

# SITE DEVELOPMENT PLAN

## A COMPREHENSIVE PERMIT M.G.L. c. 40B

### "DIAMOND HILL ESTATES"

### WALPOLE, MASSACHUSETTS

DATE: FEBRUARY 26, 2020  
 REVISED: JUNE 2, 2020  
 AUGUST 5, 2020  
 NOV. 30, 2020

**ASSESSOR'S REFERENCE:**  
 MAP 35, PARCEL 380-1

**DEED REFERENCE:**  
 NORFOLK COUNTY REGISTRY OF DEEDS  
 Bk. 20779, Pg. 209

**PLAN REFERENCE:**  
 NORFOLK COUNTY REGISTRY OF DEEDS  
 FILE IN PLAN BOOK 77, PLAN 3721

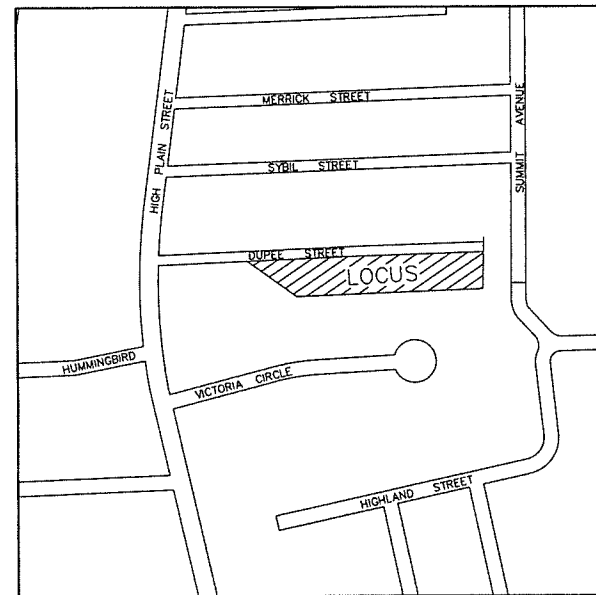
**OWNER OF RECORD:**  
 DIAMOND BROOK REALTY TRUST  
 P.O. BOX 31  
 SO. WALPOLE, MA

**ZONING CLASSIFICATION:**  
 RESIDENCE B - RB  
 LOT AREA: 20,000 S.F.  
 FRONTAGE: 125 FT.

**SETBACKS:**  
 FRONT: 30'  
 SIDE: 15'  
 REAR: 30'

**ZONING DATA:**

	REQUIRED	PROVIDED
RESIDENCE-B (RB)		
LOT AREA:	20,000 S.F.	52,238 ± S.F. (1.2± AC)
FRONTAGE:	125 FT.	641.05 FT. (DUPEE STREET)
<b>SETBACKS:</b>		
FRONT:	30 FT.	24.0 FT.
SIDE:	15 FT.	23.0 FT.
REAR:	30 FT.	30.0 FT.
<b>MAXIMUM BUILDING HGT</b>	35 FT	35 FT
<b>MAXIMUM STORIES</b>	2.5	2.5
<b>LOT COVERAGE:</b>	<b>ALLOWED</b>	<b>PROPOSED</b>
BUILDING:	25% (13,059 sf)	27.2% (14,184 sf)
TOTAL IMPERVIOUS (Buildings & Imp)	40% (20,895 sf)	35.6% (18,571 sf)



LOCUS MAP  
 1"=200'

Prepared By:  
**GLM ENGINEERING**  
 CONSULTANTS, INC.  
 19 EXCHANGE STREET  
 HOLLISTON, MASSACHUSETTS 01746  
 (508)429-1100 fax:(508)429-7160

**Applicant:**  
 WALL STREET DEVELOPMENT CORP.  
 P.O. BOX 272  
 WESTWOOD, MASSACHUSETTS 02090

APPROVED BY THE  
 WALPOLE ZONING BOARD  
 OF APPEALS:

DATE APPROVED: \_\_\_\_\_  
 DATE ENDORSED: \_\_\_\_\_

I, TOWN CLERK OF THE TOWN OF WALPOLE  
 RECEIVED & RECORDED FROM THE ZONING  
 BOARD OF APPEALS, APPROVAL OF THIS PLAN  
 AND NO APPEAL HAS BEEN TAKEN FOR TWENTY  
 DAYS NEXT AFTER RECEIPT AND RECORDING OF  
 SAME.

\_\_\_\_\_  
 TOWN CLERK                      DATE



\_\_\_\_\_  
 JOYCE E. HASTINGS P.L.S.  
 \_\_\_\_\_  
 PAUL E. TRUAX P.E.

11-30-2020  
 DATE

11-30-2020  
 DATE

**SHEET INDEX**

- 1 COVER
- 2 EXISTING CONDITIONS
- 3 LAYOUT PLAN
- 4 GRADING, DRAINAGE & UTILITIES
- 5 PROFILES
- 6 LANDSCAPE
- 7-12 DETAILS

JOB No.	15588
SCALE:	AS NOTED
DATE:	FEBRUARY 26, 2020
SHEET No.	1 of 12

**LEGEND:**

- 186--- EXISTING CONTOUR
- 163x2 EXISTING SPOT ELEVATION
- EXISTING WATER GATE
- EXISTING WATER LINE
- EXISTING TREE LINE
- EXISTING SEWER MANHOLE
- EXISTING TEST PIT LOCATION
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED HYDRANT
- PROPOSED WATER LINE
- PROPOSED DRAIN MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED DRAIN LINE
- PROPOSED SEWER LINE
- PROPOSED SEWER MANHOLE
- PROPOSED TREE LINE

**ZONING DATA:**

RESIDENCE-B (RB)		REQUIRED	PROVIDED
LOT AREA:	20,000 S.F.	52,238 ± S.F. (1.2± AC)	
FRONTAGE:	125 FT.	641.05 FT. (DUPEE STREET)	
<b>SETBACKS:</b>			
FRONT:	30 FT.	29.0 FT.	
SIDE:	15 FT.	22.0 FT.	
REAR:	30 FT.	30.0 FT.	
<b>MAXIMUM BUILDING HIGHT</b>			
MAXIMUM STORIES:	35 FT	35 FT	
<b>LOT COVERAGE:</b>			
BUILDING:	25% (13,059 sf)	27.4% (14,320 sf)	
TOTAL IMPERVIOUS (Buildings & Imp)	40% (20,895 sf)	45.1% (23,580 sf)	

**ASSESSOR'S REFERENCE:**  
MAP 35, PARCEL 380-1

**DEED REFERENCE:**  
NORFOLK COUNTY REGISTRY OF DEEDS  
Bk. 20779, Pg. 209

**PLAN REFERENCE:**  
NORFOLK COUNTY REGISTRY OF DEEDS  
FILE IN PLAN BOOK 77, PLAN 3721

**OWNER OF RECORD:**  
DIAMOND BROOK REALTY TRUST  
P.O. BOX 31  
50, WALPOLE, MA

**ZONING CLASSIFICATION:**

RESIDENCE B - RB  
LOT AREA: 20,000 S.F.  
FRONTAGE: 125 FT.  
SETBACKS:  
FRONT: 30'  
SIDE: 15'  
REAR: 30'

**NOTES:**

1. THE LOCATION OF EXISTING UTILITIES IS APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. NOTIFY "DIG SAFE" AT 1-888-344-7233 AT THE 72 HOURS PRIOR TO ANY SITE EXCAVATION.
2. EXISTING STRUCTURES SHOWN ARE APPROXIMATE. THE LOCATION OF THE BUILDINGS WERE COMPILED FROM EXISTING PLANS OF RECORD AND TOWN OF WALPOLE GIS INFORMATION.

APPROVED BY THE  
WALPOLE ZONING BOARD  
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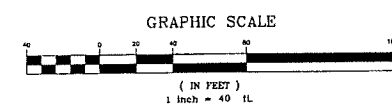
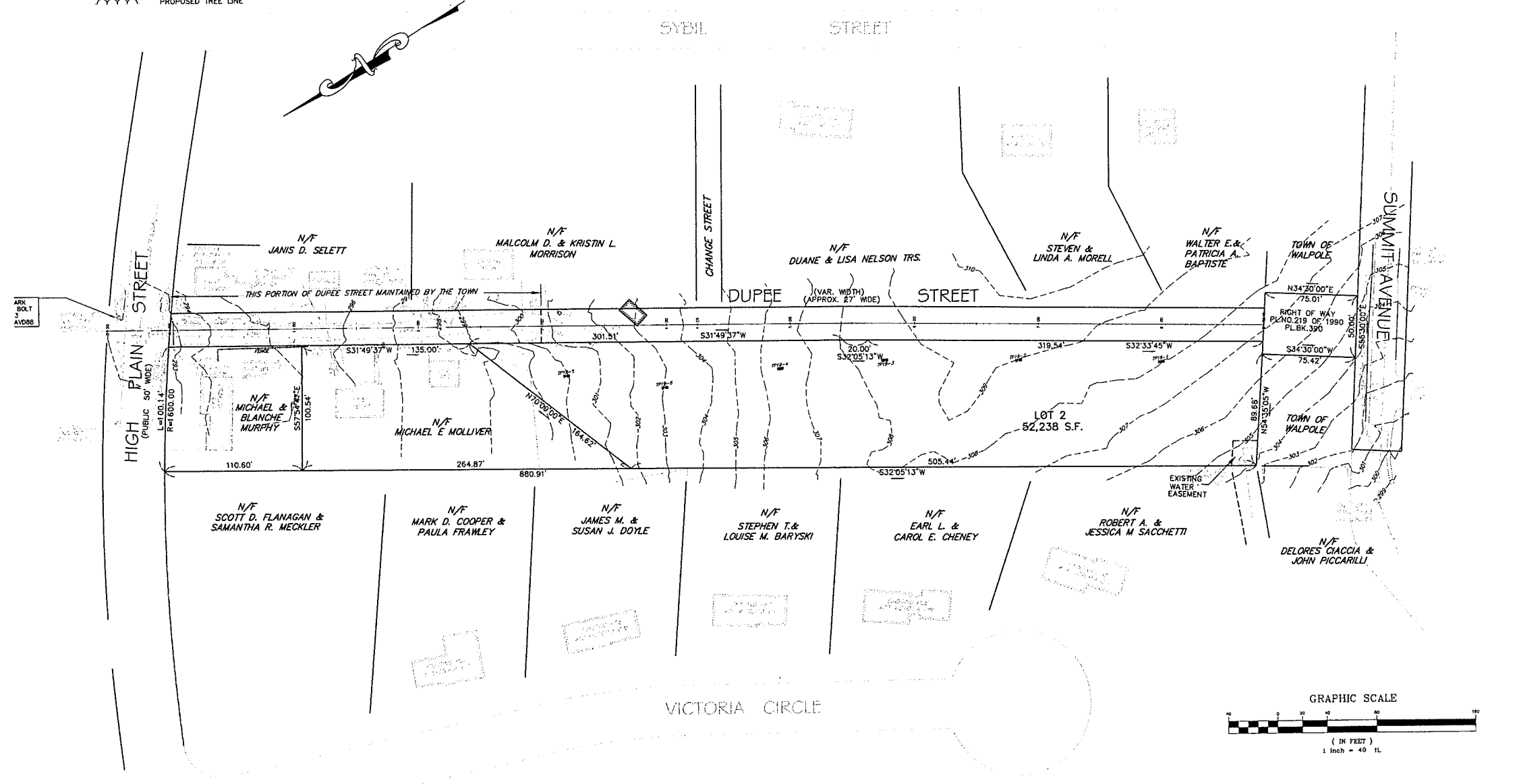
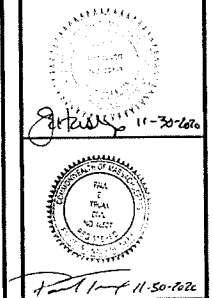
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TOWN CLERK

