

SITE DEVELOPMENT PLAN

A COMPREHENSIVE PERMIT M.G.L. c. 40B

"DIAMOND HILL ESTATES"

WALPOLE, MASSACHUSETTS

DATE: FEBRUARY 26, 2020
 REVISED: JUNE 2, 2020
 AUGUST 5, 2020

ASSESSOR'S REFERENCE:
 MAP 35, PARCEL 380-1

DEED REFERENCE:
 NORFOLK COUNTY REGISTRY OF DEEDS
 Bk. 20779, Pg. 209

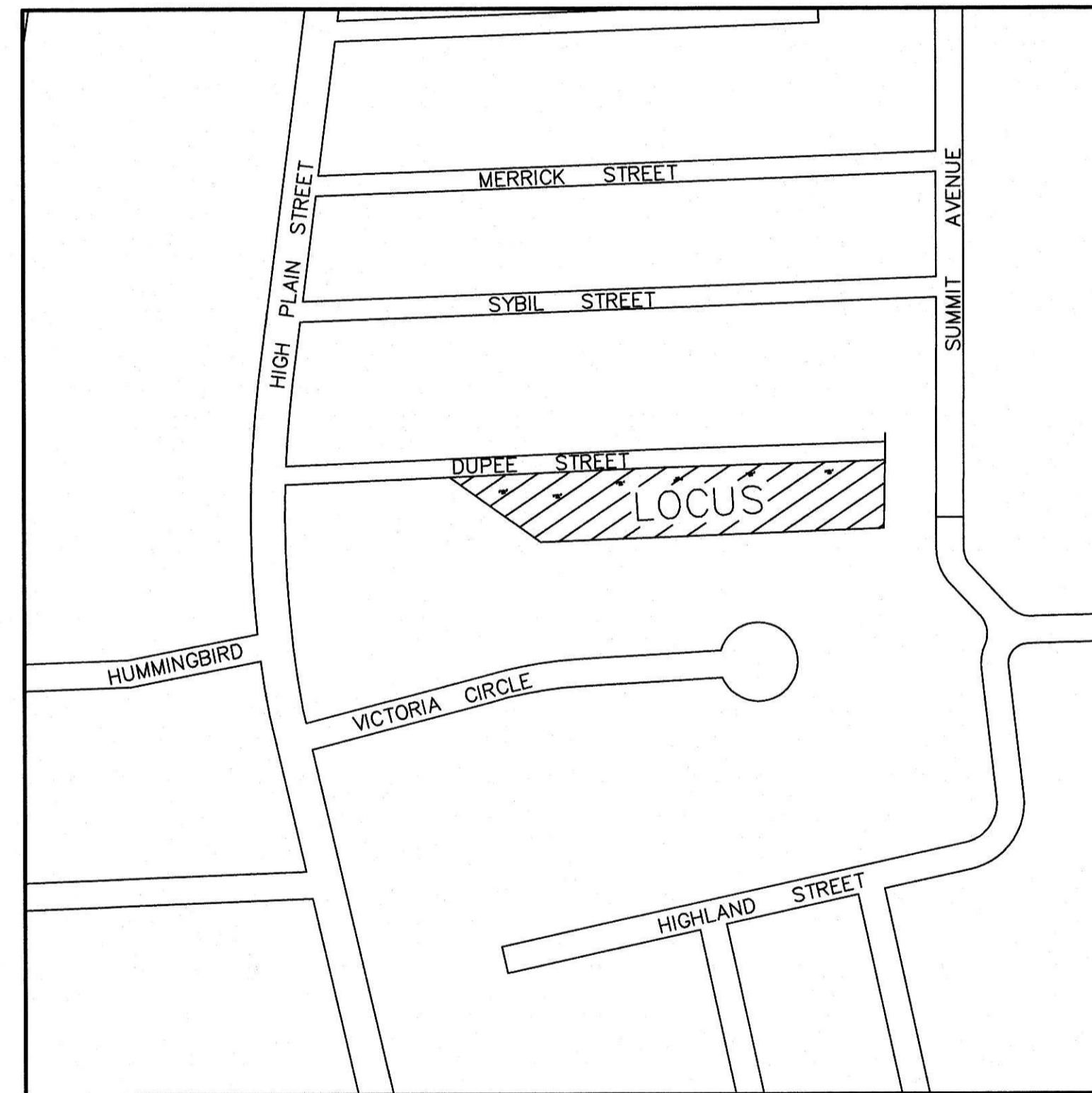
PLAN REFERENCE:
 NORFOLK COUNTY REGISTRY OF DEEDS
 FILE IN PLAN BOOK 77, PLAN 3721

