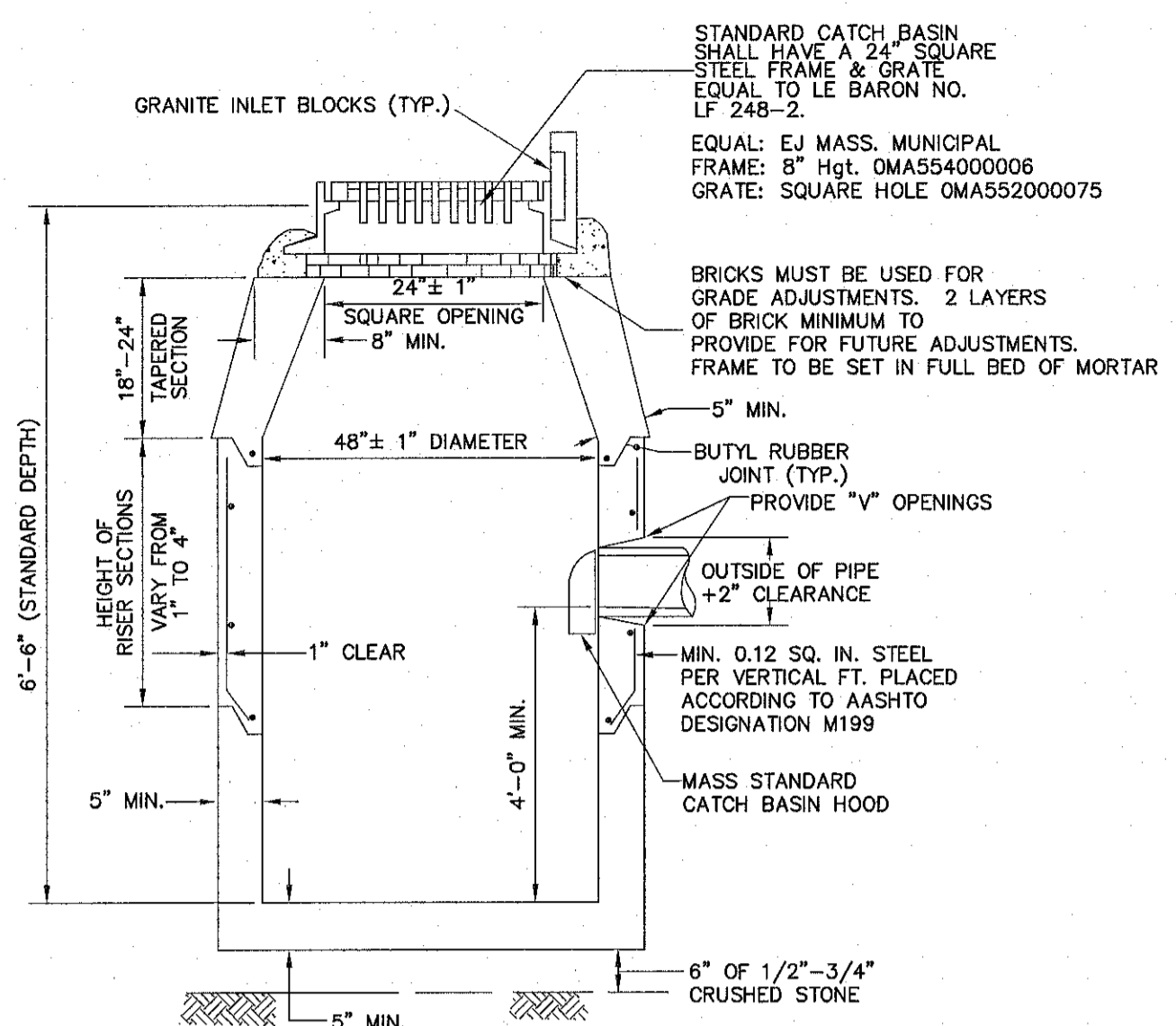




NOTE: NO BELL ENDS IN CATCH BASIN. CONNECTIONS TO BE TIGHTLY SEALED WITH MORTAR.

PRECAST CONCRETE CATCH BASIN DETAILS  
FLAT TOP W/24" ECCENTRIC OPENING

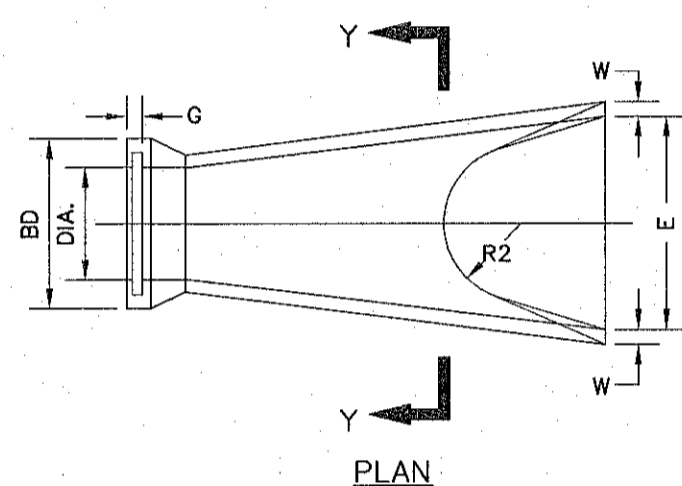
NOT TO SCALE  
NOTE: TO BE INSTALLED AT CB#1A



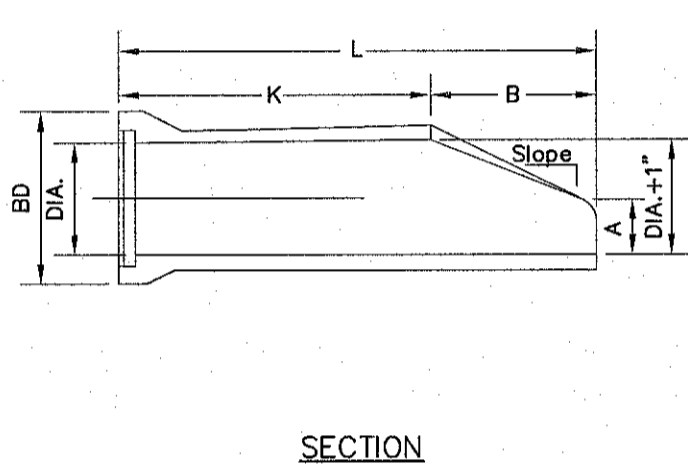
NOTE: NO BELL ENDS IN CATCH BASIN. CONNECTIONS TO BE TIGHTLY SEALED WITH MORTAR.

PRECAST CONCRETE CATCH BASIN DETAILS

NOT TO SCALE



SECTION Y-Y

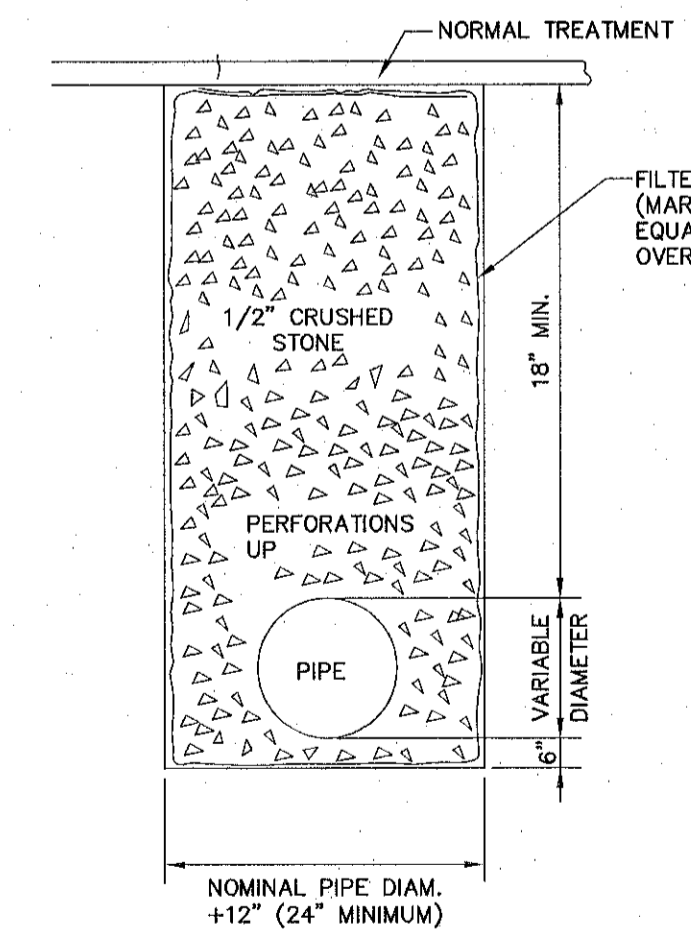


SECTION

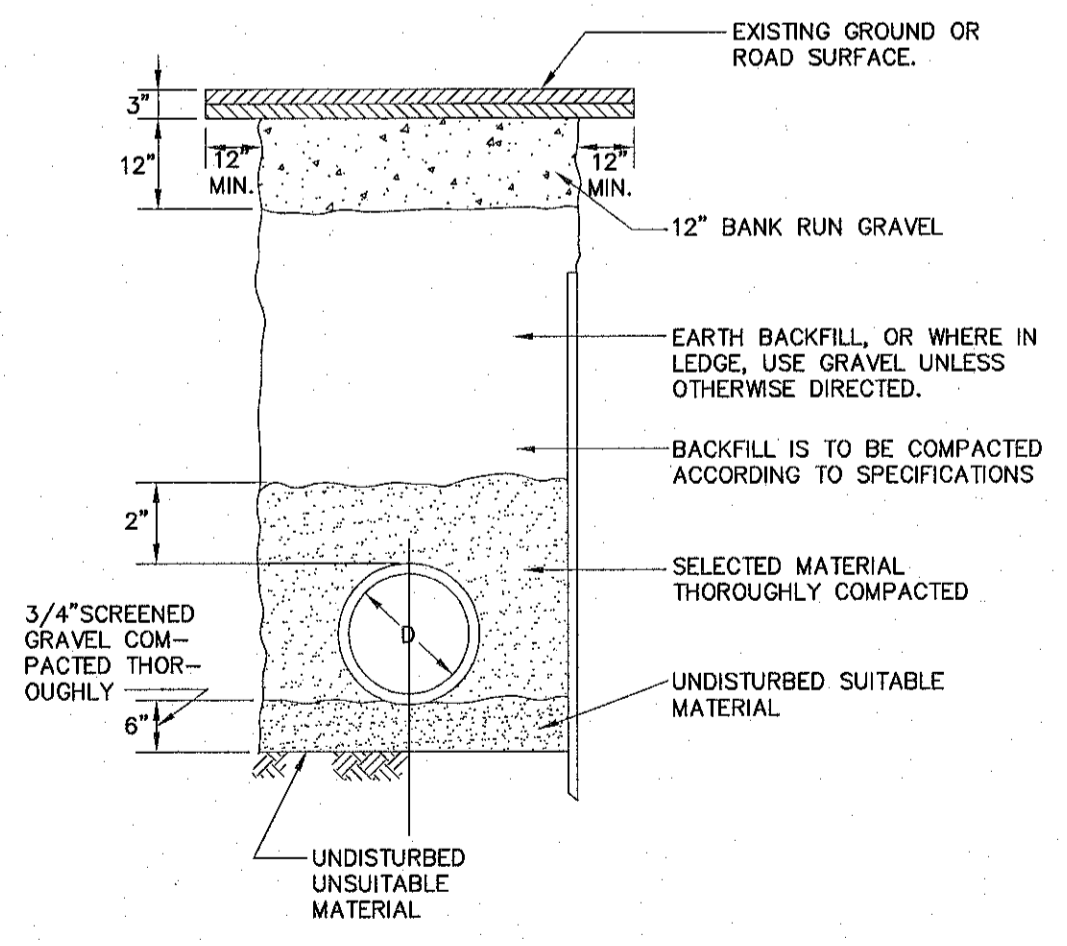
DIA.	W	A	B	C	D	E	BD	K	L	P	DIA. +1"	R1	R2	S	G	Slope
12"	2"	4"	2'-0"	4'-0 7/8"	6'-1 3/8"	2'-0"	20"	4'-8 1/8"	6'-4 1/8"	18 15/16"	13"	10 1/8"	9"	4"	2 1/2"	3:1
15"	2 1/4"	6"	2'-3"	3'-10"	6'-1 1/2"	2'-6"	24"	4'-3 11/16"	6'-4 11/16"	24 5/16"	16"	12 1/2"	11"	4"	2 1/2"	3:1
18"	2 1/2"	9"	2'-3"	3'-10"	6'-1"	3'-0"	28"	4'-3 7/8"	6'-4 7/8"	29"	19"	15 1/2"	12"	4"	2 3/4"	3:1
21"	2 3/4"	9"	2'-11"	3'-2"	6'-1"	3'-6"	32"	4'-8 5/8"	6'-7 5/8"	31 5/8"	22"	16 1/8"	13"	4"	2 3/4"	3:1
24"	3"	9 1/2"	3'-7 1/2"	2'-6"	6'-1"	4'-0"	36"	5'-4 1/2"	6'-8"	33 3/8"	25"	16 13/16"	14"	4"	3"	3:1