DATE

REVISIONS	
No.	DESCRIPTION
1	ZONING BOARD COMMENTS
2	DRAINAGE ANALYSIS
3	ZBA & PEER REVIEW COMMENTS



EXISTING CONDITIONS

**SITE DEVELOPMENT PLAN**  
**A COMPREHENSIVE PERMIT M.G.L.C. 40B**  
**"DIAMOND HILL ESTATES"**  
**WALPOLE, MASSACHUSETTS**  
PREPARED FOR:  
WALL STREET DEVELOPMENT CORP.  
P.O. BOX 272  
WESTWOOD, MA 02090

**GLM** Engineering  
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19 EXCHANGE STREET  
HOLLISTON, MA 01746  
P: 508-429-1100  
F: 508-429-7160  
www.GLMengineering.com

JOB No.	16,518
DATE:	FEB. 20, 2020
SCALE:	1"=40'
SHEET:	2 of 12
PLAN #:	27,321

**LEGEND:**

- 186 --- EXISTING CONTOUR
- 16.3x2 EXISTING SPOT ELEVATION
- EXISTING WATER LINE
- EXISTING WATER GATE
- EXISTING TREE LINE
- EXISTING SEWER MANHOLE
- TP 1 EXISTING TEST PIT LOCATION
- 20 --- PROPOSED CONTOUR
- 301.0 PROPOSED SPOT ELEVATION
- PROPOSED HYDRANT
- PROPOSED WATER LINE
- PROPOSED DRAIN MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED DRAIN LINE
- PROPOSED SEWER LINE
- PROPOSED SEWER MANHOLE
- PROPOSED TREE LINE

**ZONING DATA:**

RESIDENCE-B (RB)

	REQUIRED	PROVIDED
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FRONT:	30 FT.	29.0 FT.
SIDE:	15 FT.	22.0 FT.
REAR:	30 FT.	30.0 FT.
<b>MAXIMUM BUILDING HIGHT</b>		
	35 FT	35 FT
<b>MAXIMUM STORIES</b>		
	2.5	2.5
<b>LOT COVERAGE:</b>		
BUILDING:	25% (13,059 sf)	27.4% (14,320 sf)
TOTAL IMPERVIOUS (Buildings & Imp):	40% (20,895 sf)	45.1% (23,560 sf)

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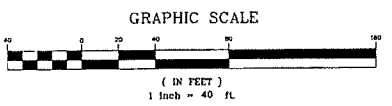
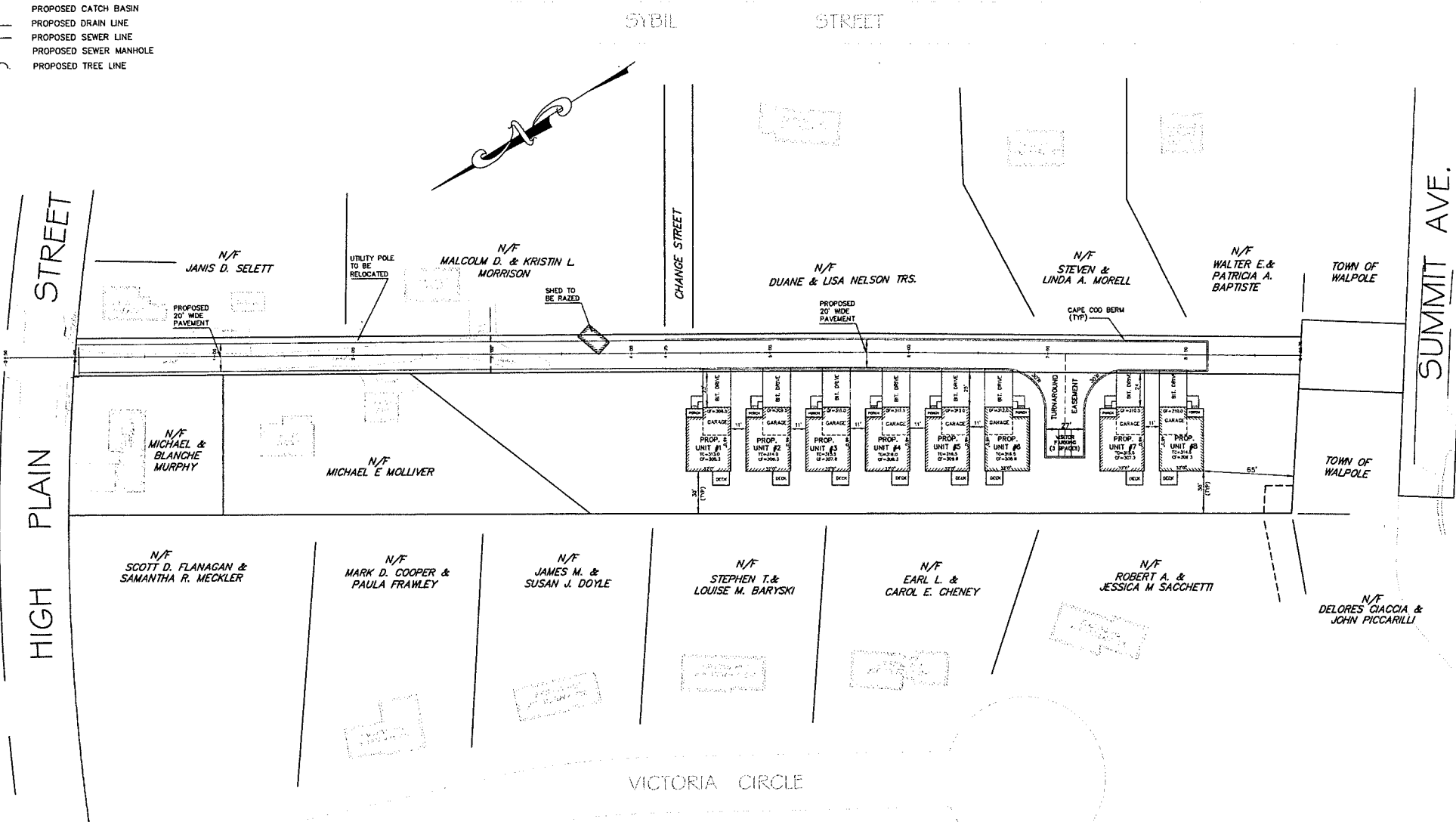
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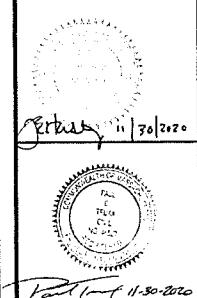
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DATE \_\_\_\_\_



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No.	DATE	DESCRIPTION
1	6/02/20	ZONING BOARD COMMENTS
2	8/05/20	DRAINAGE ANALYSIS
3	11/30/20	ZBA & PEER REVIEW COMMENTS



**SITE DEVELOPMENT PLAN**  
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**"DIAMOND HILL ESTATES"**  
**WALPOLE, MASSACHUSETTS**  
PREPARED FOR:  
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P.O. BOX 272  
WESTWOOD, MA 02090

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HOLLISTON, MA 01746  
P: 508-429-1100  
F: 508-429-7160  
www.GLMengineering.com

JOB No.	16.518
DATE:	FEB. 26, 2020
SCALE:	1"=40'
SHEET:	3 of 12
PLAN #:	27,321

**PROPOSED LAYOUT**

**LEGEND:**

- 186 -- EXISTING CONTOUR
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- PROPOSED CATCH BASIN
- PROPOSED DRAIN LINE
- PROPOSED SEWER LINE
- PROPOSED SEWER MANHOLE
- PROPOSED TREE LINE
- TC PROPOSED TOP OF FOUNDATION/CONC.
- CF PROPOSED CELLAR FLOOR

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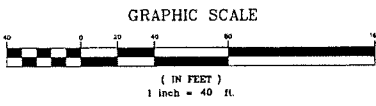
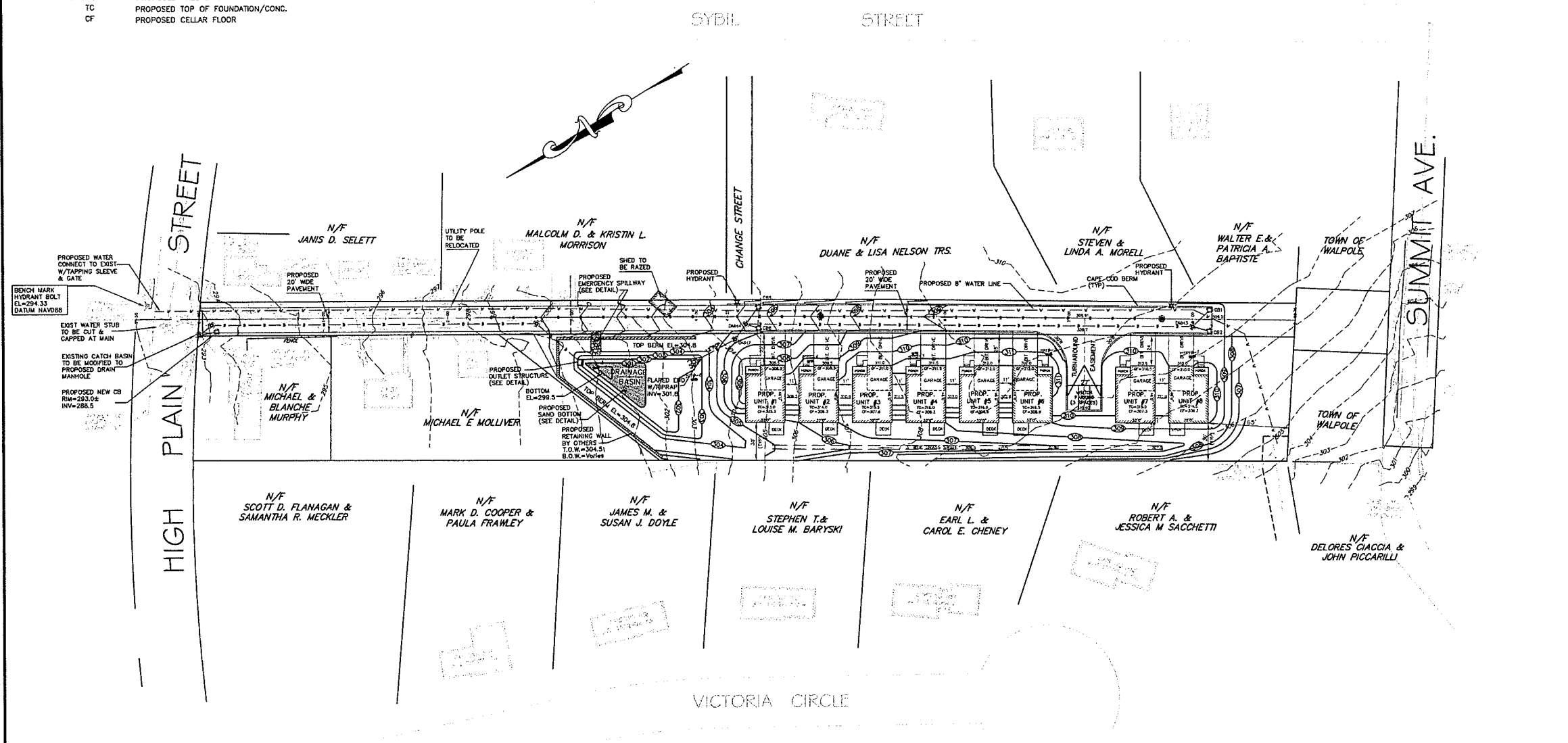
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DATE \_\_\_\_\_