OWNER OF RECORD:
 DIAMOND BROOK REALTY TRUST
 P.O. BOX 31
 SO. WALPOLE, MA

ZONING CLASSIFICATION:
 RESIDENCE B - RB
 LOT AREA: 20,000 S.F.
 FRONTAGE: 125 FT.
 SETBACKS:
 FRONT: 30'
 SIDE: 15'
 REAR: 30'

ZONING DATA:

RESIDENCE-B (RB)		
	REQUIRED	PROVIDED
LOT AREA:	20,000 S.F.	52,238 ± S.F. (1.2± AC)
FRONTAGE:	125 FT.	641.05 FT. (DUPEE STREET)
SETBACKS:		
FRONT:	30 FT.	24.0 FT.
SIDE:	15 FT.	23.0 FT.
REAR:	30 FT.	30.0 FT.
MAXIMUM BUILDING HGT	35 FT	35 FT
MAXIMUM STORIES	2.5	2.5
LOT COVERAGE:	ALLOWED	PROPOSED
BUILDING:	25% (13,059 sf)	27.2% (14,184 sf)
TOTAL IMPERVIOUS (Buildings & Imp)	40% (20,895 sf)	35.6% (18,571 sf)



LOCUS MAP
 1"=200'

Prepared By:
GLM ENGINEERING
 CONSULTANTS, INC.
 19 EXCHANGE STREET
 HOLLISTON, MASSACHUSETTS 01746
 (508)429-1100 fax:(508)429-7160

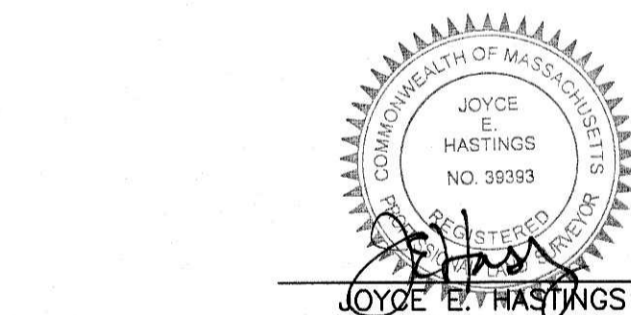
Applicant:
 WALL STREET DEVELOPMENT CORP.
 P.O. BOX 272
 WESTWOOD, MASSACHUSETTS 02090

APPROVED BY THE
 WALPOLE ZONING BOARD
 OF APPEALS:

DATE APPROVED: _____
 DATE ENDORSED: _____

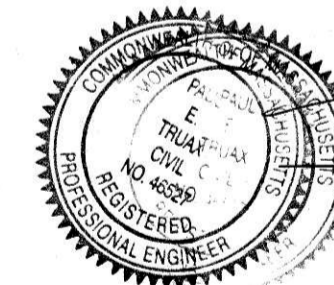
I, TOWN CLERK OF THE TOWN OF WALPOLE
 RECEIVED & RECORDED FROM THE ZONING
 BOARD OF APPEALS, APPROVAL OF THIS PLAN
 AND NO APPEAL HAS BEEN TAKEN FOR TWENTY
 DAYS NEXT AFTER RECEIPT AND RECORDING OF
 SAME.

TOWN CLERK _____ DATE _____



JOYCE E. HASTINGS P.L.S.

2/7/2020
 DATE



PAUL E. TRUAX P.E.