R.C.P. FLARED END SECTION DETAILS

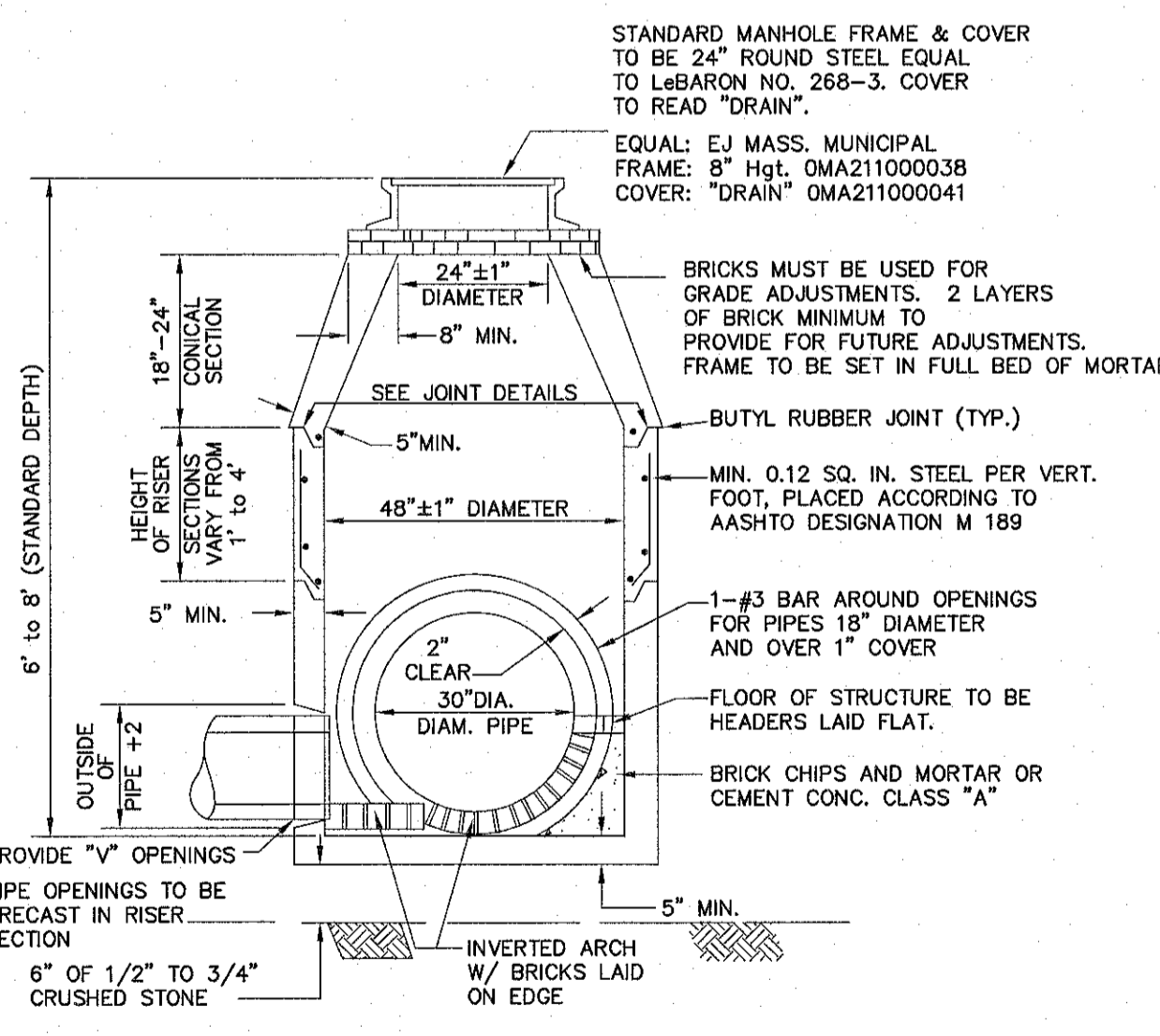
NOT TO SCALE



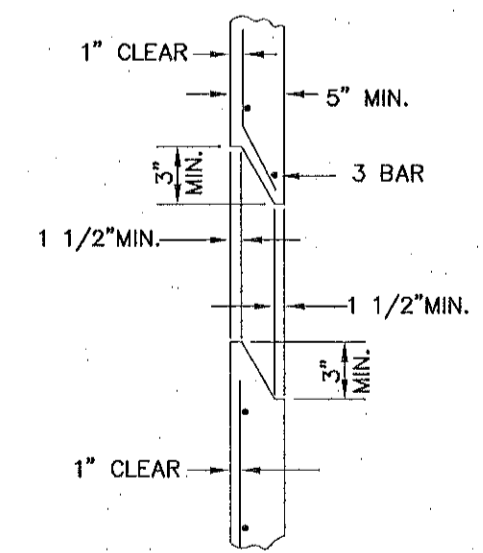
SUBDRAIN DETAILS  
NOT TO SCALE



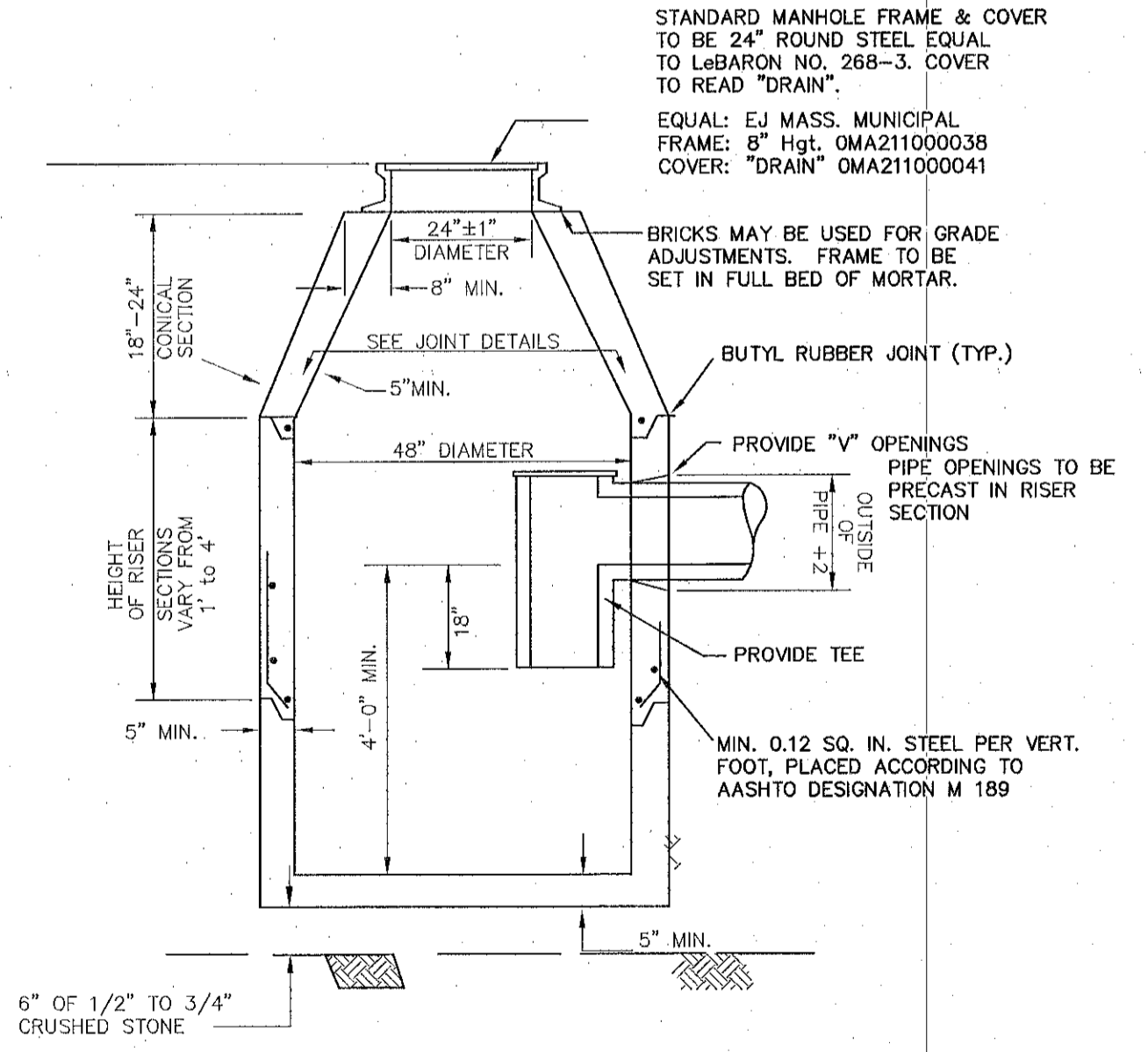
TYPICAL DRAIN TRENCH DETAILS  
NOT TO SCALE



PRECAST CONCRETE MANHOLE DETAILS  
NOT TO SCALE



PRECAST STRUCTURE JOINT DETAILS  
NOT TO SCALE



PRECAST 4' SUMP MANHOLE DETAIL  
NOT TO SCALE

I TOWN CLERK OF THE TOWN OF WALPOLE RECEIVED & RECORDED FROM THE ZONING BOARD OF APPEALS, APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

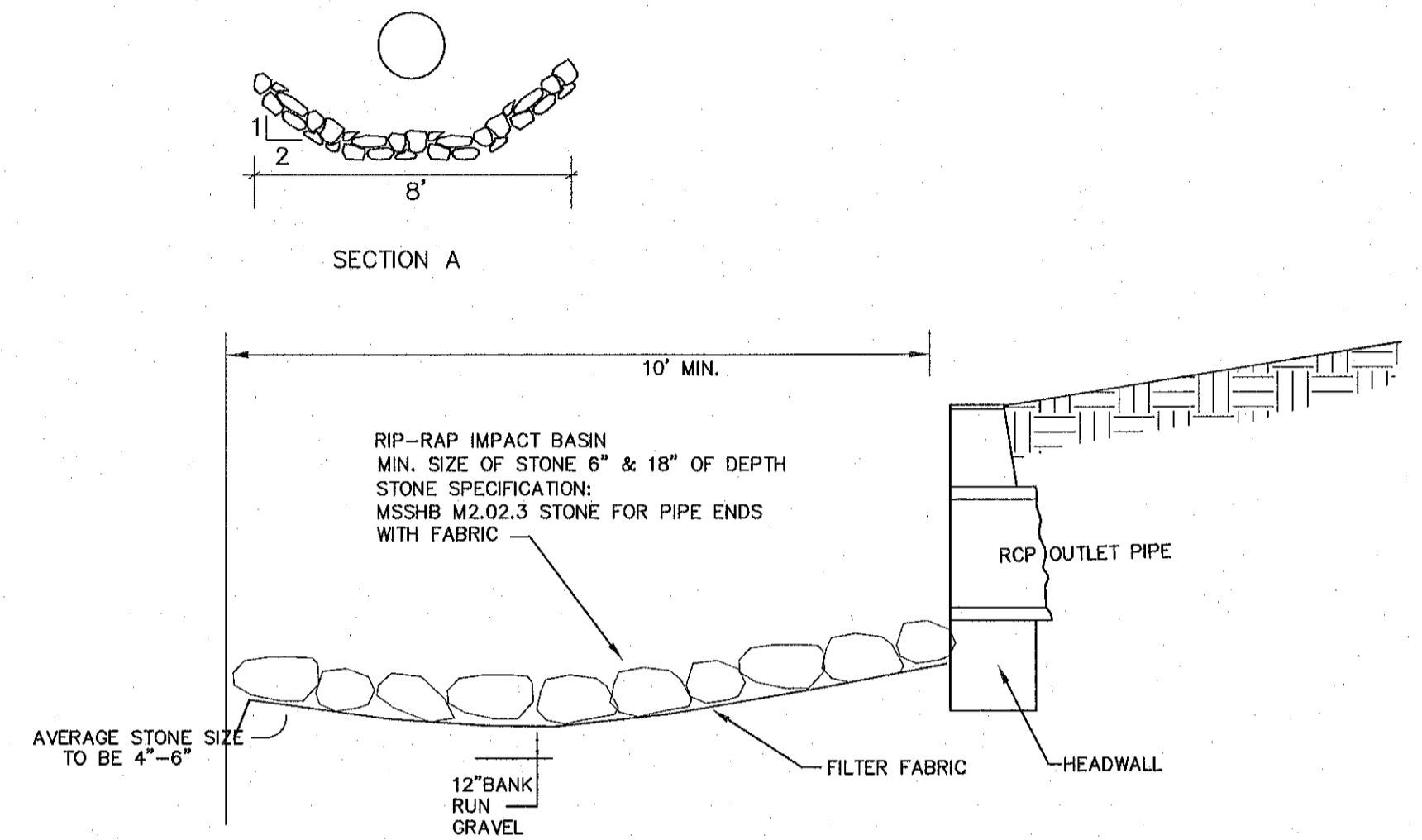
TOWN CLERK

DATE

APPROVED BY THE WALPOLE ZONING BOARD OF APPEALS:

DATE APPROVED:

DATE ENDORSED:

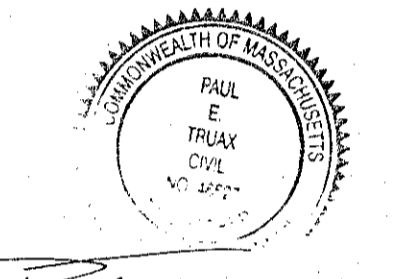


RIP-RAP DETAIL HEADWALLS

NOT TO SCALE

STANDARD MANHOLE FRAME & COVER TO BE 24" ROUND STEEL EQUAL TO LEBARON NO. 268-3. COVER TO READ "DRAIN".  
EQUAL: EJ MASS. MUNICIPAL FRAME: 8" Hgt. OMA211000038 COVER: "DRAIN" OMA211000041

No.	DATE	DESCRIPTION
1	6/02/20	ZONING BOARD COMMENTS
2	8/05/20	DRAINAGE ANALYSIS
3	11/30/20	ZBA & PEER REVIEW COMMENTS
4	02/03/21	ZBA & PEER REVIEW COMMENTS
5	03/15/21	REVISED CUL-DE-SAC



Paul E. Truax 3-15-2021

SITE DEVELOPMENT PLAN  
A COMPREHENSIVE PERMIT M.G.L.c. 40B  
"DIAMOND HILL ESTATES"  
WALPOLE, MASSACHUSETTS  
PREPARED FOR:  
WALL STREET DEVELOPMENT CORP.  
P.O. BOX 2772  
WESTWOOD, MA 02090

GLM Engineering Consultants, Inc.  
19 EXCHANGE STREET  
HOLLISTON, MA 01746  
P: 508-429-1100  
F: 508-429-7160  
www.GLMengineering.com