REVISIONS		DESCRIPTION
No.	DATE	
1	8/02/20	ZONING BOARD COMMENTS
2	8/05/20	DRAINAGE ANALYSIS
3	11/30/20	ZBA & PEER REVIEW COMMENTS

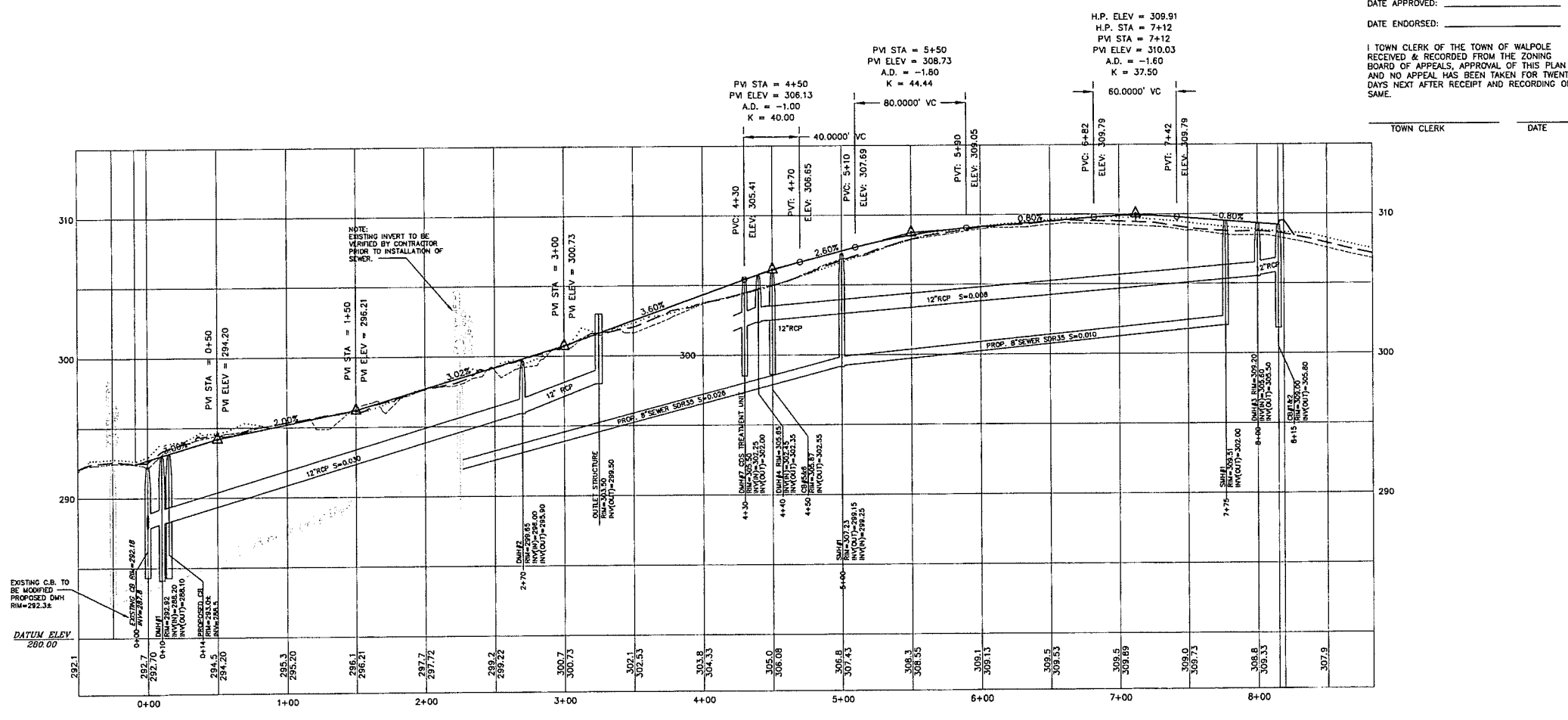
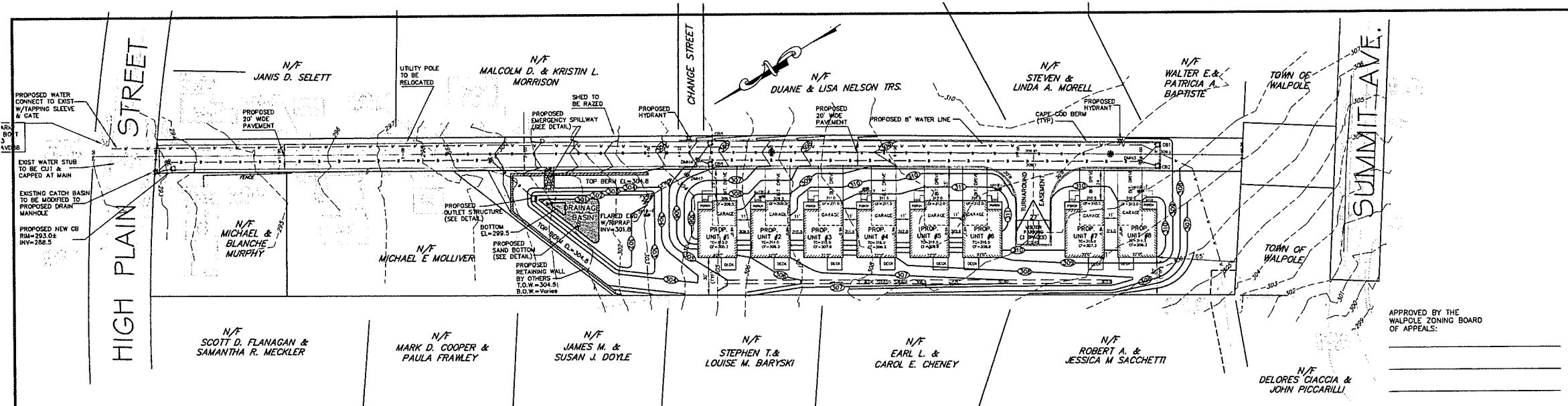
Sealed February 11-30-2020  
 [Seal of the Town of Walpole, Massachusetts]

**SITE DEVELOPMENT PLAN**  
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**"DIAMOND HILL ESTATES"**  
**WALPOLE, MASSACHUSETTS**  
 PREPARED FOR:  
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 WEST WOOD, MA 02090

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JOB No.	16.518
DATE:	FEB. 26, 2020
SCALE:	1"=40'
SHEET:	4 of 12
PLAN #:	27,321

**GRADING & UTILITIES**



PROFILE DUPEE ST.  
SCALE: Horiz: 1"=40', Vert: 1"=4'

ROADWAY PROFILE

APPROVED BY THE WALPOLE ZONING BOARD OF APPEALS:

DATE APPROVED: \_\_\_\_\_

DATE ENDORSED: \_\_\_\_\_

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

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1	6/02/20	ZONING BOARD COMMENTS
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3	11/30/20	ZBA & PEER REVIEW COMMENTS

11-30-2020

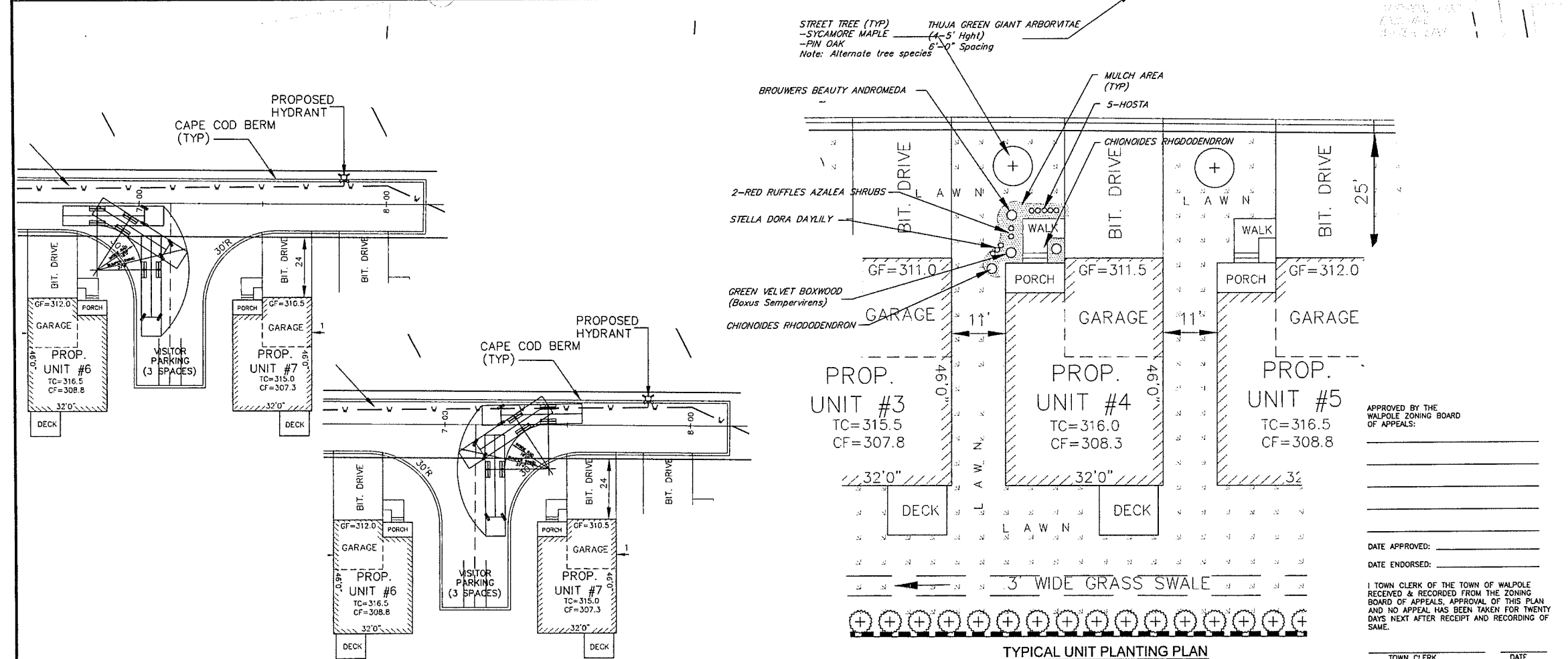
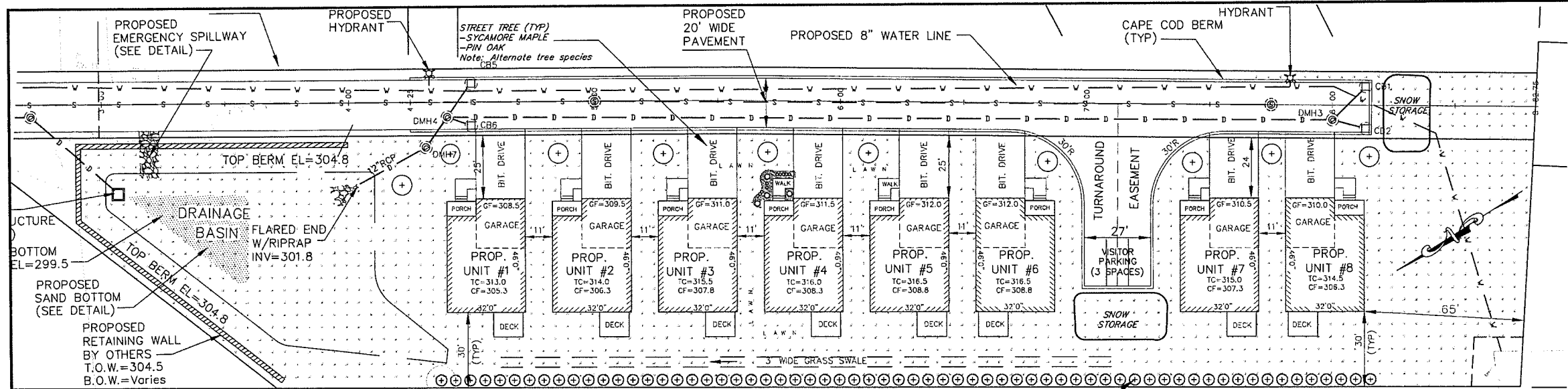
11-30-2020