8-7-2020
 DATE

SHEET INDEX

- 1 COVER
- 2 EXISTING CONDITIONS
- 3 LAYOUT PLAN
- 4 GRADING, DRAINAGE & UTILITIES
- 5 PROFILES
- 6 LANDSCAPE
- 7-12 DETAILS

JOB No.	15588
SCALE:	AS NOTED
DATE:	FEBRUARY 26, 2020
SHEET No.	1 of 12

LEGEND:

- 186-- EXISTING CONTOUR
- 163x2 EXISTING SPOT ELEVATION
- WC₆ EXISTING WATER GATE
- w— EXISTING WATER LINE
- ⊙ EXISTING TREE LINE
- ⊙ EXISTING SEWER MANHOLE
- TP 1 EXISTING TEST PIT LOCATION
- 202— PROPOSED CONTOUR
- 301.0 PROPOSED SPOT ELEVATION
- ⊙ PROPOSED HYDRANT
- w— PROPOSED WATER LINE
- ⊙ PROPOSED DRAIN MANHOLE
- ⊙ PROPOSED CATCH BASIN
- d— PROPOSED DRAIN LINE
- s— PROPOSED SEWER LINE
- ⊙ PROPOSED SEWER MANHOLE
- ⊙ PROPOSED TREE LINE

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SETBACKS:			
FRONT:	30 FT.	29.0 FT.	
SIDE:	15 FT.	22.0 FT.	
REAR:	30 FT.	30.0 FT.	
MAXIMUM BUILDING HGT			
MAXIMUM BUILDING HGT:	35 FT	35 FT	
MAXIMUM STORIES:	2.5	2.5	
LOT COVERAGE:			
BUILDING:	25% (13,059 sf)	27.4% (14,320 sf)	
TOTAL IMPERVIOUS (Buildings & Imp)	40% (20,895 sf)	45.1% (23,580 sf)	

ASSESSOR'S REFERENCE:
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PLAN REFERENCE:
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FILE IN PLAN BOOK 77, PLAN 3721

OWNER OF RECORD:
DIAMOND BROOK REALTY TRUST
P.O. BOX 31
SO. WALPOLE, MA

ZONING CLASSIFICATION:
RESIDENCE B - RB
LOT AREA: 20,000 S.F.
FRONTAGE: 125 FT.

SETBACKS:
FRONT: 30'
SIDE: 15'
REAR: 30'

NOTES:

1. THE LOCATION OF EXISTING UTILITIES IS APPROXIMATE, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. NOTIFY "DIG SAFE" AT 1-888-344-7233 AT THE 72 HOURS PRIOR TO ANY SITE EXCAVATION.
2. EXISTING STRUCTURES SHOWN ARE APPROXIMATE, THE LOCATION OF THE BUILDINGS WHERE COMPILED FROM EXISTING PLANS OF RECORD AND TOWN OF WALPOLE GIS INFORMATION.