JOB No.	16,518
DATE:	FEB. 26, 2020
SCALE:	1"=40'
SHEET:	9 of 13
PLAN #:	27,321

TOWN OF WALPOLE, MASSACHUSETTS  
DEPARTMENT OF PUBLIC WORKS  
PLAN SHOWING TYPICAL  
DRAINAGE CONSTRUCTION DETAILS

REV. #	DATE	DESCRIPTION	BY
1	7-11-08	DRAWN TO APPROX FILE	MAJ
2	11-09-08	MANY REVISIONS	MAJ

DETAILS

Note:  
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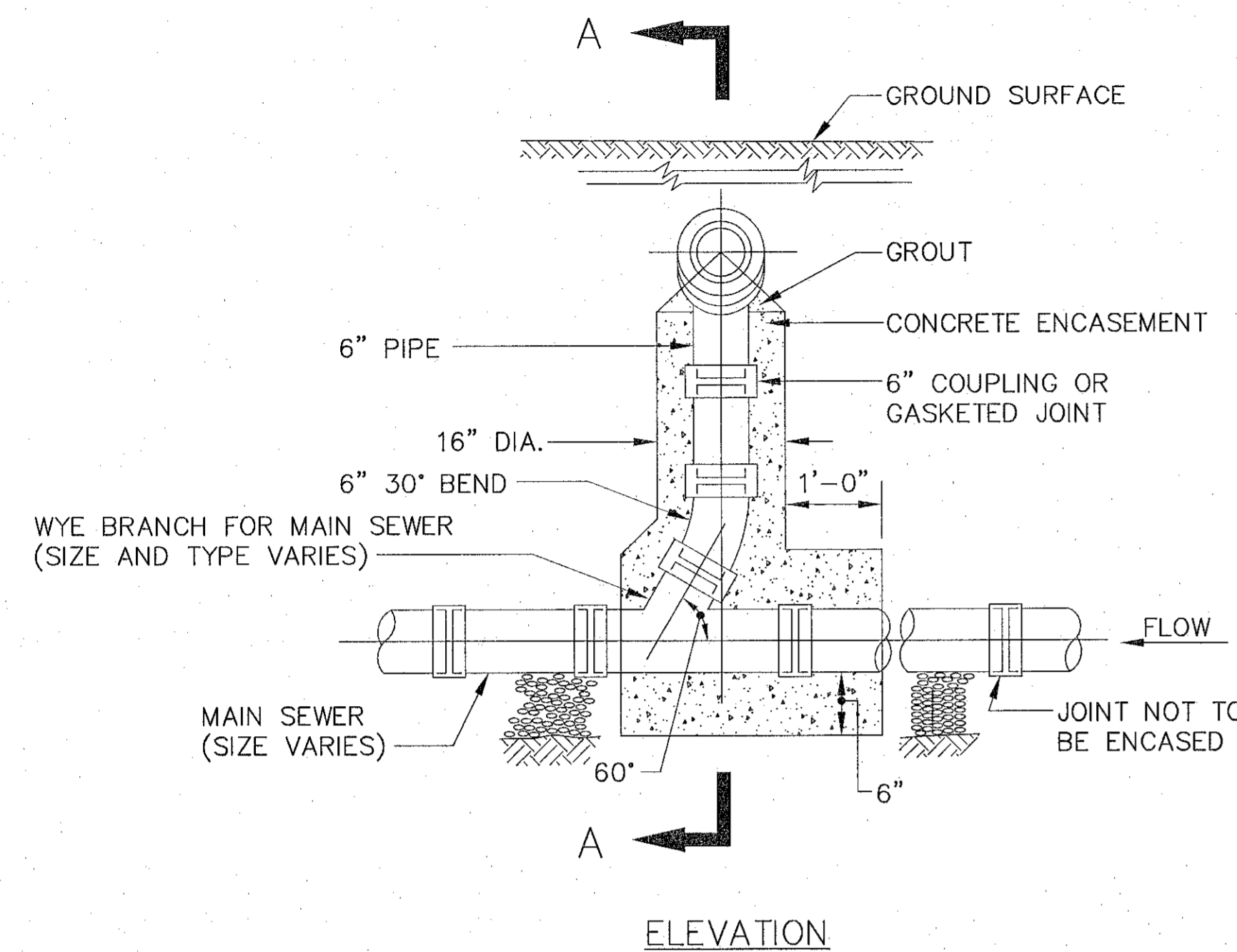
APPROVED BY THE  
WALPOLE ZONING BOARD  
OF APPEALS:

DATE APPROVED: \_\_\_\_\_

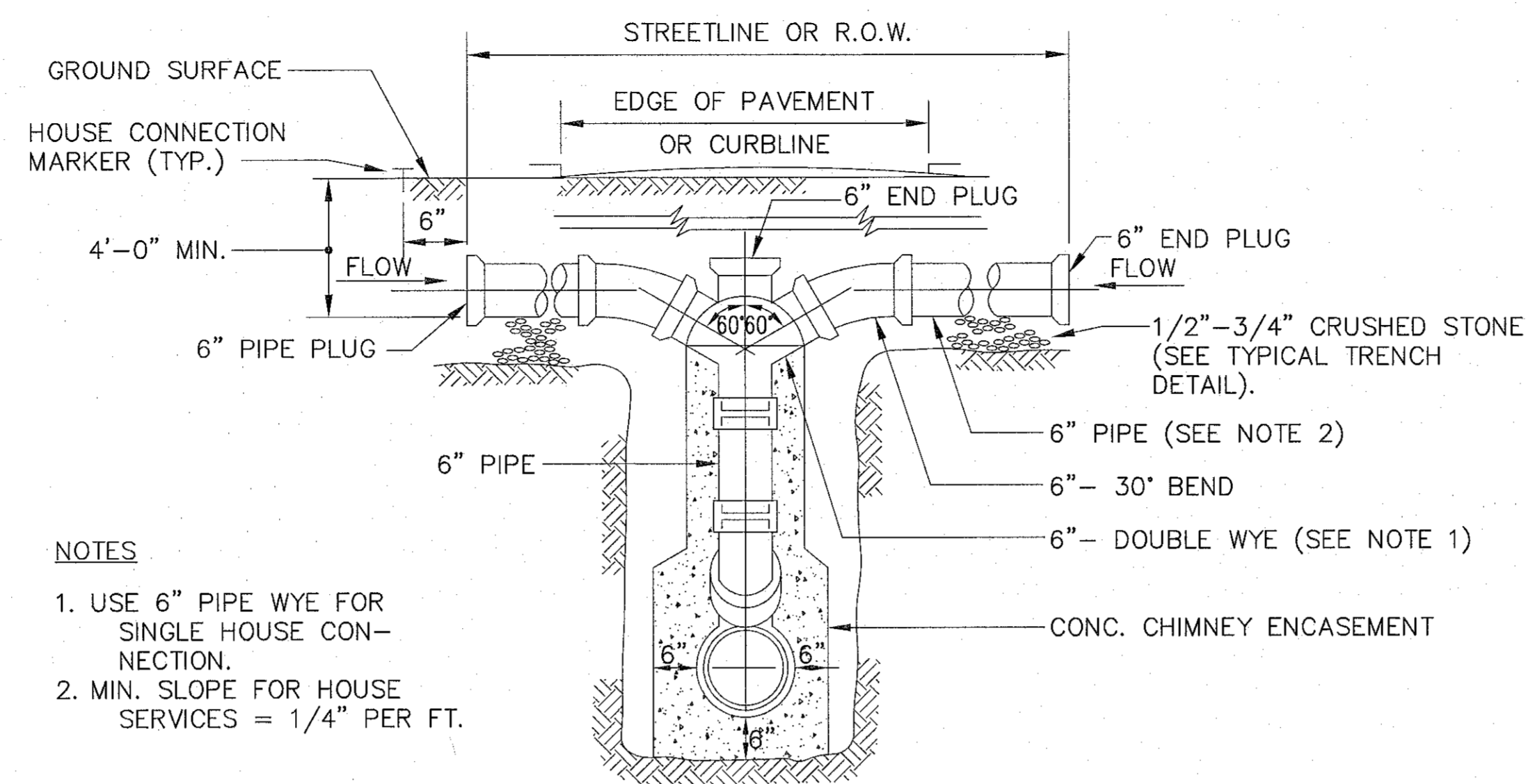
DATE ENDORSED: \_\_\_\_\_

I TOWN CLERK OF THE TOWN OF WALPOLE  
RECEIVED & RECORDED FROM THE ZONING  
BOARD OF APPEALS, APPROVAL OF THIS PLAN  
AND NO APPEAL HAS BEEN TAKEN FOR TWENTY  
DAYS NEXT AFTER RECEIPT AND RECORDING OF  
SAME.

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_



ELEVATION



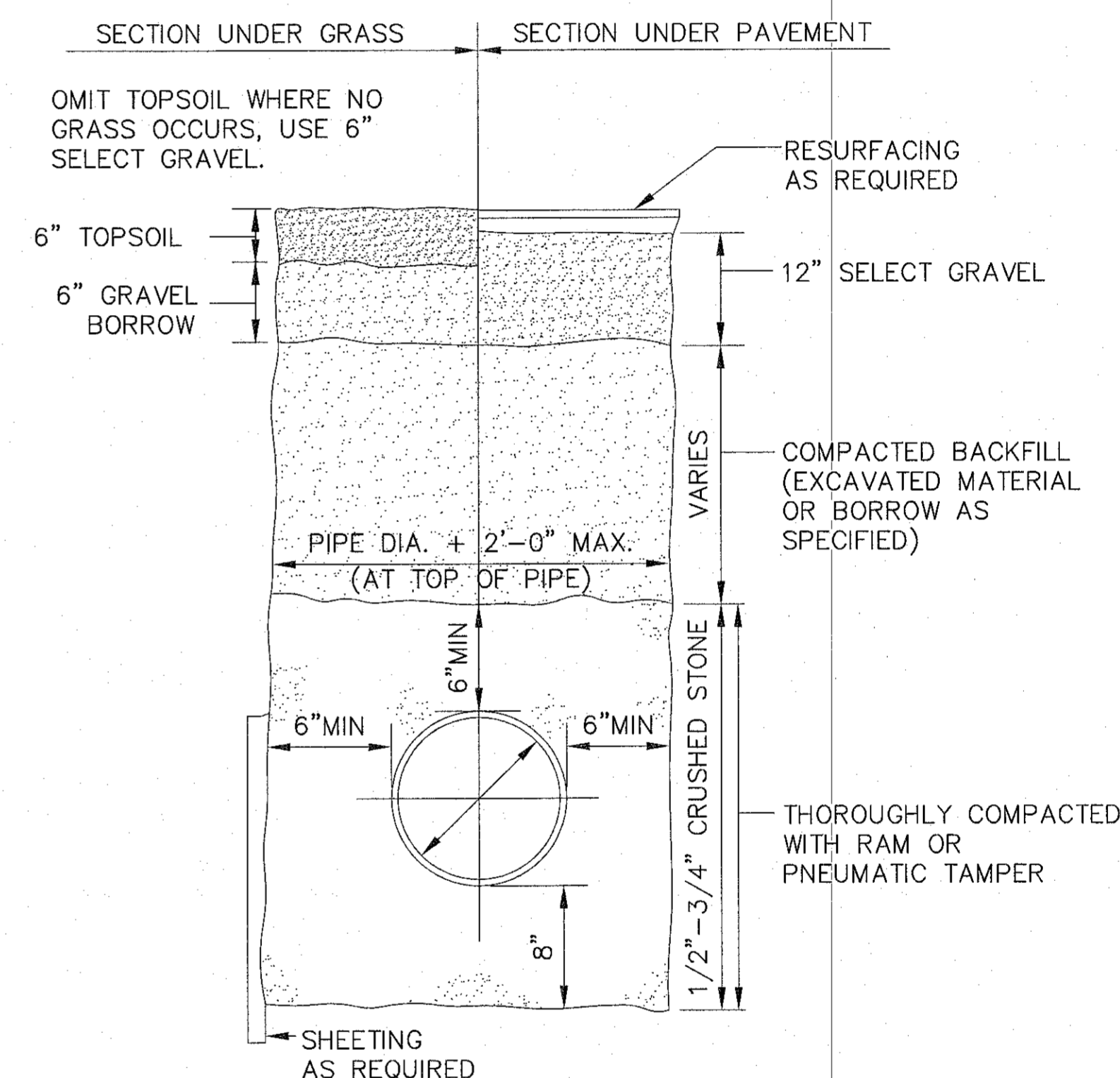
SECTION A-A

NOTES

1. USE 6" PIPE WYE FOR SINGLE HOUSE CONNECTION.
2. MIN. SLOPE FOR HOUSE SERVICES = 1/4" PER FT.

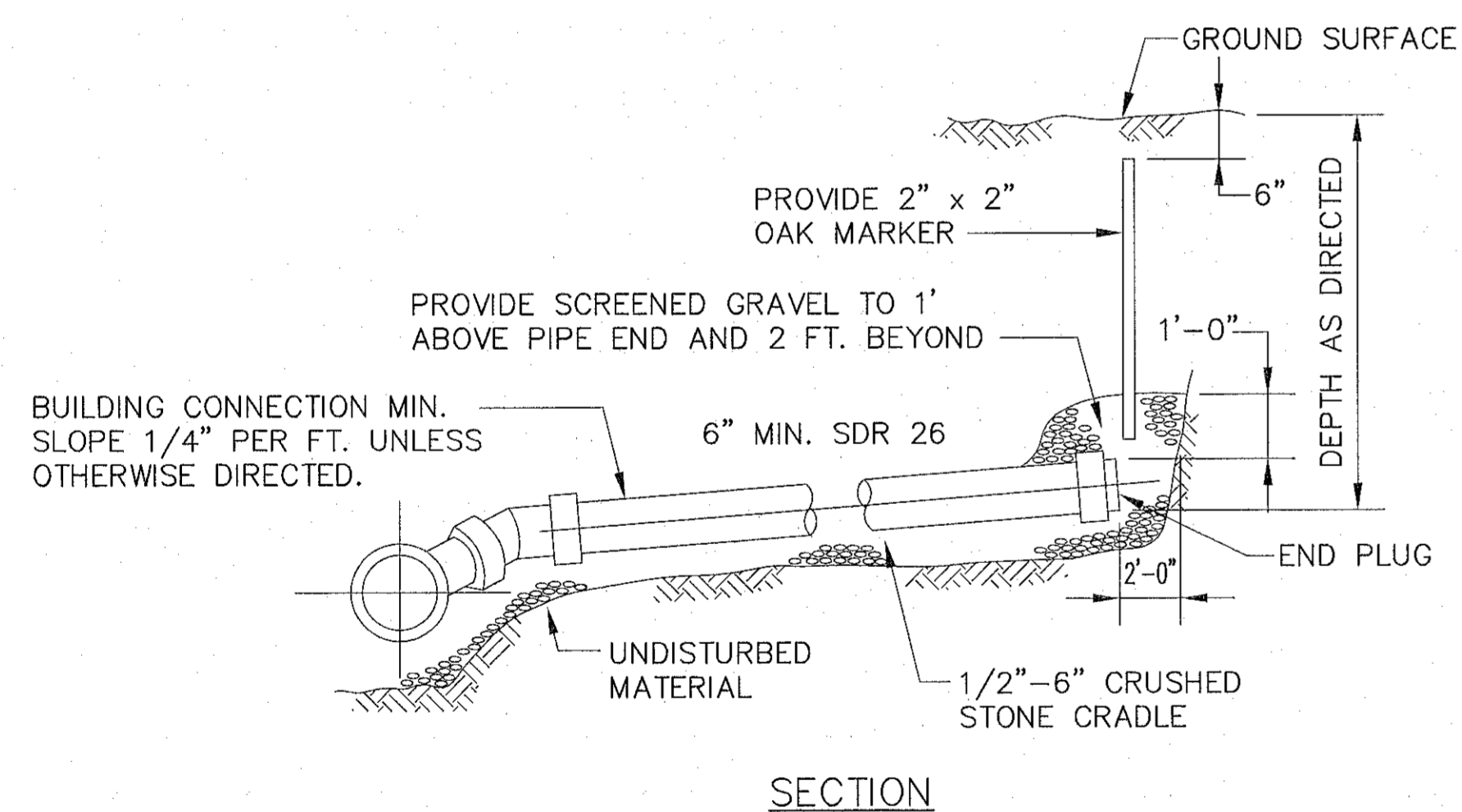
TYPICAL HOUSE SERVICE CONNECTION & CHIMNEY DETAIL