SITE DEVELOPMENT PLAN  
A COMPREHENSIVE PERMIT M.G.L.C. 40B  
"DIAMOND HILL ESTATES"  
WALPOLE, MASSACHUSETTS

PREPARED FOR:  
WALL STREET DEVELOPMENT CORP.  
10 BOX 174  
WESTWOOD, MA 02090

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JOB No.	16.518
DATE:	FEB. 26, 2020
SCALE:	1"=40'
SHEET:	5 of 12
PLAN #:	27,321



TYPICAL FIRE TRUCK TURNING DETAIL  
SCALE: 1"=10'

APPROVED BY THE WALPOLE ZONING BOARD OF APPEALS:

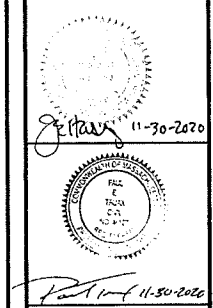
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LANDSCAPE

REVISIONS		DESCRIPTION
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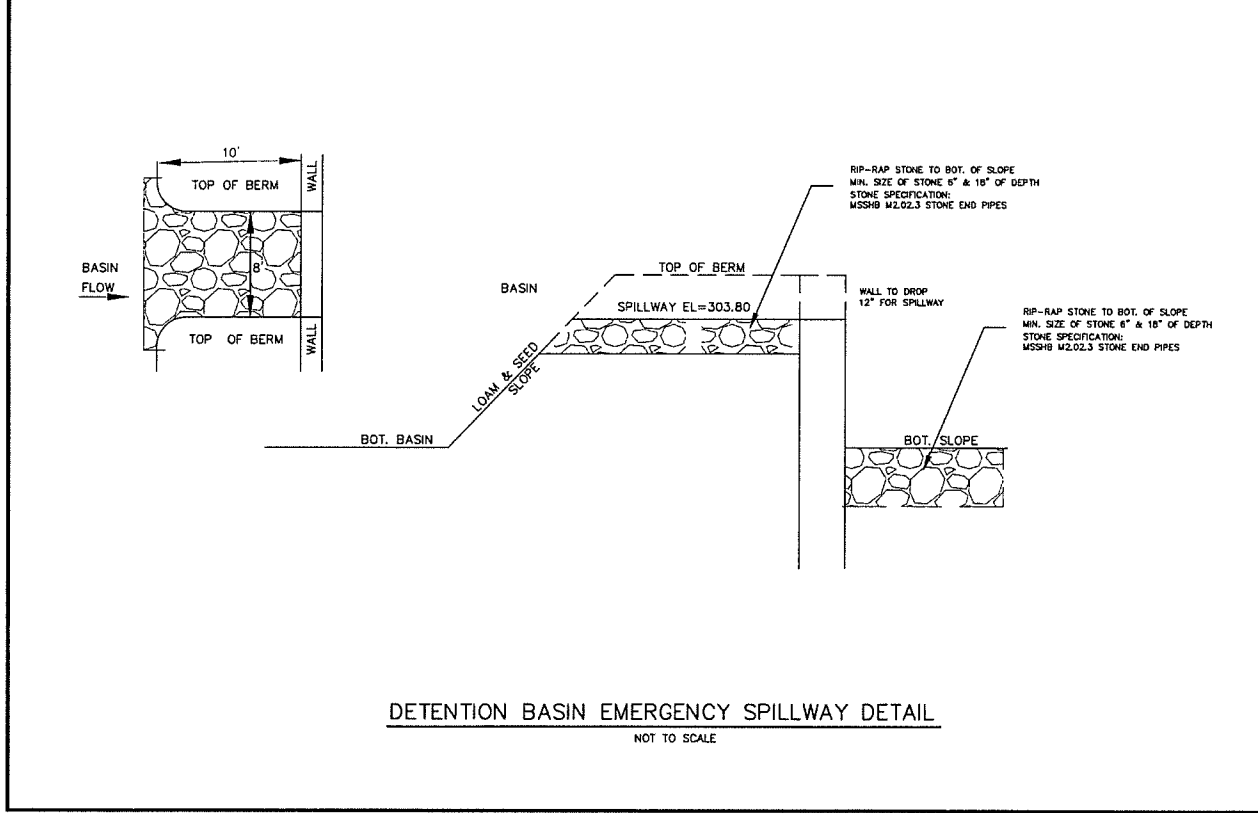
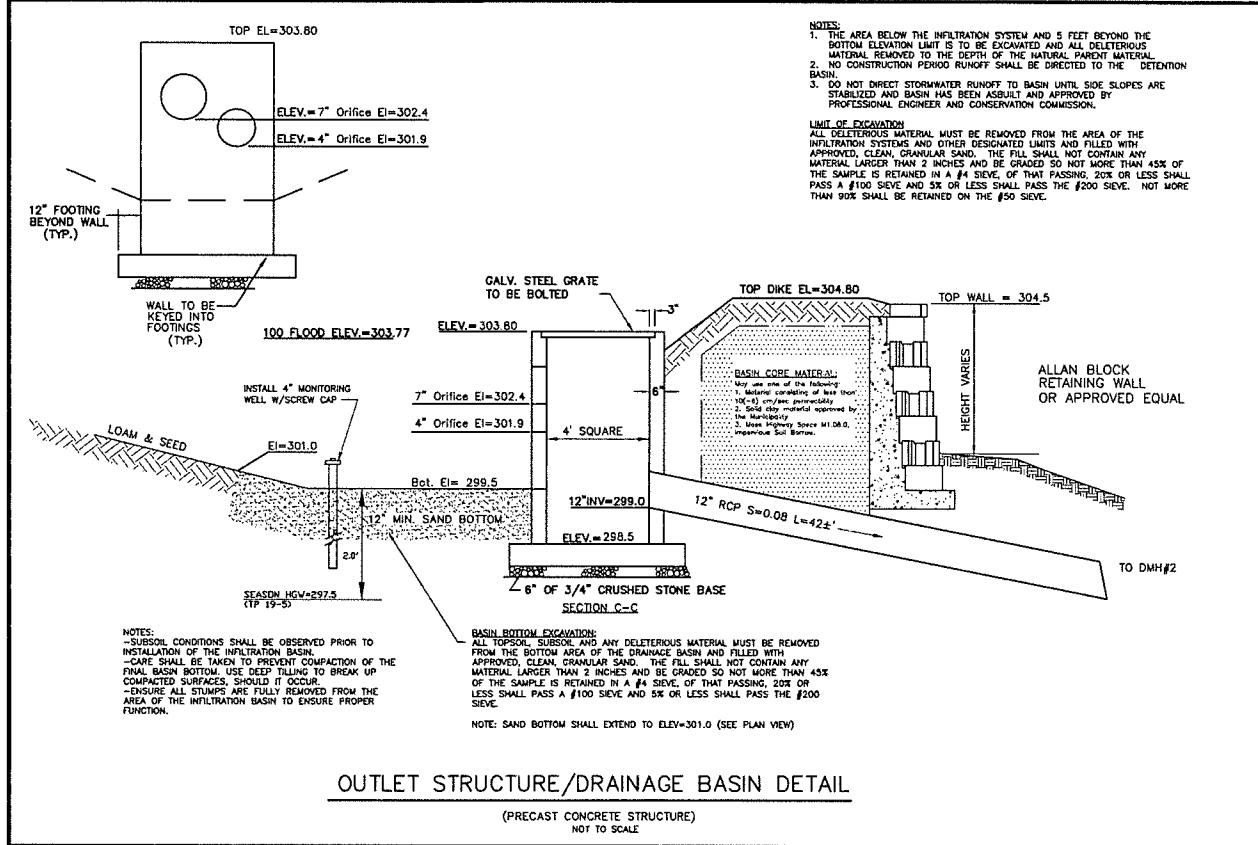


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SHEET: 6 of 13  
PLAN #: 27,321



**DEEP OBSERVATION HOLE LOGS**

DEEP HOLE - 19-1	DEEP HOLE - 19-2	DEEP HOLE - 19-3	DEEP HOLE - 19-4	DEEP HOLE - 19-5	DEEP HOLE - 19-6
HOLE DEPTH	HOLE DEPTH	HOLE DEPTH	HOLE DEPTH	HOLE DEPTH	HOLE DEPTH
4"	4"	4"	4"	4"	4"
20"	18"	20"	20"	20"	20"
100"	115"	115"	108"	91"	104"
300.0	308.0	308.0	308.0	300.0	303.0
308.3	307.3	306.6	306.6	299.3	300.0
299.0	329.8	298.8	301.1	292.3	284.3
305.5	308.3	305.8	303.8	297.5	300.5
306.5	308.8	305.8	303.8	297.5	300.5

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TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

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2	8/05/20	DRAINAGE ANALYSIS
3	11/30/20	ZBA & PEER REVIEW COMMENTS

**SEAL**

**PREPARED FOR:**  
WALL STREET DEVELOPMENT CORP.  
WESTWOOD, MA 02090

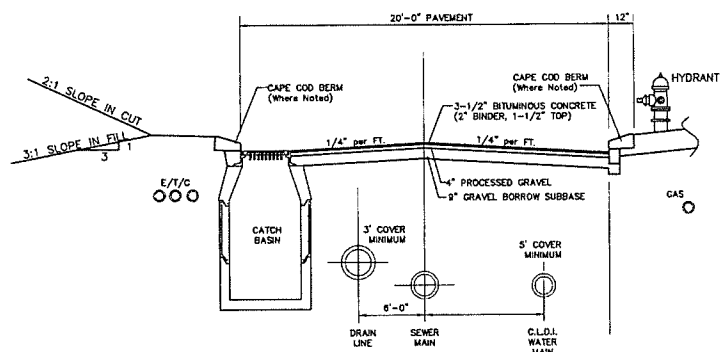
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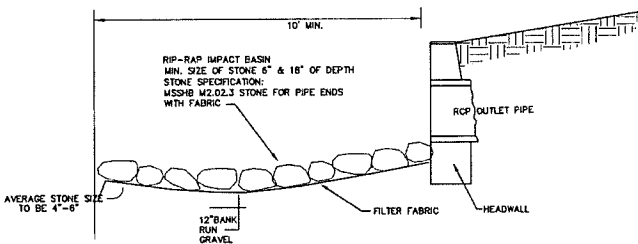
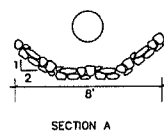
**DETAILS**