(FOR MAIN SEWER OVER 8'-0" DEEP)  
NOT TO SCALE

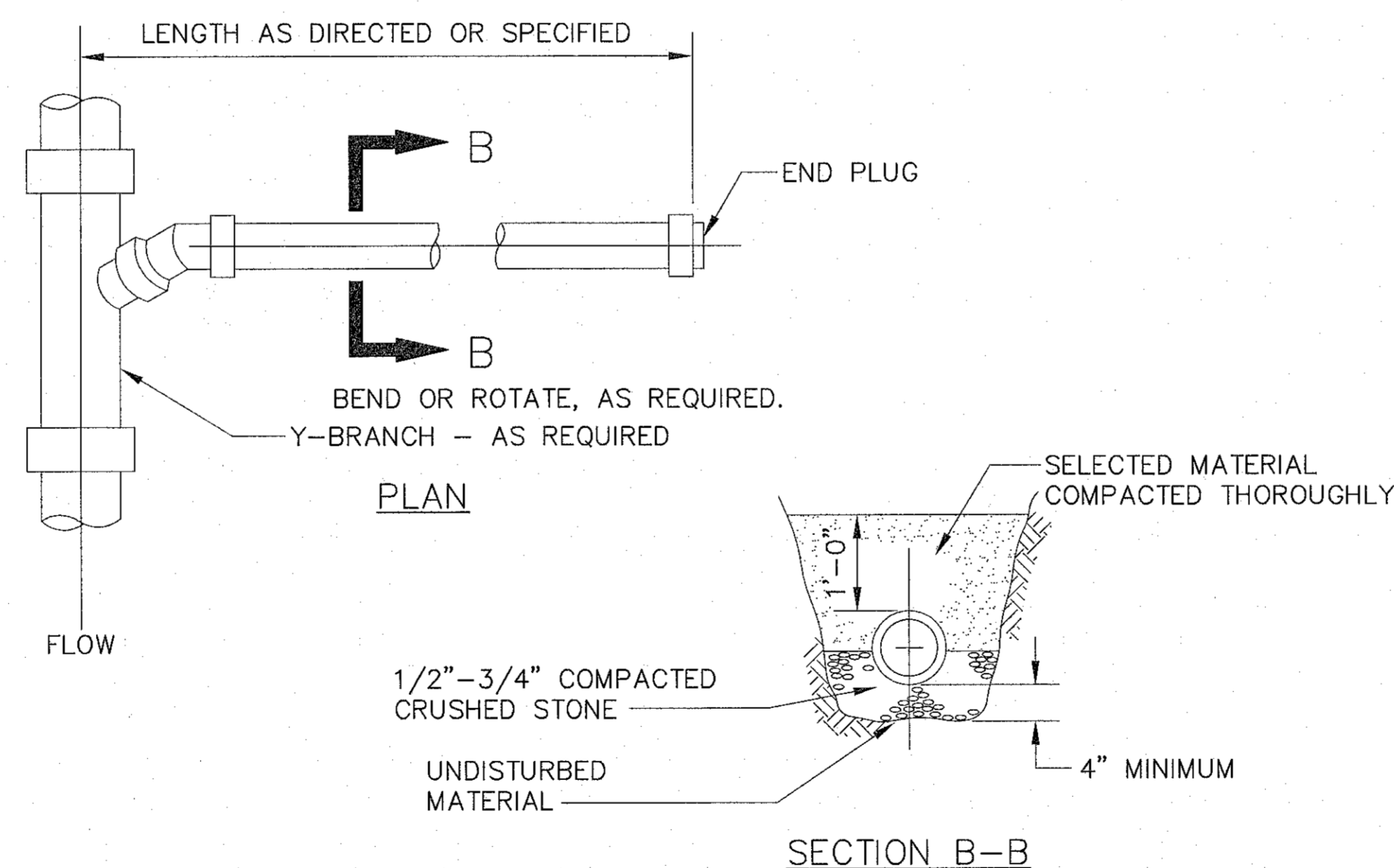


TYPICAL SEWER TRENCH DETAIL

NOT TO SCALE



SECTION



SECTION B-B

TYPICAL BUILDING CONNECTION

NOT TO SCALE

Note:

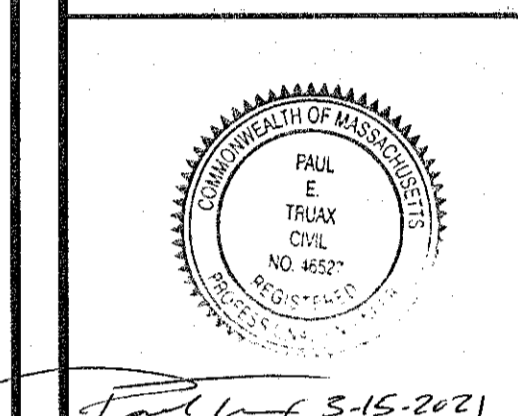
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TOWN OF WALPOLE, MASSACHUSETTS  
DEPARTMENT OF PUBLIC WORKS  
PLAN SHOWING TYPICAL  
SEWAGE CONSTRUCTION DETAILS

REV. #	DATE	DESCRIPTION	BY
1	7-11-98	DRAWN TO AUTOCAD FILE	MAJ
2	11-22-98	MANY MISC. UPDATES	MAJ

DETAILS

NO.	DATE	DESCRIPTION
1	6/02/20	ZONING BOARD COMMENTS
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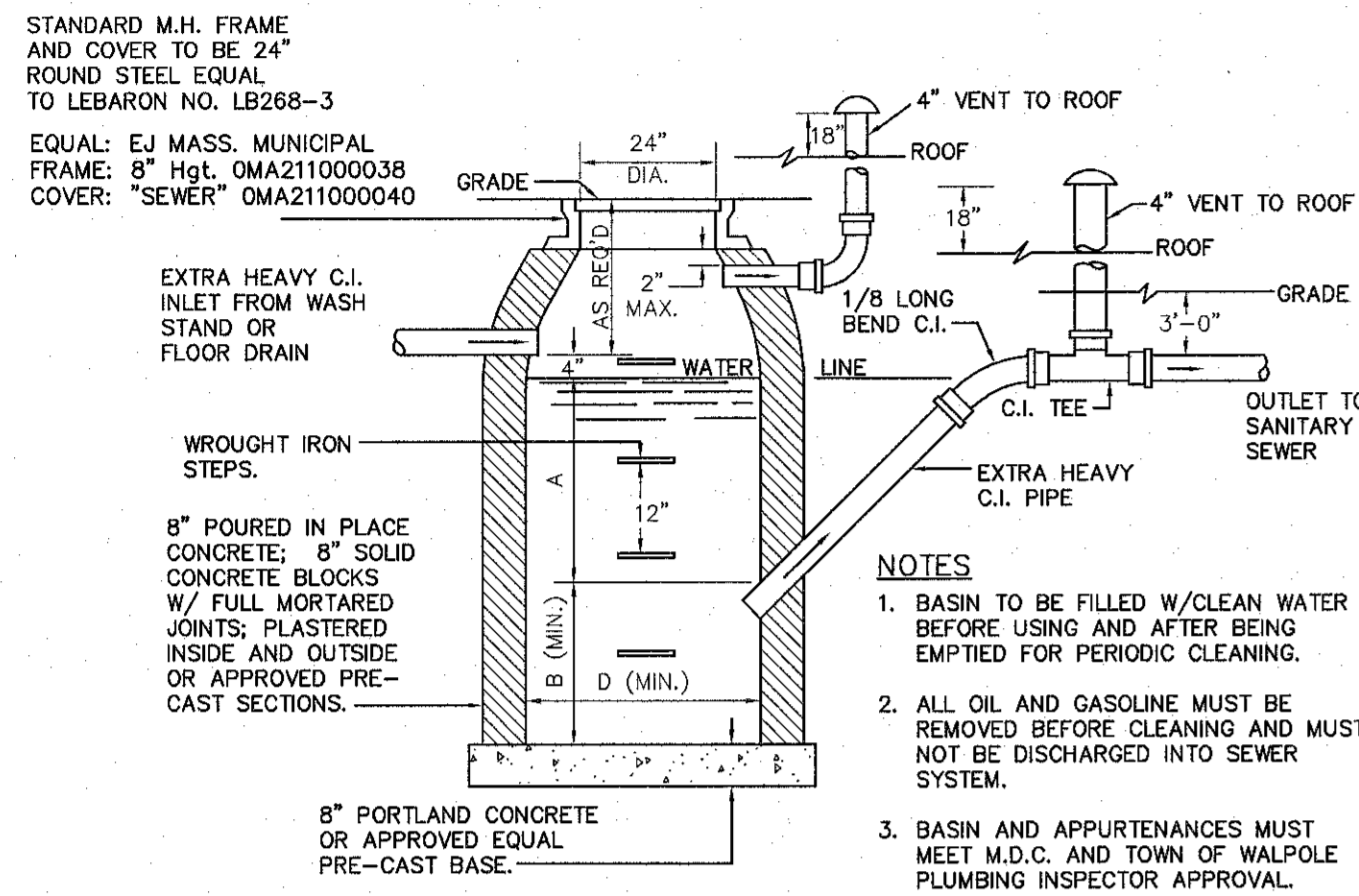


PREPARED FOR:  
WALL STREET DEVELOPMENT CORP.  
P.O. BOX 272  
WESTWOOD, MA 02090

SITE DEVELOPMENT PLAN  
A COMPREHENSIVE PERMIT M.G.L.c. 40B  
"DIAMOND HILL ESTATES"  
WALPOLE, MASSACHUSETTS

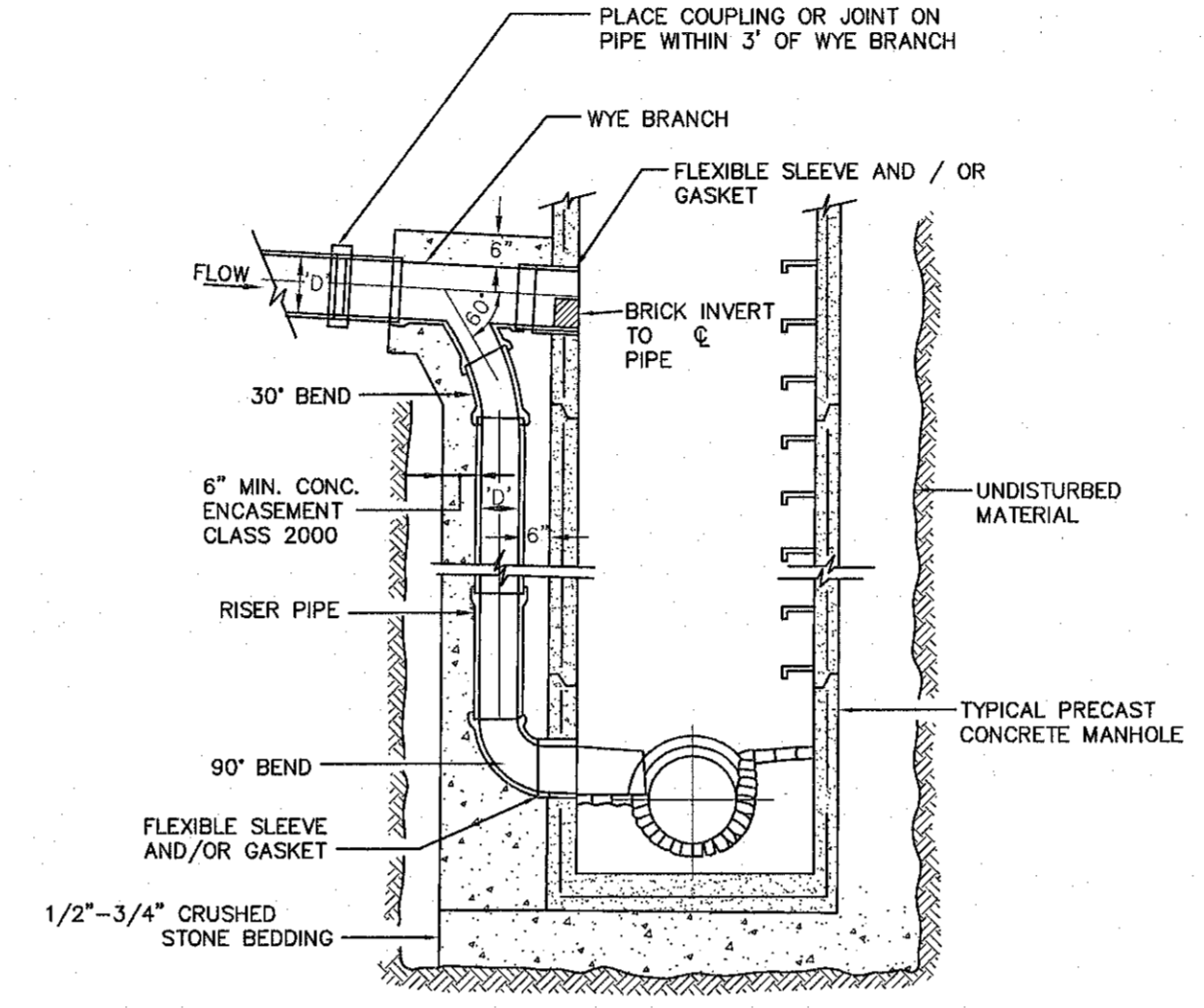
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JOB No. 16,518  
DATE: FEB. 26, 2020  
SCALE: 1"=40'  
SHEET: 10 of 13  
PLAN #: 27,321

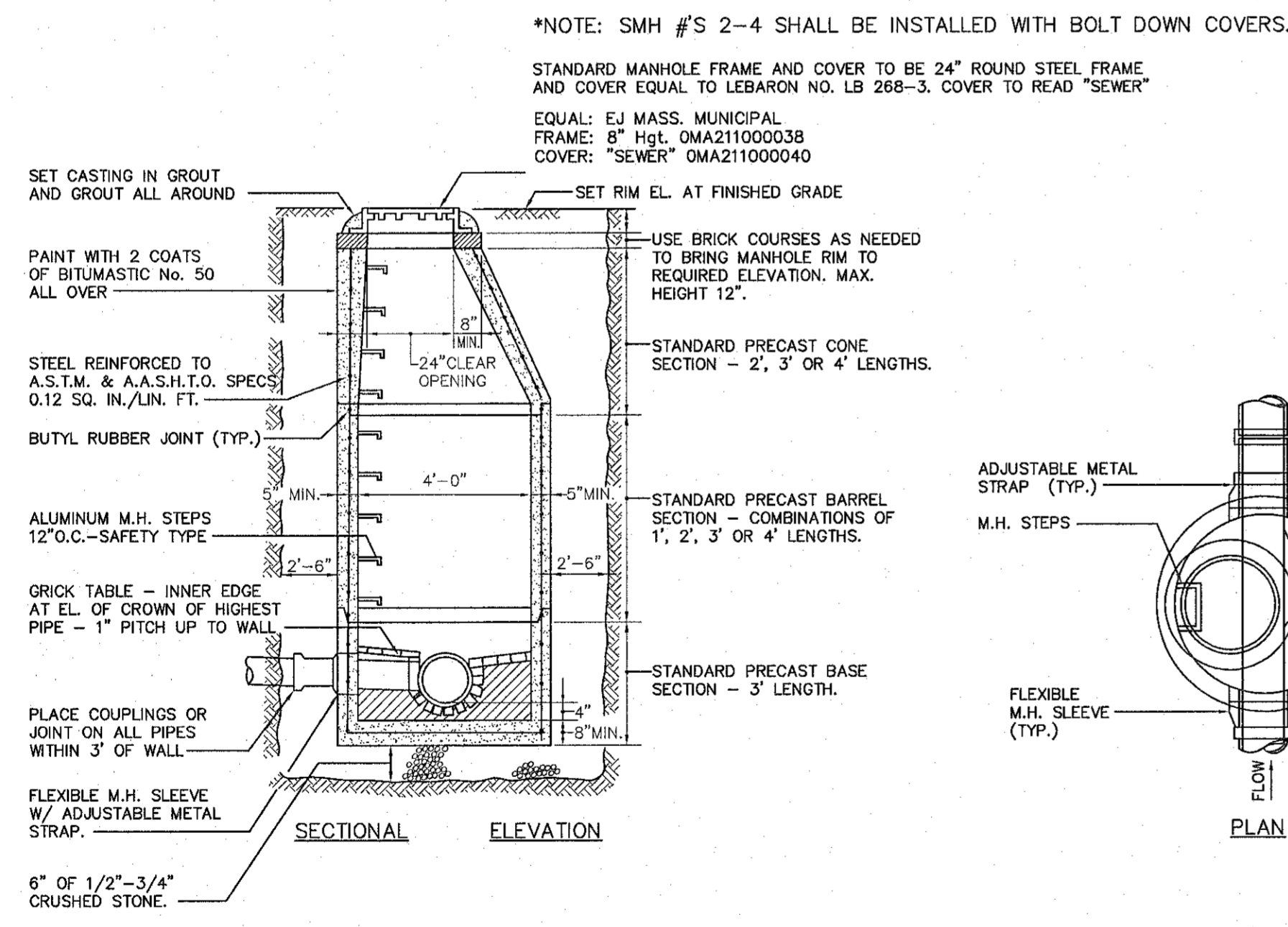


INLET	D	A	B
4"	4'-0" 3'-6"	2'-3" 3'-0"	1'-11" 2'-6"
5"	3'-6" 4'-0" 4'-0"x4'-0" 4'-6"	5'-0" 4'-0" 3'-6" 3'-0"	4'-0" 3'-0" 2'-6" 2'-6"
6"	4'-0" 4'-0"x4'-0" 4'-6"x4'-6" 5'-0" 5'-0"x5'-0"	5'-0" 4'-0" 3'-6" 3'-0" 3'-0"	4'-6" 3'-6" 3'-0" 2'-6" 2'-6"
8"	5'-0" 5'-6"x5'-6" 6'-0" 6'-0"x6'-0" 6'-6"	6'-0" 4'-6" 4'-0" 3'-0" 3'-0"	5'-0" 4'-6" 4'-0" 2'-6" 2'-6"

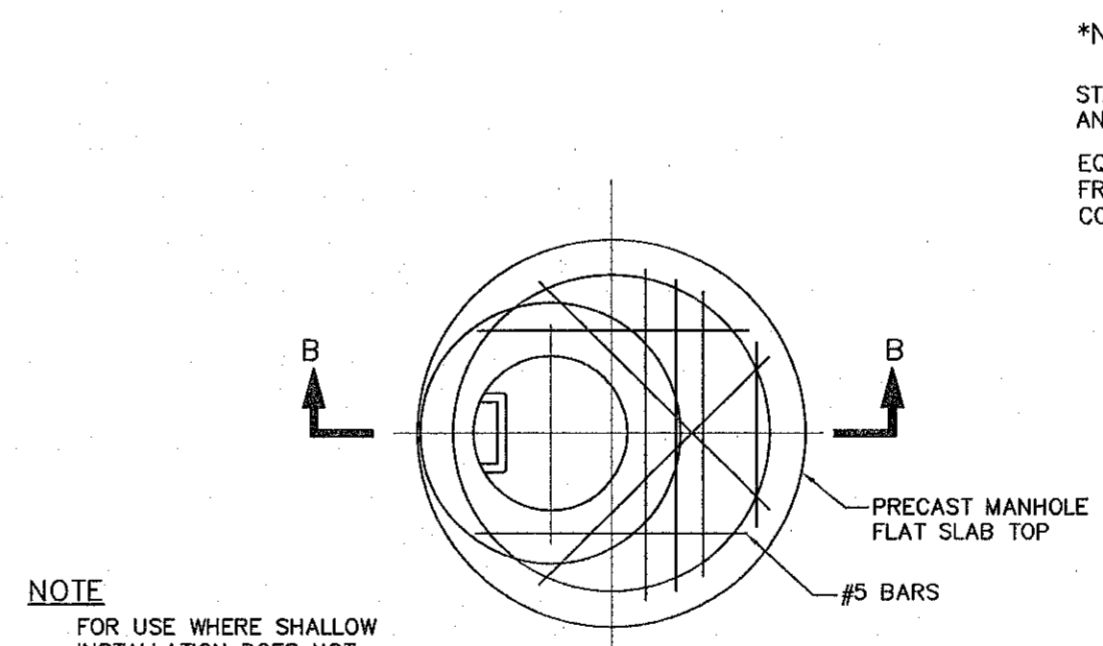
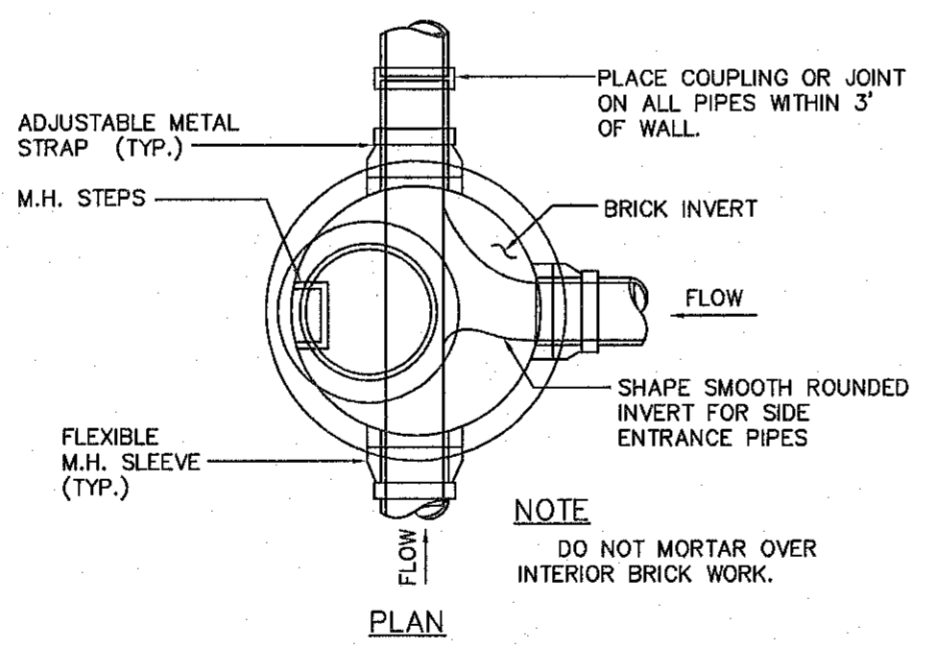
STANDARD M.D.C. CATCH BASIN & GASOLINE TRAP DETAILS  
NOT TO SCALE



TYPICAL OUTSIDE DROP INLET MANHOLE DETAILS  
NOT TO SCALE



TYPICAL PRECAST CONCRETE SEWER MANHOLE DETAILS  
NOT TO SCALE



FLAT TOP SECTION  
NOT TO SCALE

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TOWN OF WALPOLE, MASSACHUSETTS  
DEPARTMENT OF PUBLIC WORKS  
PLAN SHOWING TYPICAL  
SEWERAGE CONSTRUCTION DETAILS

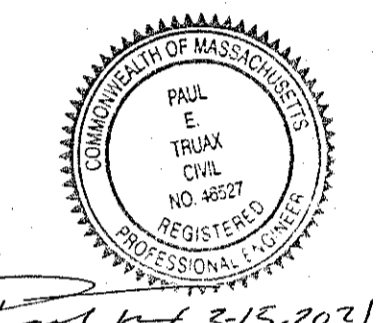
REV. #	DATE	DESCRIPTION	BY
1	7-11-08	DRAWN TO AUTOCAD FILE	MAJ
2	11-20-08	UPDATES	MAJ

DETAILS

APPROVED BY THE WALPOLE ZONING BOARD OF APPEALS:  
  
DATE APPROVED: \_\_\_\_\_  
DATE ENDORSED: \_\_\_\_\_

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TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

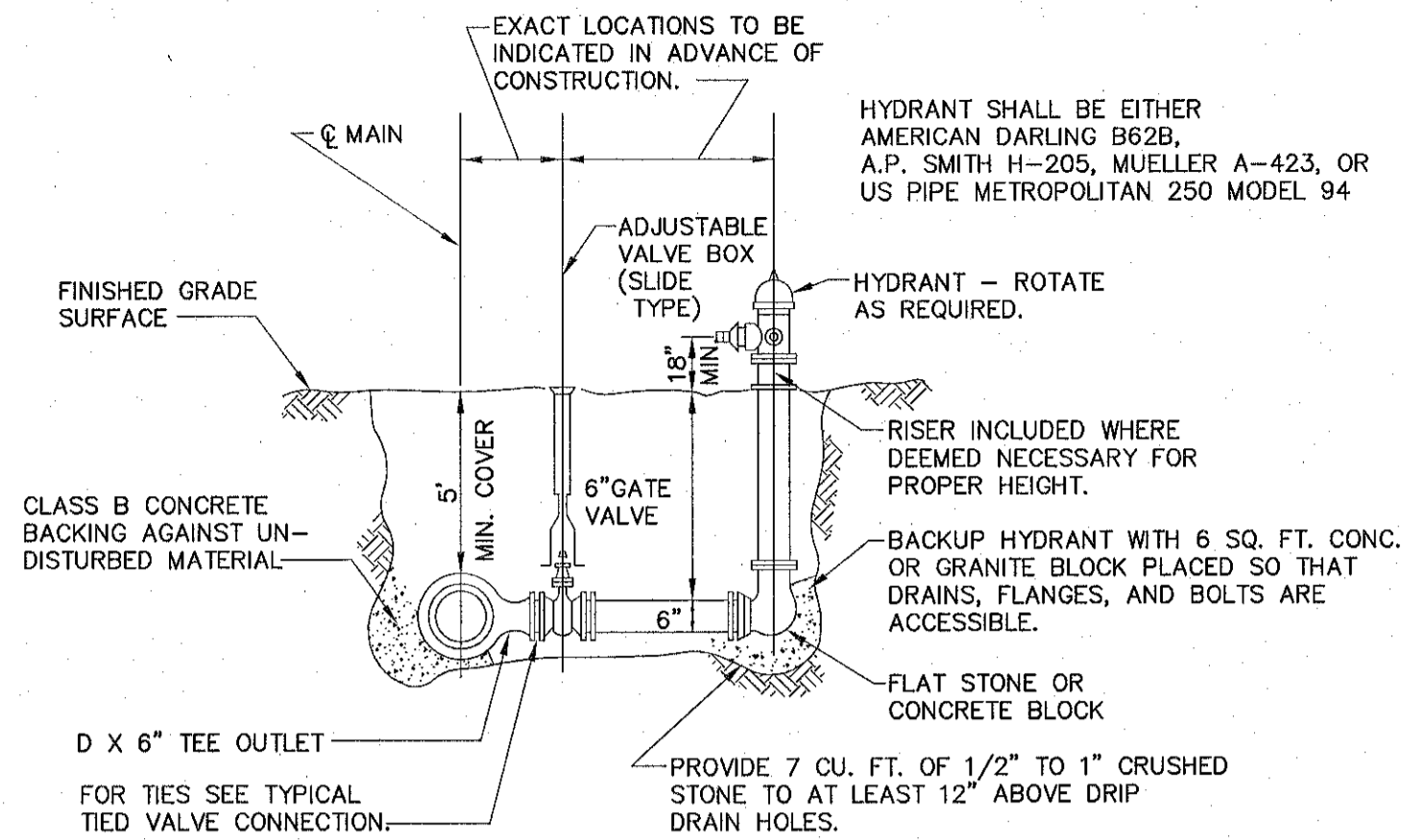
REVISIONS	DATE	DESCRIPTION
1	6/02/20	ZONING BOARD COMMENTS
2	8/05/20	DRAINAGE ANALYSIS
3	11/30/20	ZBA & PEER REVIEW COMMENTS
4	02/03/21	ZBA & PEER REVIEW COMMENTS
5	03/15/21	REVISED CUL-DE-SAC