**NOTES**

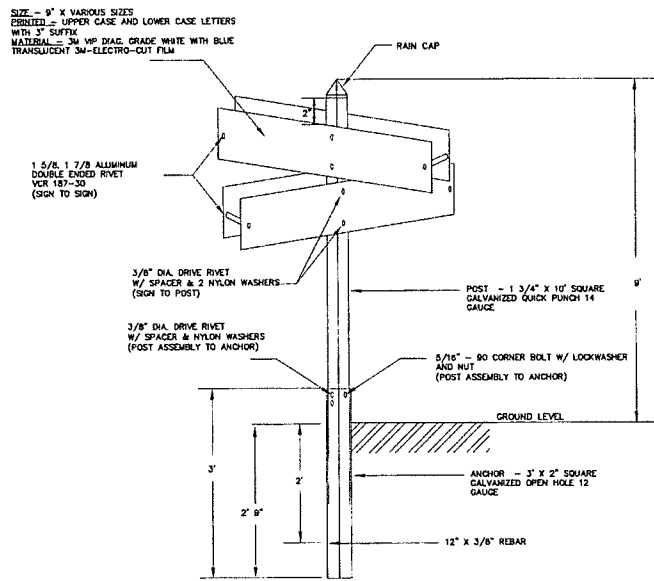
- a) Gravel borrow subbase shall conform to section M1.03.0 type b, three inches largest dimension of the latest edition of the Massachusetts Highway Department Standard Specifications for Highways and Bridges (Standard Specifications).
- b) Gravel borrow subbase shall be compacted to not less than 95 percent of maximum dry density of the material as determined by the Standard AASHTO Test Designation T99 compaction test method C at optimum moisture content as determined by the engineer.
- c) "Tac Coat" as specified in Section 486.61 of the Standard Specifications shall be applied by "tac truck" between asphalt layers or as determined by the engineer.
- d) Soils testing including sieve analysis, proctor testing and compaction testing shall be performed once every 100 feet of paved roadway along the centerline of the roadway or as directed by the engineer.
- e) Sidewalk ramps must meet current applicable ADA / AAB standards.



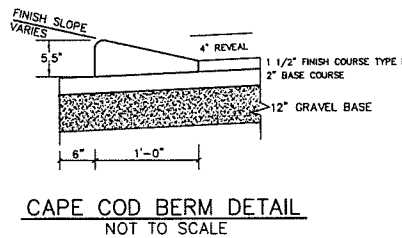
**TYPICAL DRIVE CROSS SECTION**  
NOT TO SCALE



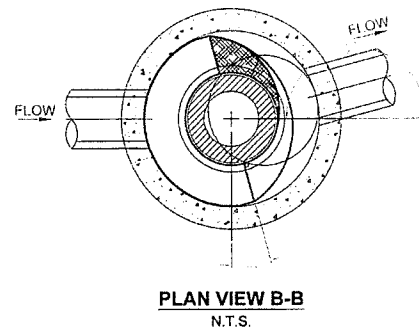
**RIP-RAP DETAIL HEADWALLS**  
NOT TO SCALE



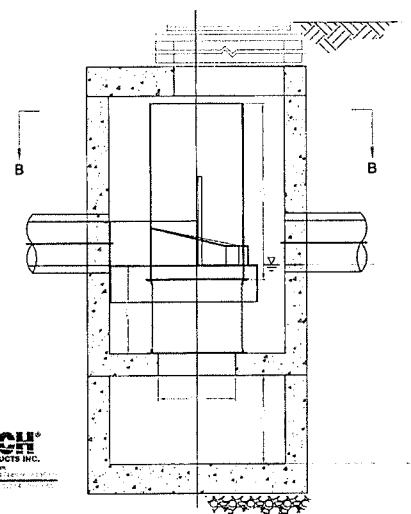
**TYPICAL STREET SIGN DETAIL**  
(NOT TO SCALE)



**CAPE COD BERM DETAIL**  
NOT TO SCALE



**PLAN VIEW B-B**  
N.T.S.



**ELEVATION A-A**  
N.T.S.

- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
  - DIMENSIONS MARKED WITH ( ) ARE REFERENCED DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
  - FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WISHERS, PLEASE CONTACT YOUR CONTECH CONSTRUCTION PRODUCTS REPRESENTATIVE. [www.contech-cd.com](http://www.contech-cd.com)
  - CDD WATER QUALITY STRUCTURES SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
  - STRUCTURE SHALL MEET AASHTO H20 AND EASTONS SHALL MEET AASHTO M308 LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
  - PVC INTERNAL SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
- INSTALLATION NOTES**
- ANY SUB-BASE BACKFILL DEPTH AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
  - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDD MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
  - CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLY STRUCTURE.
  - CONTRACTOR TO PRIME, INSTALL, AND GROUT TYPES. WATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
  - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSEMBLE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

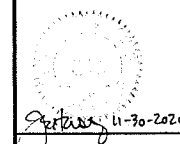
**WATER QUALITY UNIT DETAIL**  
**CDS1515-3-C CDS INLINE STANDARD DETAIL**  
NOT TO SCALE

APPROVED BY THE  
WALPOLE ZONING BOARD  
OF APPEALS:

DATE APPROVED: \_\_\_\_\_  
DATE ENDORSED: \_\_\_\_\_

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

REVISIONS	DATE	DESCRIPTION
1	6/02/20	ZONING BOARD COMMENTS
2	8/05/20	DRAINAGE ANALYSIS
3	11/30/20	ZBA & PEER REVIEW COMMENTS



**SITE DEVELOPMENT PLAN**  
**A COMPREHENSIVE PERMIT M.G.L. c. 40B**  
**"DIAMOND HILL ESTATES"**  
**WALPOLE, MASSACHUSETTS**  
PREPARED FOR:  
WALL STREET DEVELOPMENT CORP.  
P.O. BOX 372  
WESTWOOD, MA 02090

**GLM** Engineering  
Consultants, Inc.  
19 EXCHANGE STREET  
HOLLISTON, MA 01746  
P: 508-429-1100  
F: 508-429-7160  
[www.GLMengineering.com](http://www.GLMengineering.com)

JOB No.	16,518
DATE:	FEB. 26, 2020
SCALE:	1"=40'
SHEET:	8 of 12
PLAN #:	27,321

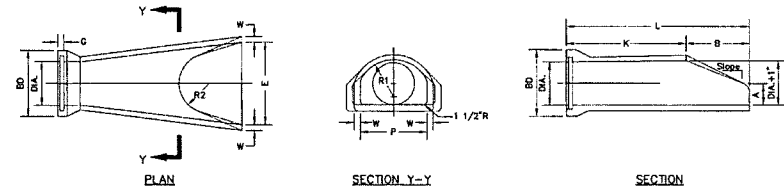
**Note:**  
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details for the most up to date revisions.

**TOWN OF WALPOLE, MASSACHUSETTS**  
**DEPARTMENT OF PUBLIC WORKS**  
**PLAN SHOWING TYPICAL**  
**ROADWAY DETAILS**

- 1 7-11-06 DRAFTER TO AUTOCAD FILE MAJ
- 2 10-0-06 ADDING REARFILL GRANITE DETAILS MAJ

**DETAILS**

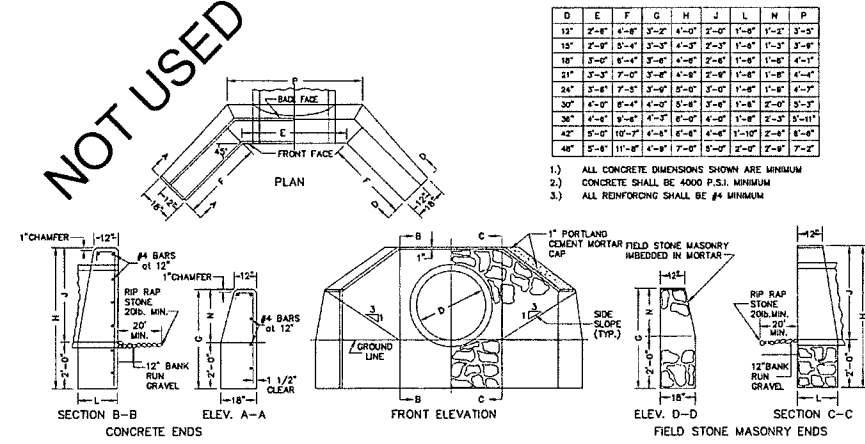




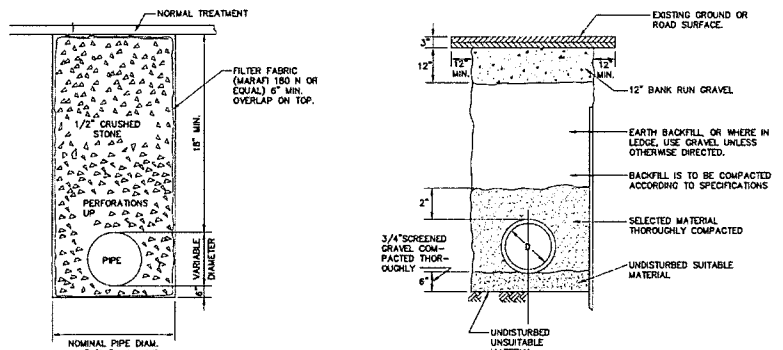
DI	W	A	B	C	D	E	BD	K	L	P	DA	R1	R2	S	G	Slope
12"	2"	4"	2'-0"	4'-0"	4'-3 1/2"	2'-0"	20'	4'-0 1/2"	4'-1 1/2"	8 5/8"	13"	15 1/8"	6"	4"	2 1/2"	3:1
15"	2 1/4"	6"	2'-3"	5'-10"	4'-1 1/2"	2'-0"	24"	4'-3 1/2"	4'-4 1/2"	10 5/8"	16"	12 1/2"	11"	4"	2 1/2"	3:1
18"	2 1/2"	9"	2'-3"	5'-10"	6'-1"	3'-0"	28"	4'-3 1/2"	4'-1 1/2"	12 5/8"	19"	15 1/2"	12"	4"	2 3/4"	3:1
21"	2 3/4"	9"	2'-11"	5'-2"	6'-1"	3'-6"	32"	4'-4 1/2"	4'-1 1/2"	13 5/8"	22"	16 1/8"	13"	4"	2 3/4"	3:1
24"	3"	9 1/2"	2'-7 1/2"	2'-6"	6'-1"	4'-0"	36"	4'-4 1/2"	4'-6"	15 5/8"	25"	18 5/8"	14"	4"	3"	3:1

R.C.P. FLARED END SECTION DETAILS  
NOT TO SCALE

NOT USED

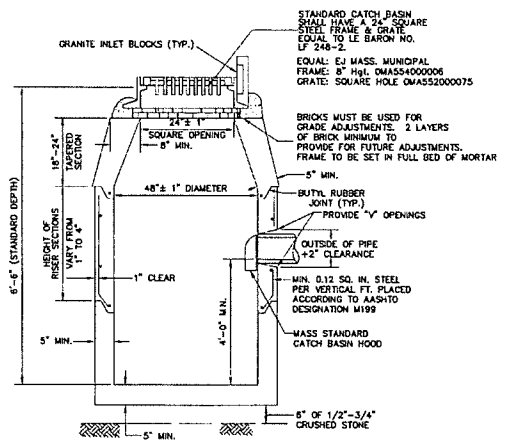


CONCRETE AND FIELD STONE MASONRY HEADWALL/WINGWALL DETAILS  
NOT TO SCALE

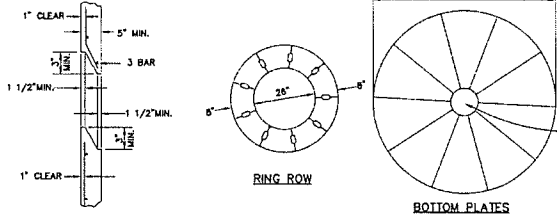


SUBDRAIN DETAILS  
NOT TO SCALE

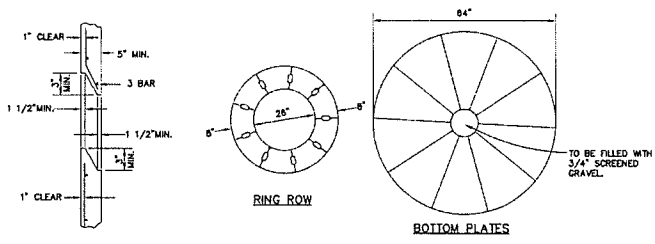
TYPICAL DRAIN TRENCH DETAILS  
NOT TO SCALE



PRECAST CONCRETE CATCH BASIN DETAILS  
NOT TO SCALE



PRECAST STRUCTURE JOINT DETAILS  
NOT TO SCALE



BLOCK CATCH BASIN & MANHOLE BOTTOM DETAILS  
NOT TO SCALE

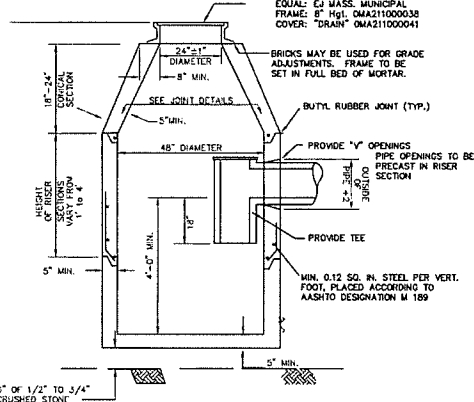
I TOWN CLERK OF THE TOWN OF WALPOLE RECEIVED & RECORDED FROM THE ZONING BOARD OF APPEALS, APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

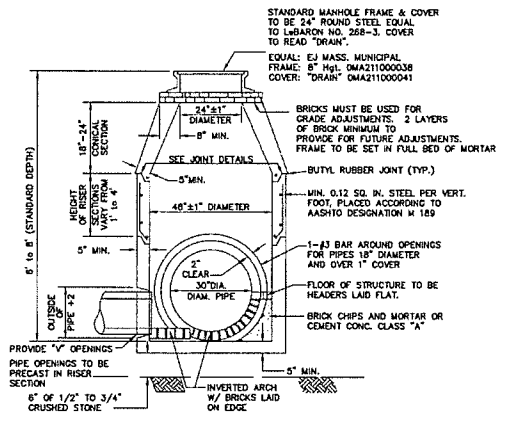
APPROVED BY THE WALPOLE ZONING BOARD OF APPEALS:

DATE APPROVED: \_\_\_\_\_

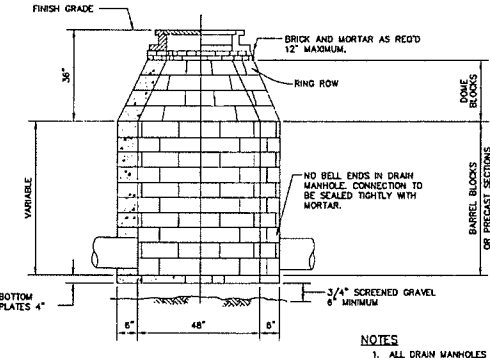
DATE ENDORSED: \_\_\_\_\_



PRECAST 4' SUMP MANHOLE DETAIL  
NOT TO SCALE



PRECAST CONCRETE MANHOLE DETAILS  
NOT TO SCALE



BLOCK DRAIN MANHOLE DETAILS  
NOT TO SCALE

- NOTES
1. ALL DRAIN MANHOLES TO HAVE BRICK INVERTS. SEE PRECAST MANHOLE DETAILS.
  2. MANHOLE BLOCKS MORE THAN 6' IN DEPTH TO BE 8" BLOCK.

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TOWN OF WALPOLE, MASSACHUSETTS  
DEPARTMENT OF PUBLIC WORKS  
PLAN SHOWING TYPICAL  
DRAINAGE CONSTRUCTION DETAILS

REV. #	DATE	DESCRIPTION	BY
1	9-11-08	ISSUED TO APPROVED FILE	MAP
2	11-08-08	MAJOR REVISIONS	MAP

NO.	DATE	DESCRIPTION
1	6/02/20	ZONING BOARD COMMENTS
2	8/05/20	DRAINAGE ANALYSIS
3	11/03/20	ZBA & PEER REVIEW COMMENTS

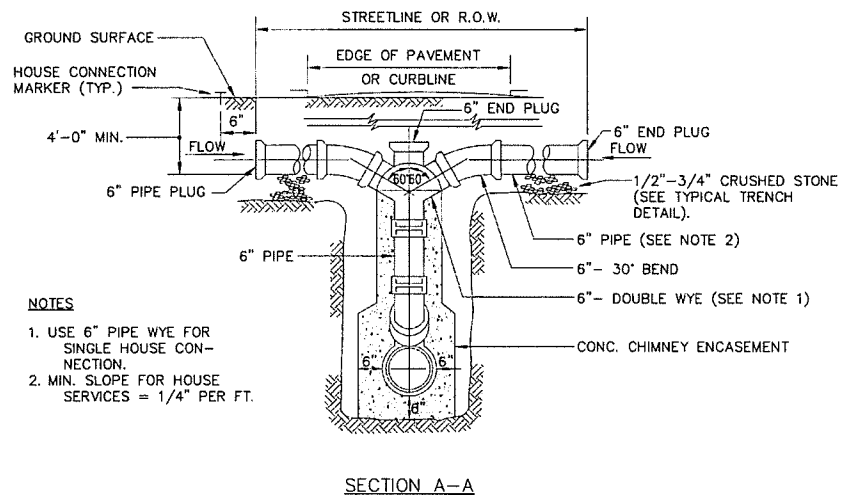
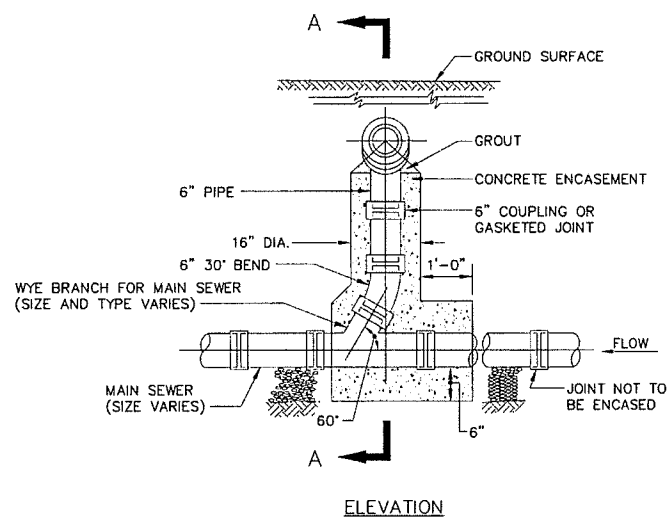


SITE DEVELOPMENT PLAN  
A COMPREHENSIVE PERMIT M.G.L. c. 40B  
"DIAMOND HILL ESTATES"  
WALPOLE, MASSACHUSETTS  
PREPARED FOR:  
WALL STREET DEVELOPMENT CORP.  
P.O. BOX 272  
WESTWOOD, MA 02090

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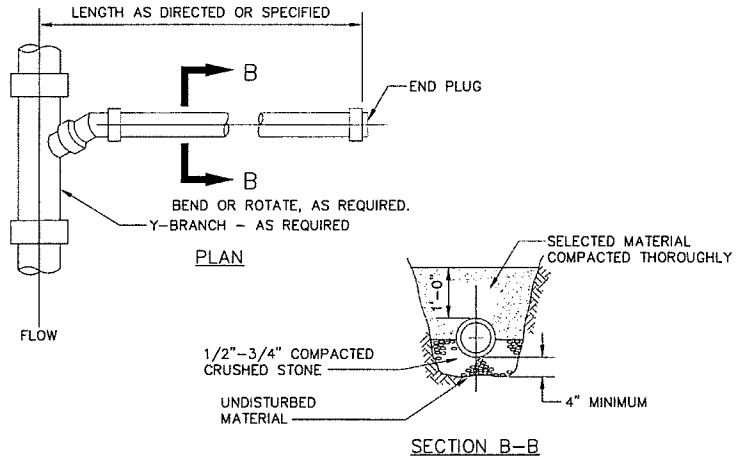
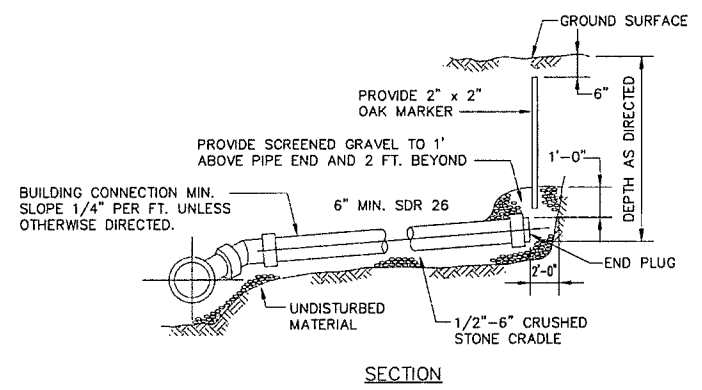
JOB No. 16,518  
DATE: FEB. 26, 2020  
SCALE: 1"=40'  
SHEET: 9 of 12  
PLAN #: 27,321

DETAILS

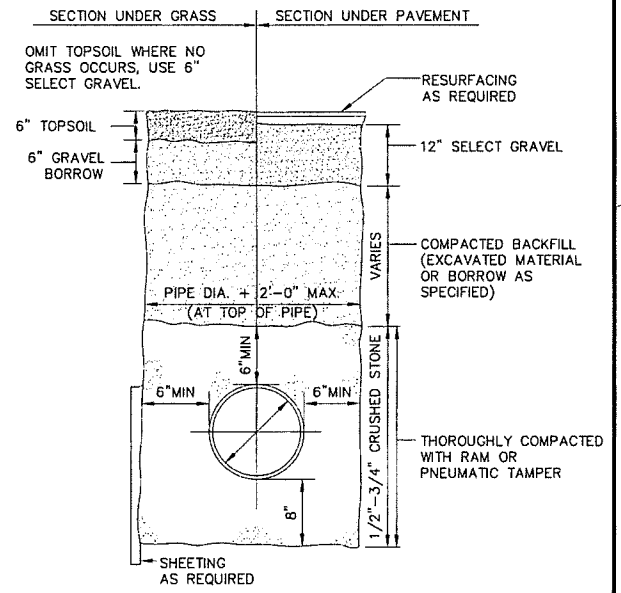


- NOTES**
1. USE 6" PIPE WYE FOR SINGLE HOUSE CONNECTION.
  2. MIN. SLOPE FOR HOUSE SERVICES = 1/4" PER FT.