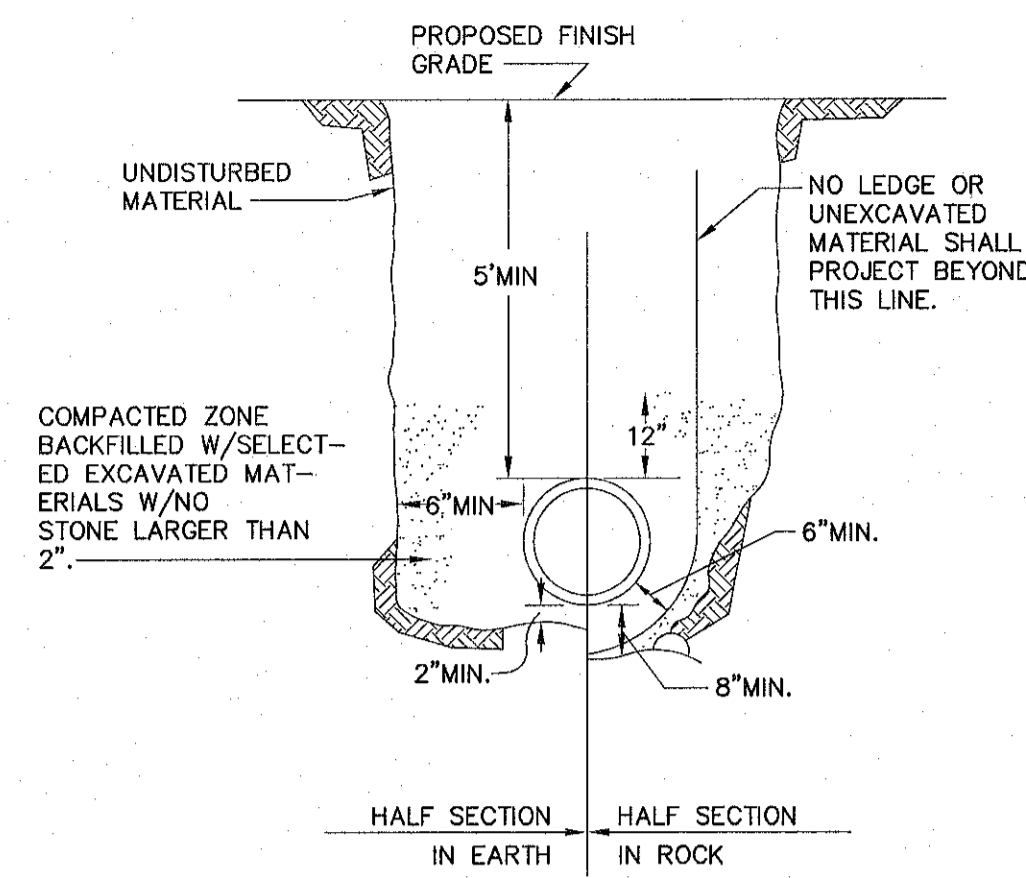
SITE DEVELOPMENT PLAN  
A COMPREHENSIVE PERMIT M.G.L.C. 40B  
"DIAMOND HILL ESTATES"  
WALPOLE, MASSACHUSETTS  
PREPARED FOR:  
WALL STREET DEVELOPMENT CORP.  
P.O. BOX 272  
WESTWOOD, MA 02090

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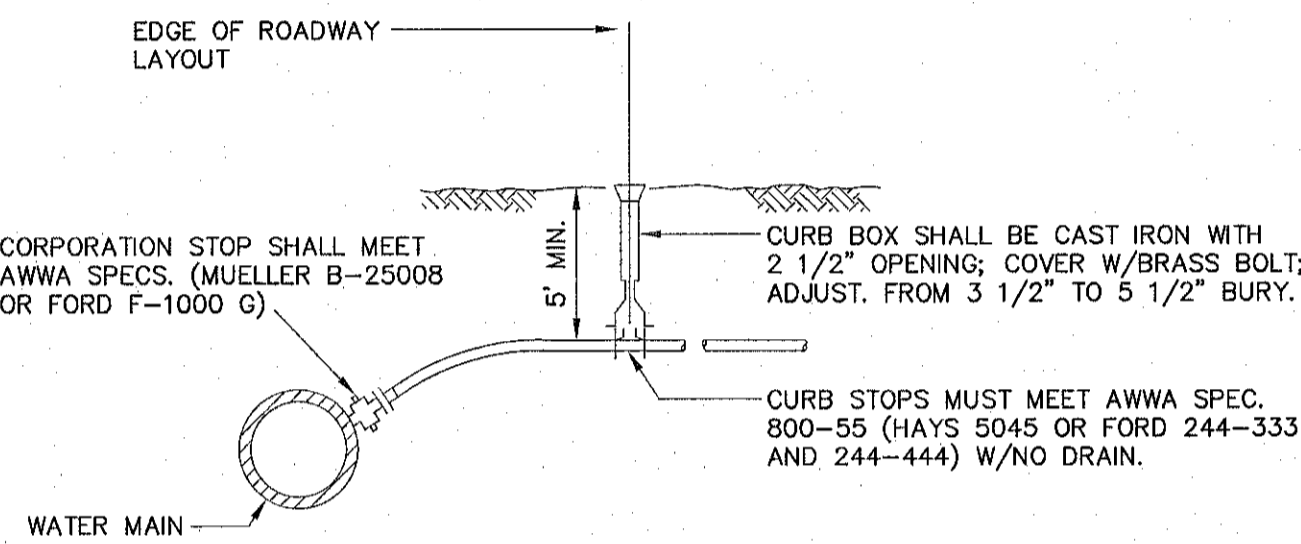
JOB No.	16,518
DATE:	FEB. 26, 2020
SCALE:	1"=40'
SHEET:	11 of 13
PLAN #:	27,321



TYPICAL HYDRANT ASSEMBLY DETAIL  
NOT TO SCALE

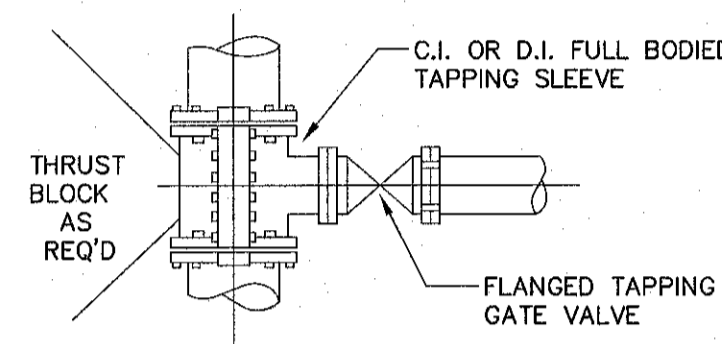


WATER MAIN TRENCH DETAIL  
NOT TO SCALE

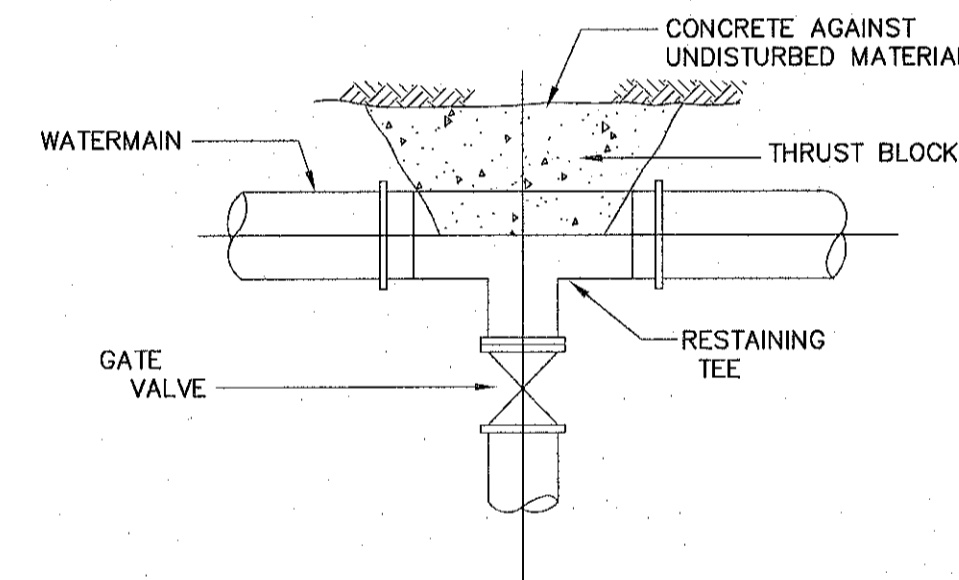


TYPICAL SERVICE CONNECTION  
NOT TO SCALE

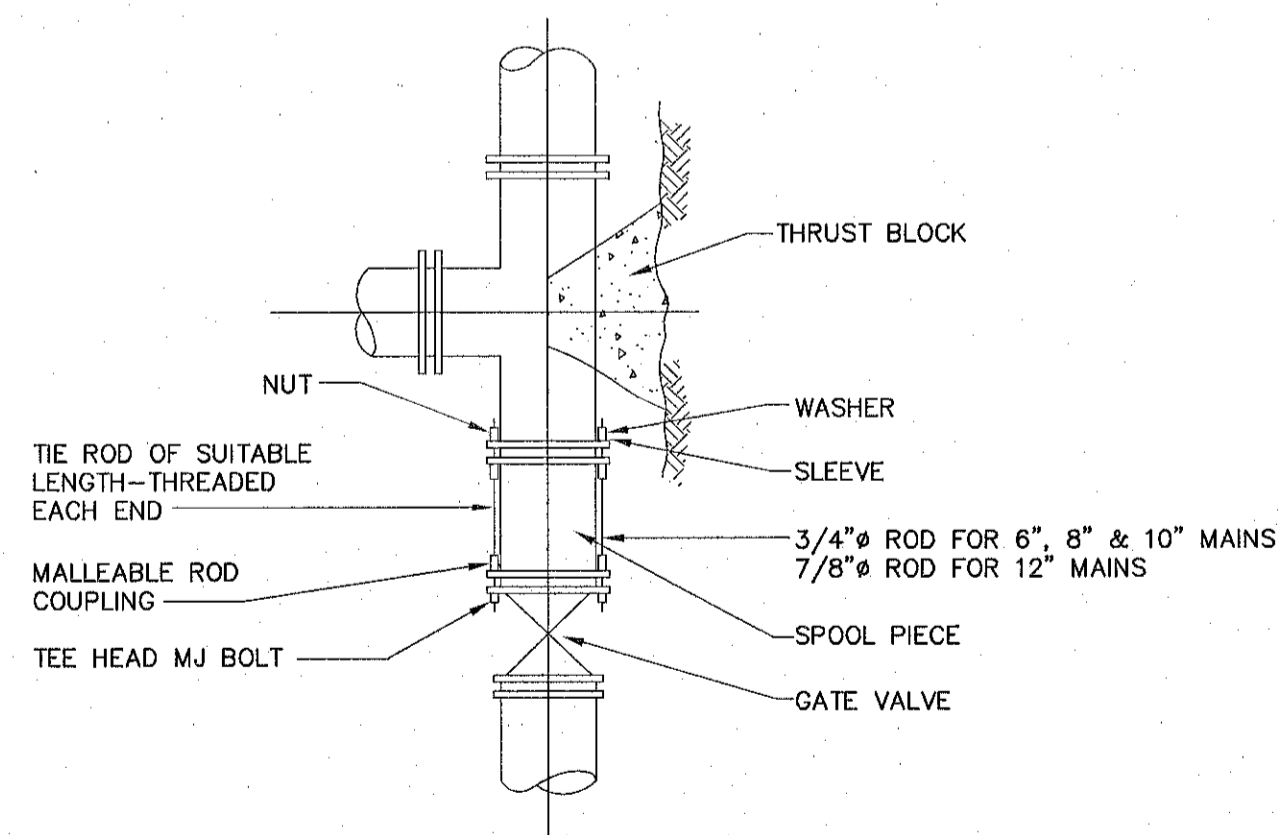
NOTE  
1" TYPE K SERVICES  
COPPER TUBING SHALL MEET AWWA SPEC. 76-OR TYPE K OR FEDERAL SPEC. WWT-799 TYPE K.



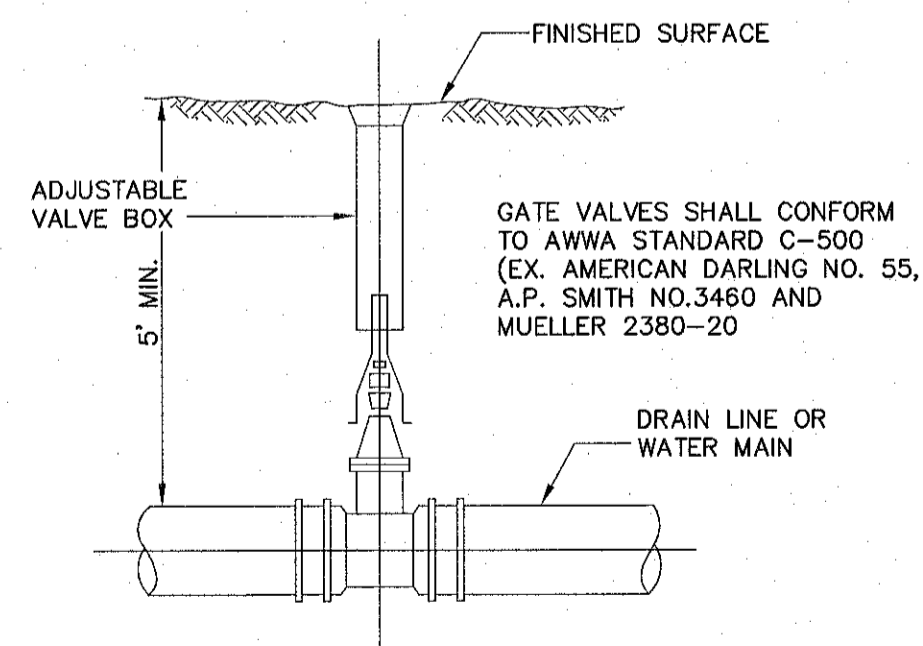
TAPPING SLEEVE AND VALVE DETAILS  
NOT TO SCALE



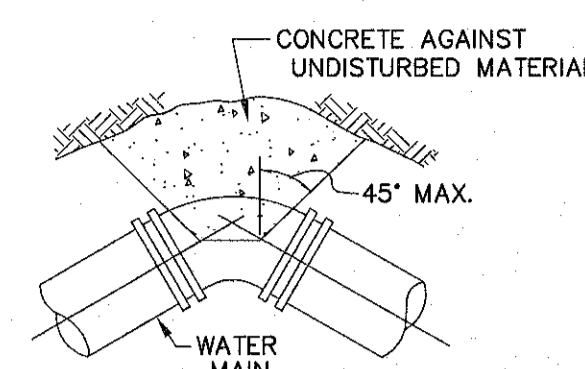
TYPICAL LATERAL GATE VALVE CONNECTION DETAILS  
NOT TO SCALE