**TYPICAL HOUSE SERVICE CONNECTION & CHIMNEY DETAIL**  
(FOR MAIN SEWER OVER 8'-0" DEEP)  
NOT TO SCALE



**TYPICAL BUILDING CONNECTION**  
NOT TO SCALE



**TYPICAL SEWER TRENCH DETAIL**  
NOT TO SCALE

APPROVED BY THE  
WALPOLE ZONING BOARD  
OF APPEALS:

DATE APPROVED: \_\_\_\_\_  
DATE ENDORSED: \_\_\_\_\_

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

I, TOWN CLERK OF THE TOWN OF WALPOLE RECEIVED & RECORDED FROM THE ZONING BOARD OF APPEALS, APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

REVISIONS	No.	DATE	DESCRIPTION
	1	6/22/20	ZONING BOARD COMMENTS
	2	8/25/20	DRAINAGE ANALYSIS
	3	11/30/20	ZBA & PEER REVIEW COMMENTS



PREPARED FOR:  
WALL STREET DEVELOPMENT CORP.  
P.O. BOX 272  
WESTWOOD, MA 02090

**SITE DEVELOPMENT PLAN**  
A COMPREHENSIVE PERMIT M.G.L. c. 40B  
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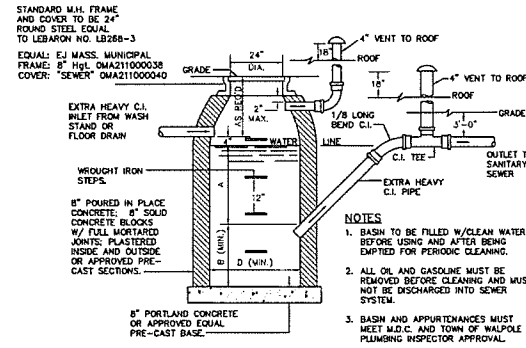
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**TOWN OF WALPOLE, MASSACHUSETTS  
DEPARTMENT OF PUBLIC WORKS  
PLAN SHOWING TYPICAL  
SEWAGE CONSTRUCTION DETAILS**

REV. #	DATE	DESCRIPTION	BY
1	7-11-06	DRAWN TO APPROX FILE	MAJ
2	11-08-08	MAJN REVC. UPDATES	MAJ

**DETAILS**

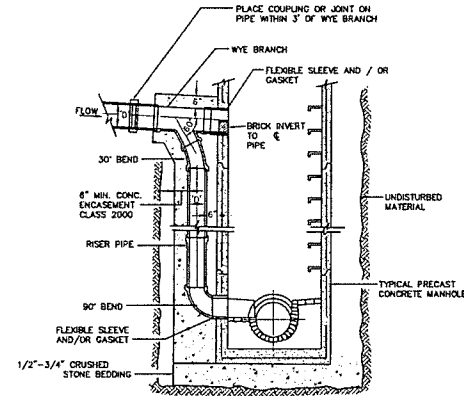
JOB No. 16,518  
DATE: FEB. 26, 2020  
SCALE: 1"=40'  
SHEET: 10 of 12  
PLAN #: 27,321



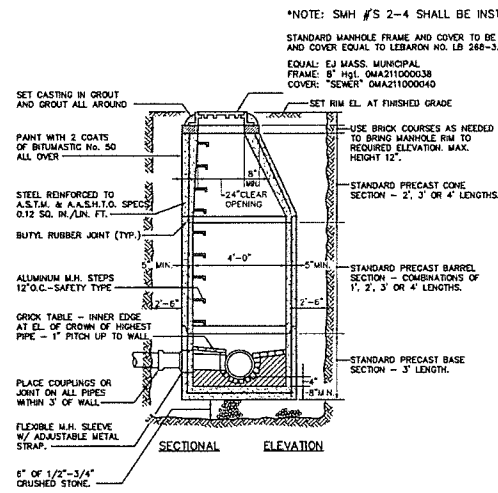
INLET	D	A	B
4"	4'-0"	2'-3"	1'-11"
5"	3'-6"	2'-0"	2'-5"
5"	3'-6"	3'-0"	4'-0"
5"	4'-0"	3'-0"	3'-0"
5"	4'-0"	3'-0"	2'-5"
5"	4'-0"	3'-0"	4'-5"
5"	4'-0"	4'-0"	3'-5"
5"	4'-0"	4'-0"	3'-0"
5"	4'-0"	3'-6"	3'-0"
5"	5'-0"	3'-0"	2'-5"
5"	5'-0"	3'-0"	2'-5"

NOTE: FOR INLETS LARGER THAN 6", THE DESIGN AND DIMENSIONS WILL BE DETERMINED FOR EACH PARTICULAR CASE.  
CIRCULAR BASINS ARE RECOMMENDED.

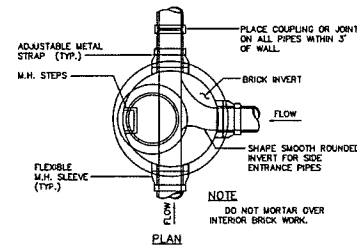
STANDARD M.D.C. CATCH BASIN & GASOLINE TRAP DETAILS  
NOT TO SCALE



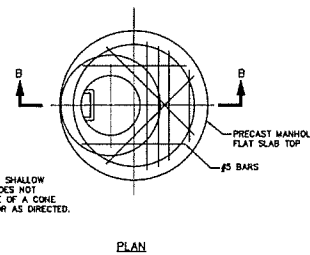
TYPICAL OUTSIDE DROP INLET MANHOLE DETAILS  
NOT TO SCALE



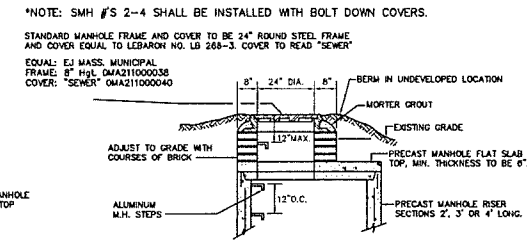
TYPICAL PRECAST CONCRETE SEWER MANHOLE DETAILS  
NOT TO SCALE



NOTE: FOR USE WHERE SHALLOW INSTALLATION DOES NOT PERMIT THE USE OF A CONE TYPE SECTION OR AS DIRECTED.



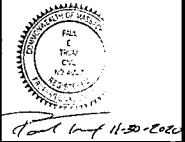
FLAT TOP SECTION  
NOT TO SCALE



APPROVED BY THE WALPOLE ZONING BOARD OF APPEALS:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
DATE APPROVED: \_\_\_\_\_  
DATE ENDORSED: \_\_\_\_\_  
TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

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REVISIONS	DATE	DESCRIPTION
1	8/22/20	ZONING BOARD COMMENTS
2	8/25/20	DRAINAGE ANALYSIS
3	11/30/20	ZBA & PEER REVIEW COMMENTS



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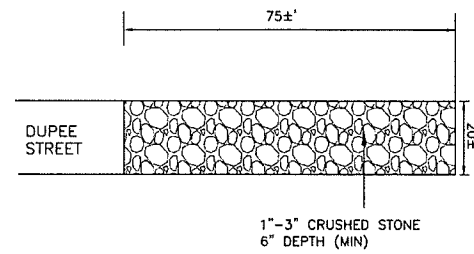
JOB No. 16,518  
DATE: FEB. 26, 2020  
SCALE: 1"=40'  
SHEET: 11 of 12  
PLAN #: 27,321

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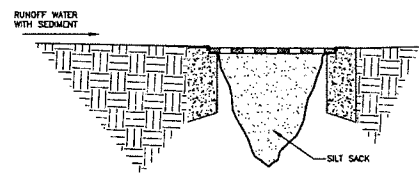
TOWN OF WALPOLE, MASSACHUSETTS  
DEPARTMENT OF PUBLIC WORKS  
PLAN SHOWING TYPICAL  
SEWERAGE CONSTRUCTION DETAILS

REV. #	DATE	DESCRIPTION	BY
1	7-11-98	DRAWN TO ADJOCATED FILE	MAJ
2	11-30-08	UPDATES	MAJ

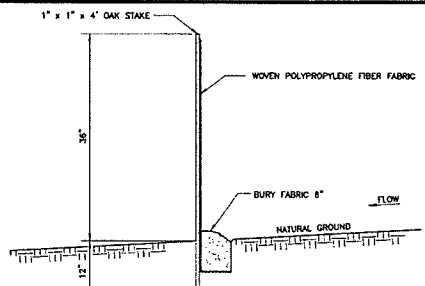
DETAILS



**STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE



**SILT SACK CATCH BASIN INLET**  
NOT TO SCALE



**EROSION CONTROL SILT FENCE DETAIL**  
NOT TO SCALE

**LEGEND:**

- 186 --- EXISTING CONTOUR
- 163x2 EXISTING SPOT ELEVATION
- EXISTING WATER GATE
- EXISTING WATER LINE
- EXISTING TREE LINE
- EXISTING SEWER MANHOLE
- TP 1 EXISTING TEST PIT LOCATION
- PROPOSED CONTOUR
- SOLO PROPOSED SPOT ELEVATION
- PROPOSED HYDRANT
- PROPOSED WATER LINE
- PROPOSED DRAIN MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED DRAIN LINE
- PROPOSED SEWER LINE
- PROPOSED SEWER MANHOLE
- PROPOSED TREE LINE