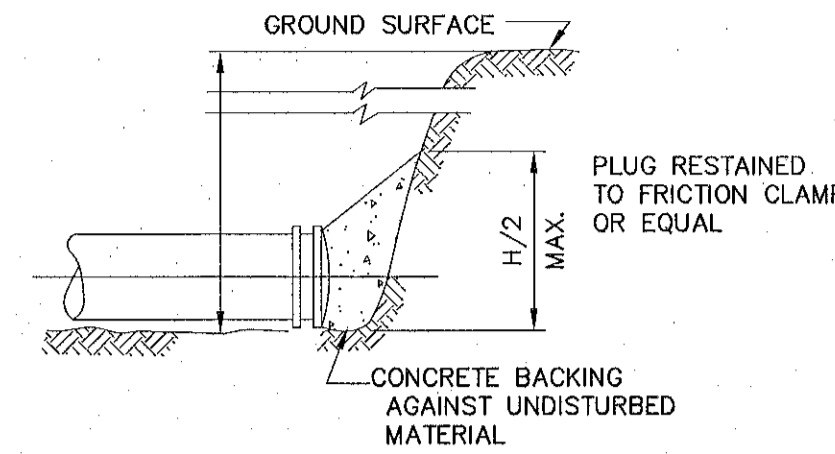
TYPICAL TIED MECHANICAL JOINT VALVE CONNECTION DETAILS  
NOT TO SCALE



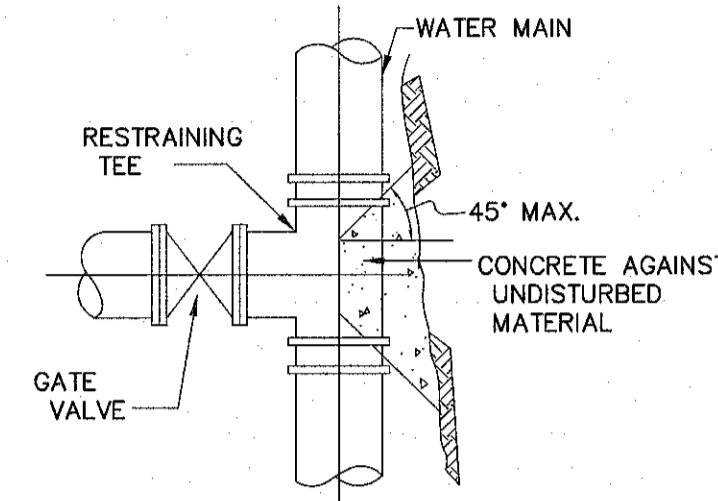
TYPICAL GATE VALVE  
NOT TO SCALE



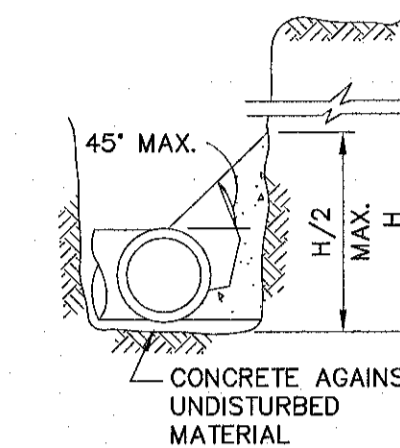
TYPICAL BEND



TYPICAL PLUG



TYPICAL TEE

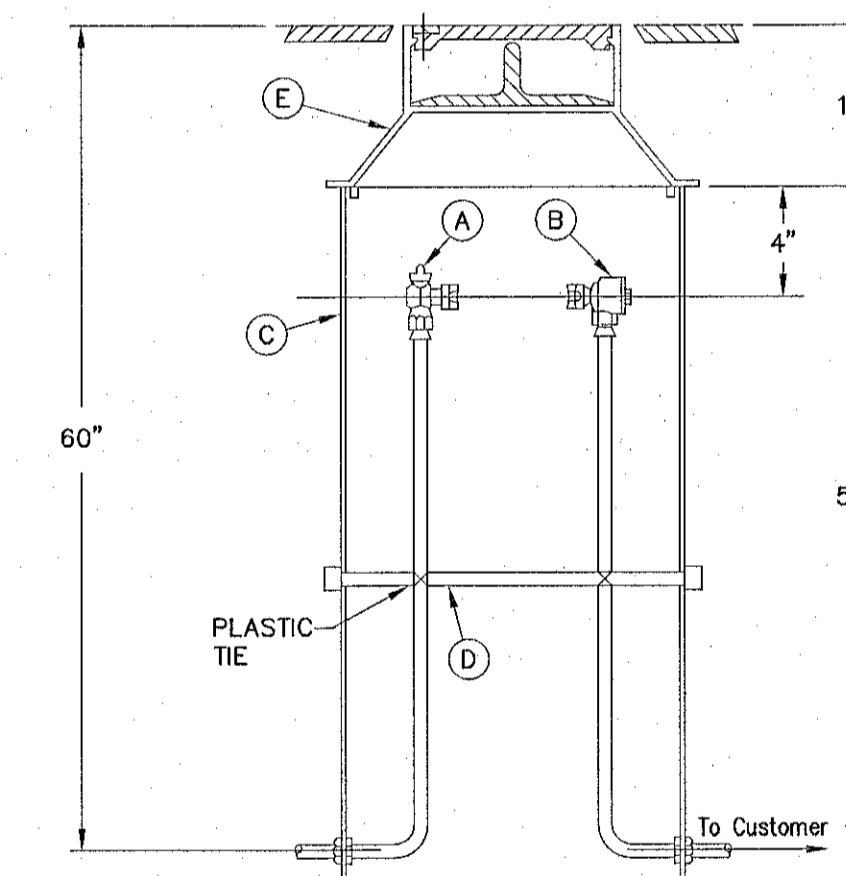


TYPICAL SECTION

NOTE: CONCRETE FOR THRUST BLOCKS SHALL BE NO LONGER THAN THE RATIO OF 2 1/2 : 5 1/2 AND SHALL HAVE A MINIMUM COMPRESSION STRENGTH OF 2000 PSI (SO THAT FLANGES AND BOLTS ARE ACCESSIBLE.)

PIPE SIZE INCHES	1/4 BEND	1/8 BEND	1/16 BEND OR LESS	PLUG TEES
6 AND 8	8	8	8	8
10 AND 12	22	13	8	16

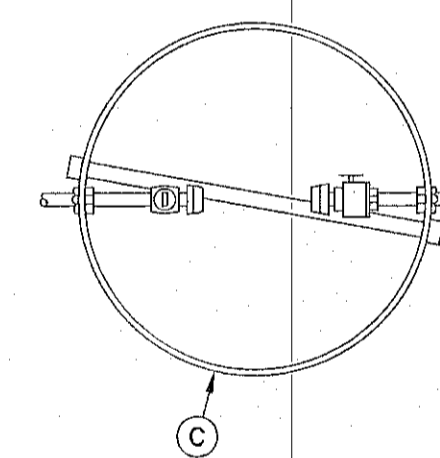
TYPICAL THRUST BLOCK DETAIL  
NOT TO SCALE



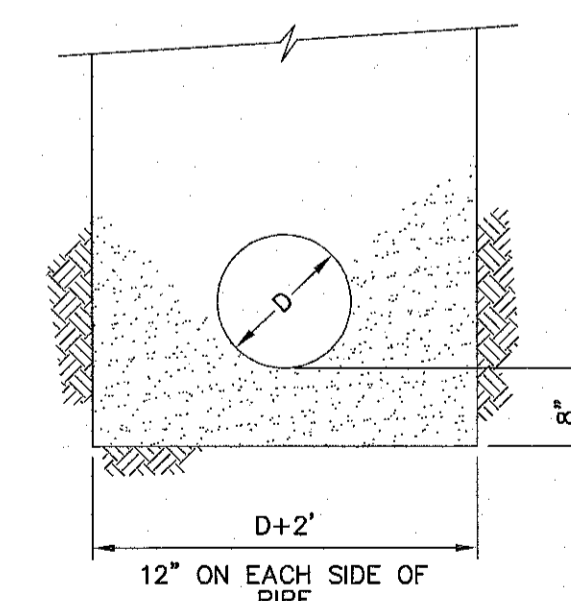
ITEM	DESCRIPTION	CAT No.
A	ANGLE BALL VALVE	BA13-232W
B	DUAL ANGLE CHECK VALVE	HA31-3230
C	20" I.D. PVC PIPE	
D	1/2" PVC SUPPORT & CAPS	
E	METER BOX COVER & UD	W-3

\* ORDERED SEPARATELY

METER PIT SPECIFICATIONS  
NOT TO SCALE



- NOTES:
- ALL SERVICE SHALL ENTER THE PIT AT A 90° ANGLE TO THE STREET.
  - TO BE USED FOR DWELLINGS WHICH EXCEED A DISTANCE OF 200' FROM FRONT PROPERTY LINES.



PAYMENT LIMIT FOR LEDGE EXCAVATION  
NOT TO SCALE

APPROVED BY THE WALPOLE ZONING BOARD OF APPEALS:

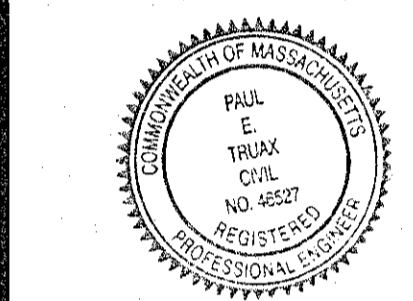
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TOWN CLERK \_\_\_\_\_

DATE \_\_\_\_\_



Paul E. Truxa 3-15-2021

SITE DEVELOPMENT PLAN  
A COMPREHENSIVE PERMIT M.G.L.c. 40B  
"DIAMOND HILL ESTATES"  
WALPOLE, MASSACHUSETTS

PREPARED FOR:  
WALL STREET DEVELOPMENT CORP.  
P.O. BOX 272  
WESTWOOD, MA 02080

Note:  
1) All details are subject to change without notice. Check with the Town of Walpole prior to using these details for the most up to date revisions.

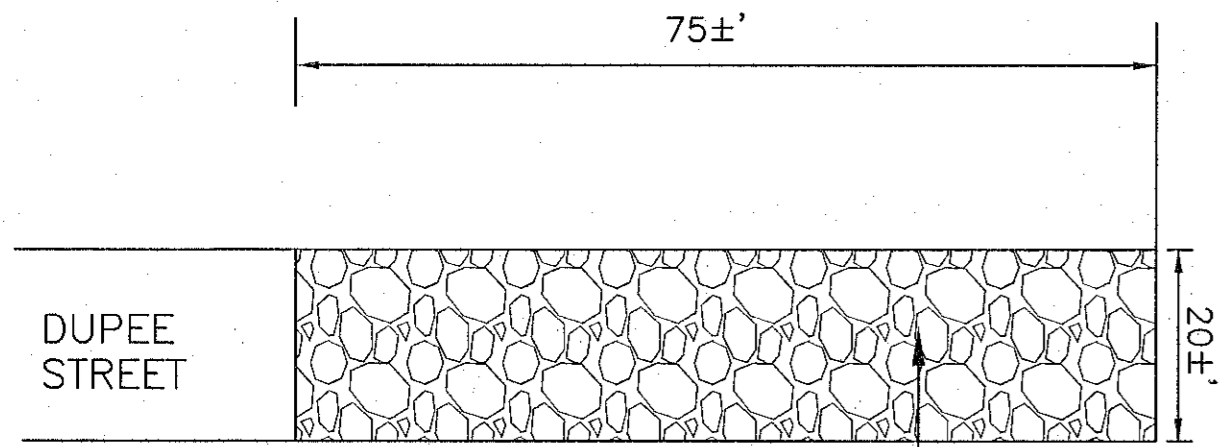
TOWN OF WALPOLE, MASSACHUSETTS  
DEPARTMENT OF PUBLIC WORKS  
PLAN SHOWING TYPICAL  
WATER MAIN CONSTRUCTION DETAILS

REV. #	DATE	DESCRIPTION	BY
1	7-11-08	DRAWN TO APPROVED FILE	MAJ
2	11-20-08	UPDATES	MAJ

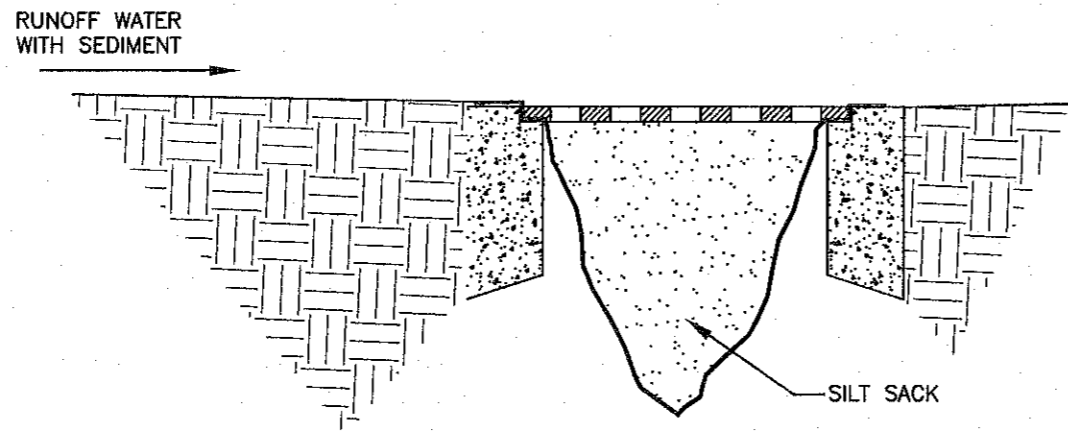
DETAILS

GLM Engineering Consultants, Inc.  
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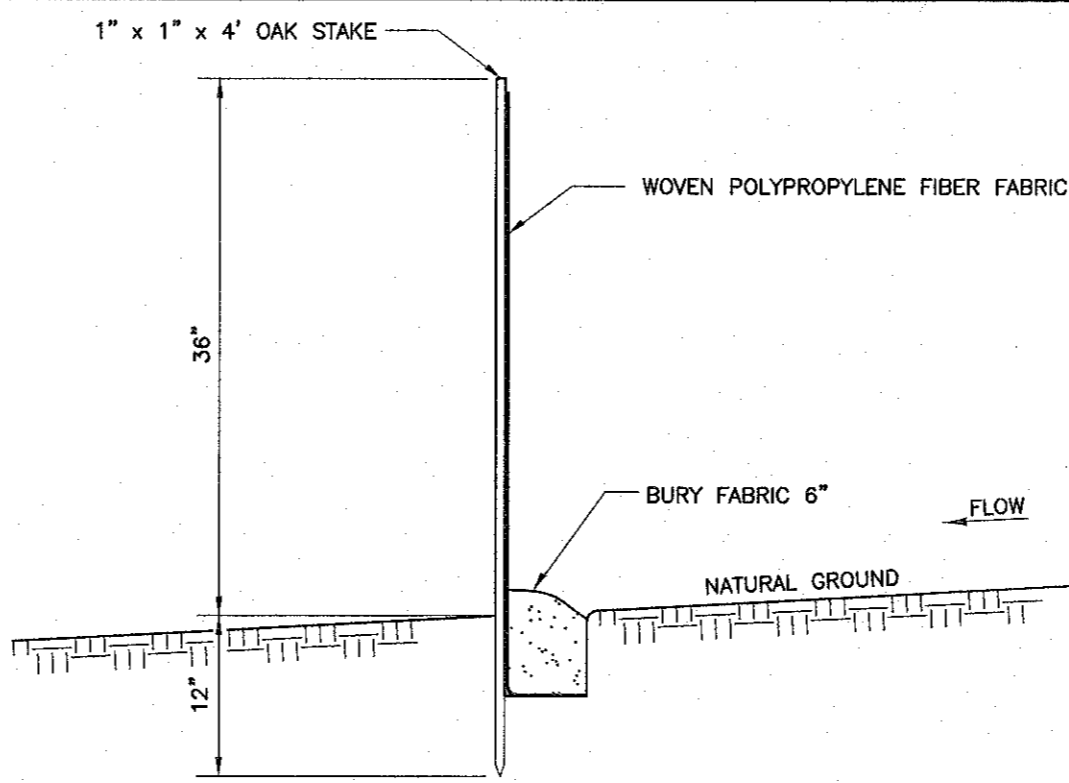
JOB No. 16,518  
DATE: FEB. 26, 2020  
SCALE: 1"=40'  
SHEET: 12 of 13  
PLAN #: 27,321



**STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE



**SILT SACK CATCH BASIN INLET**  
NOT TO SCALE



**EROSION CONTROL SILT FENCE DETAIL**  
NOT TO SCALE

**LEGEND:**

---	EXISTING CONTOUR
163x2	EXISTING SPOT ELEVATION
WC	EXISTING WATER GATE
---	EXISTING WATER LINE
---	EXISTING TREE LINE
TP 1	EXISTING SEWER MANHOLE
TP 2	EXISTING TEST PIT LOCATION
202	PROPOSED CONTOUR
301.0	PROPOSED SPOT ELEVATION
---	PROPOSED HYDRANT
---	PROPOSED WATER LINE
---	PROPOSED DRAIN MANHOLE
---	PROPOSED CATCH BASIN
---	PROPOSED DRAIN LINE
---	PROPOSED SEWER LINE
---	PROPOSED SEWER MANHOLE
---	PROPOSED TREE LINE

APPROVED BY THE WALPOLE ZONING BOARD OF APPEALS:

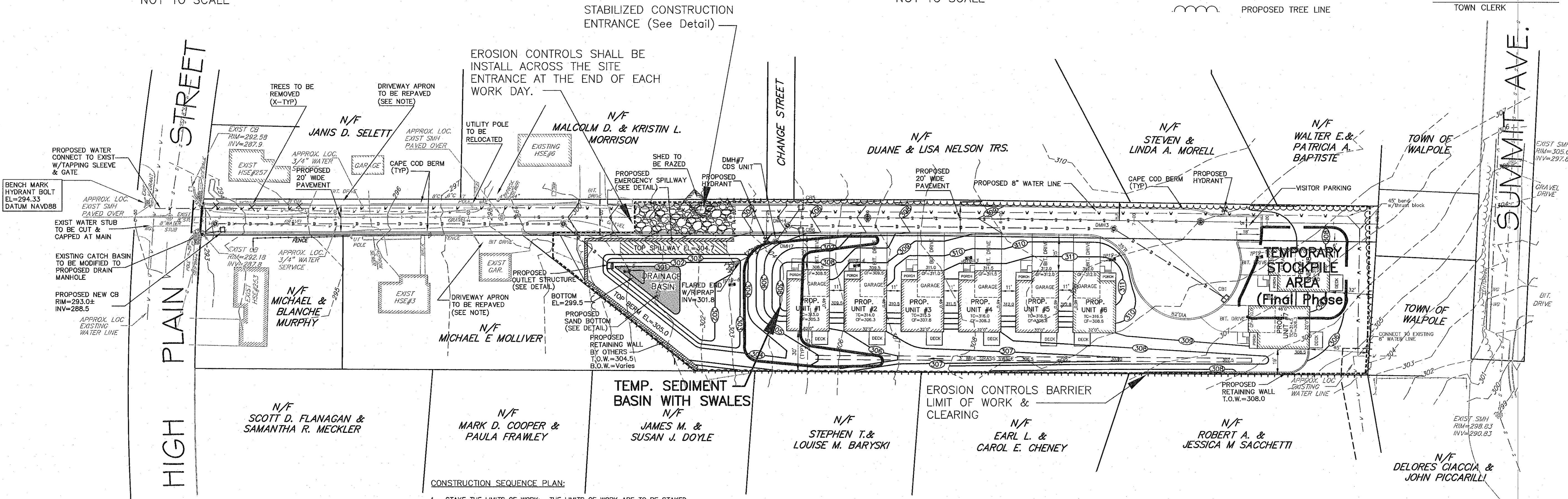
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NO.	DATE	DESCRIPTION
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5	03/15/21	REVISED CUL-DE-SAC



**CONSTRUCTION SEQUENCE PLAN:**

1. STAKE THE LIMITS OF WORK: THE LIMITS OF WORK ARE TO BE STAKED OUT JUST PRIOR TO THE TIME OF COMMENCING CONSTRUCTION.
2. INSTALL EROSION CONTROLS: PLACE AND STAKE SILTATION FENCING AT STAKED LIMIT OF WORK FOR EROSION CONTROL.
3. TREE AND BRUSH REMOVAL: TREES AND BRUSH IN THE WORK AREA ARE TO BE CUT AT THE BASE AND REMOVED. ALL TREES ARE TO BE FELLED INTO THE UPLAND AREA AND NOT ACROSS THE LIMIT OF WORK BARRIER.
4. SITE PREPARATION: WITH ALL TREES REMOVED AND ALL EROSION CONTROLS IN PLACE, PROCEED WITH EXCAVATION AND PREPARATION FOR CONSTRUCTION OF THE RIGHT OF WAY. ALL STUMPS ARE TO BE FILLED AND BE DISPOSED DURING THE EXCAVATION PROCESS IN ACCORDANCE WITH ESTABLISHED RULES AND REGULATIONS. MATERIALS, SUCH AS TOPSOIL, WILL BE SET ASIDE FOR FUTURE USE ON-SITE AND STOCKPILED, TO THE EXTENT FEASIBLE, OUTSIDE THE WETLAND BUFFER AREA. THE DESIGNATED AREA FOR SAID STOCKPILING IS SHOWN ON SHEET NO. 5 OF THE APPROVED SITE DEVELOPMENT PLANS. SUCH OTHER STOCKPILING AREA MAY BE RECOMMENDED BY THE COMMISSION OR ITS AGENT. ADDED SILT FENCE WILL BE PLACED AROUND THESE STOCKPILES TO PREVENT WIND AND WATER EROSION. (NOTE: IT IS INTENDED FOR ALL EXCESS EXCAVATED MATERIAL TO BE RE-USED ON SITE.)
5. EXCAVATION ROUGH SUB-GRADE: EXCAVATION OF THE RIGHT OF WAY, AS REQUIRED, SHALL PROCEED UNTIL ALL AREAS HAVE BEEN EXCAVATED TO APPROXIMATE ROUGH SUB-GRADE AND ALL SIDE SLOPES GRADED. IMPORTED FILL MAY BE REQUIRED TO ACHIEVE REQUIRED SUB-GRADE.
6. DUPEE STREET CONSTRUCTION: UTILITIES SHALL BE INSTALLED UP TO THE CONSTRUCTION ENTRANCE (STA. 3+25), INCLUDING BUT NOT LIMITED TO SEWER, WATER, DRAINAGE AND SERVICE CONNECTIONS TO EXISTING HOMES. DUPEE STREET SHALL BE GRADED AND BINDER COURSE INSTALLED UP TO THE CONSTRUCTION ENTRANCE (STA. 3+25).
7. INSTALLATION OF DRAINAGE: WORK SHALL COMMENCE ON INSTALLATION OF ANY DRAINAGE STRUCTURES, SUCH AS DRAINAGE SWALES, BASINS, PIPING, CATCH BASINS, MANHOLES, HEADWALLS, ETC. AS SHOWN ON THE PLAN.
8. LOAM AND SEED SIDE SLOPES: LOAM AND SEED SIDE SLOPES OF ROADWAY, AS NEEDED.
9. ELECTRICAL/TELEPHONE/CABLE: RE-LOCATE UTILITY POLES WITHIN ROADWAY, AS NEEDED. EXCAVATE TRENCH FOR INSTALLATION OF UNDERGROUND ELECTRICAL, TELEPHONE AND CABLE SERVICE AS SHOWN ON THE PLAN.
10. BINDER PREPARATION: DELIVER AND PLACE PROCESSED GRAVEL TO PROPER GRADE, INCLUDING GRADING AND COMPACTION.
11. BINDER INSTALLATION: INSTALL BASE COAT PAVEMENT FOR ROADWAY, AS REQUIRED.
12. FINAL PAVEMENT: FINISH PAVEMENT FOR ROADWAY TO BE INSTALLED AT OWNER'S DISCRETION.

**EROSION CONTROL NOTES**

- THE FOLLOWING EROSION CONTROL SPECIFICATIONS ARE IN EFFECT WHEN SITE ALTERATION WORK IS CONTEMPLATED TO PREVENT DOWN GRADIENT OR ADJACENT AREAS FROM BEING ADVERSELY IMPACTED.
1. PRIOR TO ANY DISTURBANCE OR ALTERATIONS ON ANY AREA ON THE SITE, THE FILTER MITT SEDIMENT BARRIER SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE SITE PLAN.
  2. THE SITE SHALL BE SECURED BY INSTALLATION OF TEMPORARY CHAINLINK FENCING WITH GATED ENTRANCE AT THE STABILIZED CONSTRUCTION ENTRANCE.
  3. ONCE INSTALLED, THE FILTER MITT SEDIMENT BARRIERS SHALL BE MAINTAINED IN PLACE UNTIL ALL AREAS UPGRADIENT FROM THE BARRIERS HAVE BEEN STABILIZED AS SPECIFIED HEREIN. UPON COMPLETION AND STABILIZATION OF THE PROJECT, THE FILTER MITT SHALL BE REMOVED.
  4. THE TEMPORARY CONSTRUCTION IS INTENDED TO ACT AS A LIMIT OF DISTURBANCE. ANY LAND DOWN GRADIENT FROM THE FENCE ACCIDENTALLY DISTURBED SHALL BE IMMEDIATELY REPAIRED AND RESTORED TO ORIGINAL CONDITION.
  5. ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED OR WHERE SPECIAL STABILIZATION MEASURES OR LANDSCAPE PLANTINGS ARE NOT PROPOSED SHALL BE LOAMED AND SEEDED. NO LESS THAN FOUR INCHES OF LOAM TOPSOIL SHALL BE SPREAD AND THE AREA SEEDED WITH CONSERVATION MIX.
  6. ALL AREAS OUTSIDE THE LIMIT OF WORK ARE TO BE LEFT UNDISTURBED. DURING SITE WORK ALL PERSONS AND EQUIPMENT SHALL STAY OUTSIDE THESE AREAS TO PRESERVE THE EXISTING VEGETATION.
  7. ALL SLOPES CAUSED BY EXCAVATION OF EXISTING GROUND, OR FILL OVER EXISTING GROUND TO CREATE BERMS OF EARTH MATERIALS OR RESULTING FROM RECONTOURING LAND FOR PROPOSED HOUSE LOCATIONS SHALL BE NO GREATER THAN 3:1. HORIZONTAL TO VERTICAL. THE TOE OF SLOPES IN FILL AREAS OR TOP OF SLOPE IN EXCAVATED AREAS SHALL BE NO CLOSER THAN 5 FEET FROM ADJACENT LOT LINES.
  8. THE FIRST SEVENTY-FIVE (75) FEET OF THE PROPOSED CONSTRUCTION ENTRANCE AS SHOWN SHALL BE COVERED WITH TWELVE (12) INCHES OF 1 - 3 INCH CRUSHED STONE TO STABILIZE THE AREA (SEE DETAIL).
- A MORE DETAILED SEDIMENT AND EROSION CONTROL PLAN WILL BE DEVELOPED AS PART OF THE NPDES STORMWATER POLLUTION PREVENTION PLAN.

**BUILDING PHASE CONSTRUCTION SCHEDULE:**

- PHASE 1**  
Units 2-6
- PHASE 2**  
Units 7 & 8
- PHASE 3**  
Unit 1  
(Last unit to be constructed)

**EROSION CONTROL MAINTENANCE:**

THE CONTRACTOR SHALL HAVE ON THE SITE, AN ADEQUATE QUANTITY OF SUPPLEMENTAL HAYBALES, SILT FENCE AND STAKES TO BE USED FOR CONTROL OF EMERGENCY EROSION PROBLEMS. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER A STORM EVENT OF 1" INCH OR GREATER.

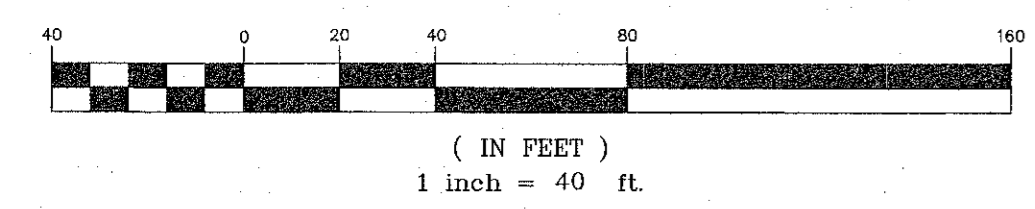
**DEWATERING:**

DISCHARGES FROM A DEWATERING CONSTRUCTION PROCEDURE WILL BE FILTERED THROUGH A SILTATION BASIN CONSTRUCTED UPLAND FROM THE WORK SITE. THE SILTATION BASIN SHALL BE A DEPRESSION SURROUNDED BY A HAYBALE DIKE OR SILT FENCE. OVERFLOW FROM THE BASIN SHALL BE PLANNED TO BE LOCATED OVER THICKLY AND NATURALLY MULCHED UPLAND AREA.

**STOCKPILING:**

STOCKPILE MATERIAL SHALL STORED IN THE AREAS DESIGNATED. ALL STOCKPILES AREAS SHALL BE SECURED AROUND THE PERIMETER WITH HAYBALE DIKE OR SILT FENCE.

**GRAPHIC SCALE**



**SITE DEVELOPMENT PLAN**  
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**EROSION CONTROL**