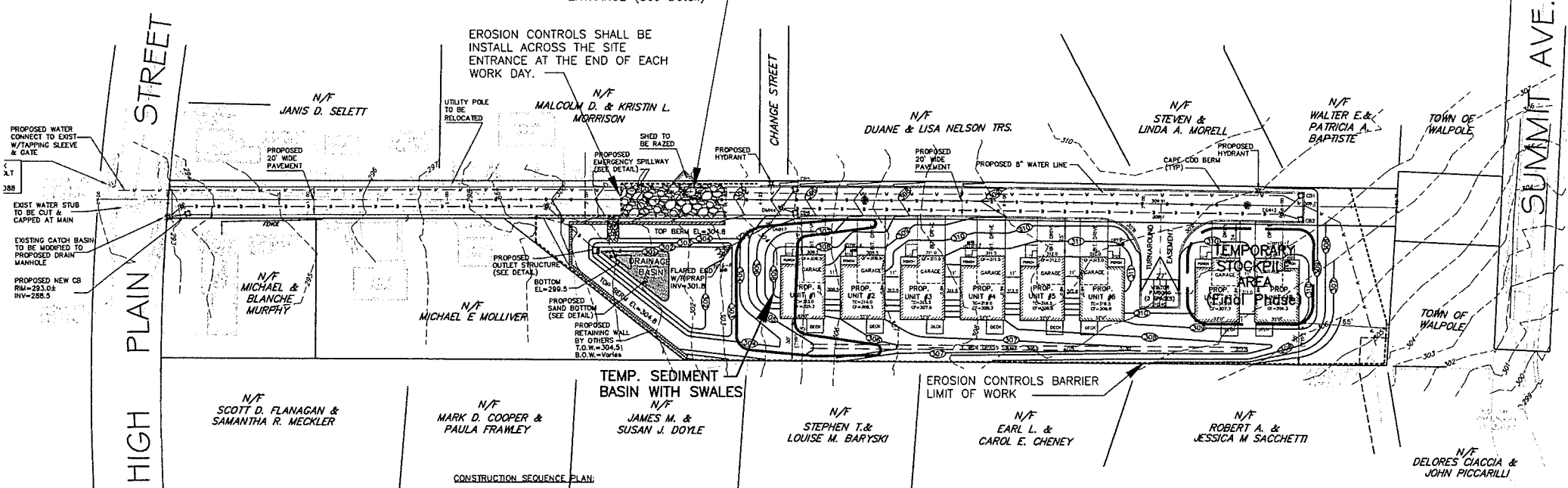
APPROVED BY THE WALPOLE ZONING BOARD OF APPEALS:

DATE APPROVED: \_\_\_\_\_

DATE ENDORSED: \_\_\_\_\_

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TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_



**CONSTRUCTION SEQUENCE PLAN:**

1. STAKE THE LIMITS OF WORK: THE LIMITS OF WORK ARE TO BE STAKED OUT JUST PRIOR TO THE TIME OF COMMENCING CONSTRUCTION.
2. INSTALL EROSION CONTROLS: PLACE AND STAKE SILTATION FENCING AT STAKED LIMIT OF WORK FOR EROSION CONTROL.
3. TREE AND BRUSH REMOVAL: TREES AND BRUSH IN THE WORK AREA ARE TO BE CUT AT THE BASE AND REMOVED. ALL TREES ARE TO BE FELLED INTO THE UPLAND AREA AND NOT ACROSS THE LIMIT OF WORK BARRIER.
4. SITE PREPARATION: WITH ALL TREES REMOVED AND ALL EROSION CONTROLS IN PLACE PROCEED WITH EXCAVATION AND PREPARATION FOR CONSTRUCTION OF THE RIGHT OF WAY. ALL STUMPS ARE TO BE PULLED AND BE DISPOSED DURING THE EXCAVATION PROCESS IN ACCORDANCE WITH ESTABLISHED RULES AND REGULATIONS. MATERIALS, SUCH AS TOPSOIL, WILL BE SET ASIDE FOR FUTURE USE ON-SITE AND STOCKPILED. TO THE EXTENT FEASIBLE, OUTSIDE THE WETLAND BUFFER AREA, THE DESIGNATED AREA FOR SAND STOCKPILING IS SHOWN ON SHEET NO. 5 OF THE APPROVED SITE DEVELOPMENT PLANS. SUCH OTHER STOCKPILING AREA MAY BE RECOMMENDED BY THE COMMISSION OR ITS AGENT. ADDED SILT FENCE WILL BE PLACED AROUND THESE STOCKPILES TO PREVENT WIND AND WATER EROSION. (NOTE: IT IS INTENDED FOR ALL EXCESS EXCAVATED MATERIAL TO BE RE-USED ON SITE.)
5. EXCAVATION ROUGH SUB-GRADE: EXCAVATION OF THE RIGHT OF WAY, AS REQUIRED, SHALL PROCEED UNTIL ALL AREAS HAVE BEEN EXCAVATED TO APPROXIMATE ROUGH SUB-GRADE AND ALL SIDE SLOPES GRADED. IMPORTED FILL MAY BE REQUIRED TO ACHIEVE REQUIRED SUB-GRADE.
6. DUPEE STREET CONSTRUCTION: UTILITIES SHALL BE INSTALLED UP TO THE CONSTRUCTION ENTRANCE (STA. 3+25), INCLUDING BUT NOT LIMITED TO SEWER, WATER, DRAINAGE AND SERVICE CONNECTIONS TO EXISTING HOMES. DUPEE STREET SHALL BE GRADED AND FINISH COURSE INSTALLED UP TO THE CONSTRUCTION ENTRANCE (STA. 3+25).
7. INSTALLATION OF DRAINAGE: WORK SHALL COMMENCE ON INSTALLATION OF ANY DRAINAGE STRUCTURES, SUCH AS DRAINAGE SWALES, BASINS, PIPING, CATCH BASINS, MANHOLES, HEADWALLS, ETC. AS SHOWN ON THE PLAN.
8. LOAM AND SEED SIDE SLOPES: LOAM AND SEED SIDE SLOPES OF ROADWAY, AS NEEDED.
9. ELECTRICAL/TELEPHONE/CABLE: RE-LOCATE UTILITY POLES WITHIN ROADWAY, AS NEEDED. EXCAVATION TRENCH FOR INSTALLATION OF UNDERGROUND ELECTRICAL, TELEPHONE AND CABLE SERVICE AS SHOWN ON THE PLAN.
10. BINDER PREPARATION: DELIVER AND PLACE PROCESSED GRAVEL TO PROPER GRADE, INCLUDING GRADING AND COMPACTION.
11. BINDER INSTALLATION: INSTALL BASE COAT PAVEMENT FOR ROADWAY, AS REQUIRED.
12. FINAL PAVEMENT: FINISH PAVEMENT FOR ROADWAY TO BE INSTALLED AT OWNER'S DISCRETION.

**EROSION CONTROL NOTES**

- THE FOLLOWING EROSION CONTROL SPECIFICATIONS ARE IN EFFECT WHEN SITE ALTERATION WORK IS CONTEMPLATED TO PREVENT DOWN GRADIENT OR ADJACENT AREAS FROM BEING ADVERSELY IMPACTED.
1. PRIOR TO ANY DISTURBANCE OR ALTERATIONS ON ANY AREA ON THE SITE, THE FILTER MITT SEDIMENT BARRIER SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE SITE PLAN.
  2. THE SITE SHALL BE SECURED BY INSTALLATION OF TEMPORARY CHAINLINK FENCING WITH GATED ENTRANCE AT THE STABILIZED CONSTRUCTION ENTRANCE.
  3. ONCE INSTALLED, THE FILTER MITT SEDIMENT BARRIERS SHALL BE MAINTAINED IN PLACE UNTIL ALL AREAS UPGRADIENT FROM THE BARRIERS HAVE BEEN STABILIZED AS SPECIFIED HEREIN. UPON COMPLETION AND STABILIZATION OF THE PROJECT, THE FILTER MITT SHALL BE REMOVED.
  4. THE TEMPORARY CONSTRUCTION IS INTENDED TO ACT AS A LIMIT OF DISTURBANCE. ANY LAND DOWN GRADIENT FROM THE FENCE ACCIDENTALLY DISTURBED SHALL BE IMMEDIATELY REPAIRED AND RESTORED TO ORIGINAL CONDITION.
  5. ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED OR WHERE SPECIAL STABILIZATION MEASURES OR LANDSCAPE PLANTINGS ARE NOT PROPOSED SHALL BE LOAMED AND SEED. NO LESS THAN FOUR INCHES OF LOAM TOPSOIL SHALL BE SPREAD AND THE AREA SEEDED WITH CONSERVATION MIX.
  6. ALL AREAS OUTSIDE THE LIMIT OF WORK ARE TO BE LEFT UNDISTURBED. DURING SITE WORK ALL PERSONS AND EQUIPMENT SHALL STAY OUTSIDE THESE AREAS TO PRESERVE THE EXISTING VEGETATION.
  7. ALL SLOPES CAUSED BY EXCAVATION OF EXISTING GROUND, OR FILL OVER EXISTING GROUND TO CREATE BERMS OF EXISTING MATERIALS OR RESULTING FROM RECONSTRUCTING LAND FOR PROPOSED HOUSE LOCATIONS SHALL BE NO GREATER THAN 3:1. HORIZONTAL TO VERTICAL. THE TOP OF SLOPES IN FILL AREAS OR TOP OF SLOPE IN EXCAVATED AREAS SHALL BE NO CLOSER THAN 5 FEET FROM ADJACENT LOT LINES.
  8. THE FIRST SEVENTY-FIVE (75) FEET OF THE PROPOSED CONSTRUCTION ENTRANCE AS SHOWN SHALL BE COVERED WITH TWELVE (12) INCHES OF 1 - 3 INCH CRUSHED STONE TO STABILIZE THE AREA (SEE DETAIL).
- A MORE DETAILED SEDIMENT AND EROSION CONTROL PLAN WILL BE DEVELOPED AS PART OF THE NPDES STORMWATER POLLUTION PREVENTION PLAN.

**EROSION CONTROL MAINTENANCE:**

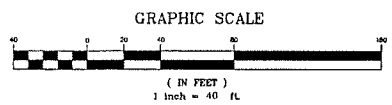
THE CONTRACTOR SHALL HAVE ON THE SITE, AN ADEQUATE QUANTITY OF SUPPLEMENTAL HAYBALES, SILT FENCE AND STAKES TO BE USED FOR CONTROL OF EMERGENCY EROSION PROBLEMS. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER A STORM EVENT OF 1" INCH OR GREATER.

**DEWATERING:**

DISCHARGES FROM A DEWATERING CONSTRUCTION PROCEDURE WILL BE FILTERED THROUGH A SILTATION BASIN CONSTRUCTED UPLAND FROM THE WORK SITE. THE SILTATION BASIN SHALL BE A DEPRESSION SURROUNDED BY A HAYBALE DIKE OR SILT FENCE. OVERFLOW FROM THE BASIN SHALL BE PLANNED TO BE LOCATED OVER THICKLY AND NATURALLY MULCHED UPLAND AREA.

**STOCKPILING:**

STOCKPILE MATERIAL SHALL STORED IN THE AREAS DESIGNATED. ALL STOCKPILES AREAS SHALL BE SECURED AROUND THE PERIMETER WITH HAYBALE DIKE OR SILT FENCE.



NO.	DATE	DESCRIPTION
1	6/02/20	ZONING BOARD COMMENTS
2	8/05/20	DRAINAGE ANALYSIS
3	11/30/20	ZBA & PEER REVIEW COMMENTS

11/30/2020

11-30-2020

**SITE DEVELOPMENT PLAN**  
A COMPREHENSIVE PERMIT M.G.L.c. 40B  
"DIAMOND HILL ESTATES"  
WALPOLE, MASSACHUSETTS

PREPARED FOR:  
WALL STREET DEVELOPMENT CORP.  
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JOB No. 16,518  
DATE: FEB. 26, 2020  
SCALE: 1"=40'  
SHEET: 13 of 13  
PLAN #: 27,321

**EROSION CONTROL**