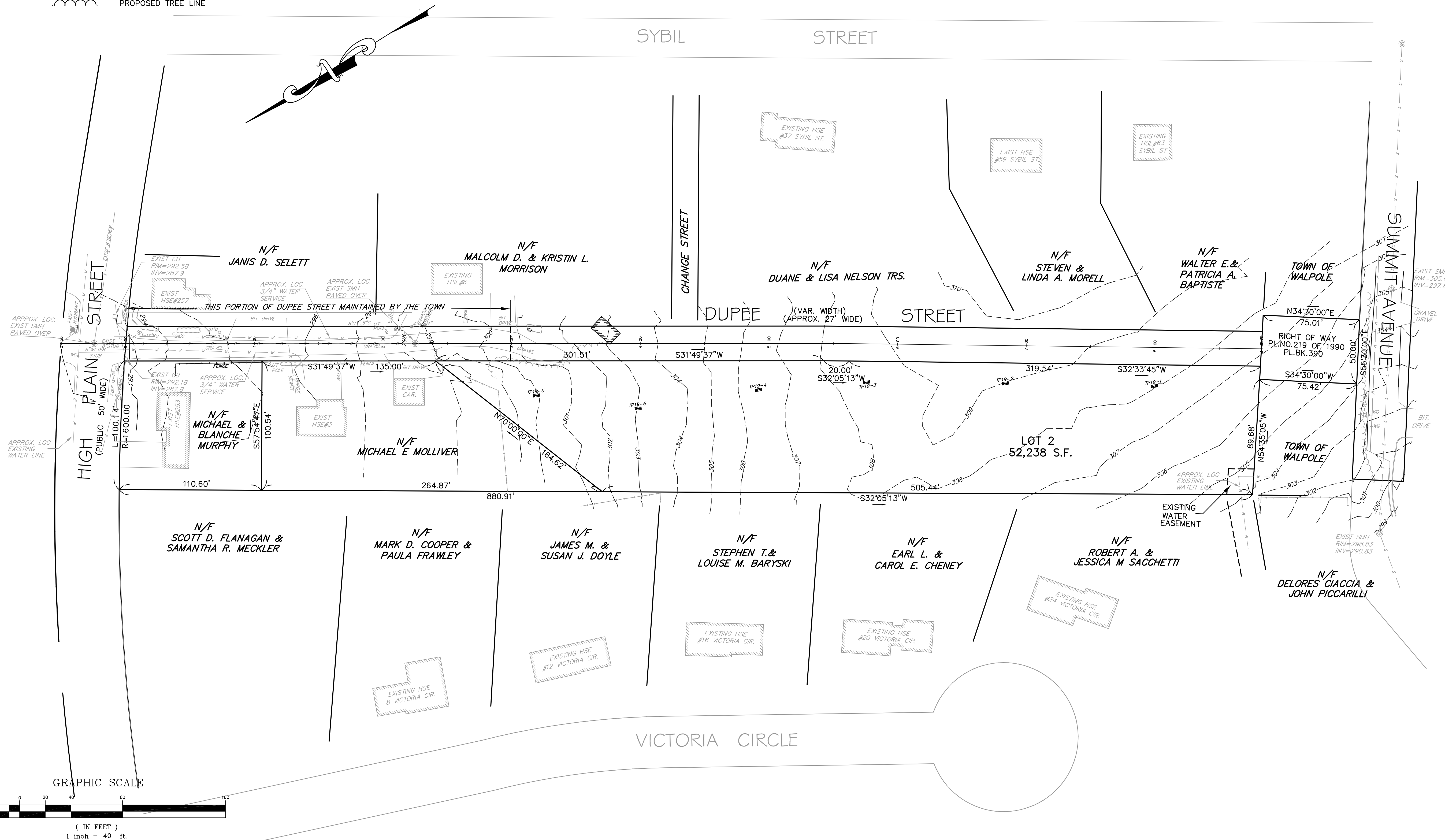
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SAME.

TOWN CLERK _____ DATE _____

REVISIONS		DESCRIPTION
No.	DATE	ZONING BOARD COMMENTS
1	6/02/20	
2	8/05/20	DRAINAGE ANALYSIS



SITE DEVELOPMENT PLAN
A COMPREHENSIVE PERMIT M.G.L.c. 40B
"DIAMOND HILL ESTATES"
WALPOLE, MASSACHUSETTS
PREPARED FOR:
WALL STREET DEVELOPMENT CORP.
P.O. BOX 272
WESTWOOD, MA 02090

GLM Engineering
Consultants, Inc.
19 EXCHANGE STREET
HOLLISTON, MA 01746
P: 508-429-1100
F: 508-429-7160
www.GLMengineering.com

JOB No.	16,518
DATE:	FEB. 20, 2020
SCALE:	1"=40'
SHEET:	2 of 12
PLAN #:	27,321

EXISTING CONDITIONS

LEGEND:

- 186--- EXISTING CONTOUR
- 16.3x2 EXISTING SPOT ELEVATION
- WC₆ EXISTING WATER GATE
- w— EXISTING WATER LINE
- T— EXISTING TREE LINE
- S— EXISTING SEWER MANHOLE
- TP 1₁ EXISTING TEST PIT LOCATION
- 202— PROPOSED CONTOUR
- 301.0 PROPOSED SPOT ELEVATION
- H— PROPOSED HYDRANT
- W— PROPOSED WATER LINE
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MAXIMUM BUILDING HIGHT			
MAXIMUM BUILDING HIGHT	35 FT	35 FT	
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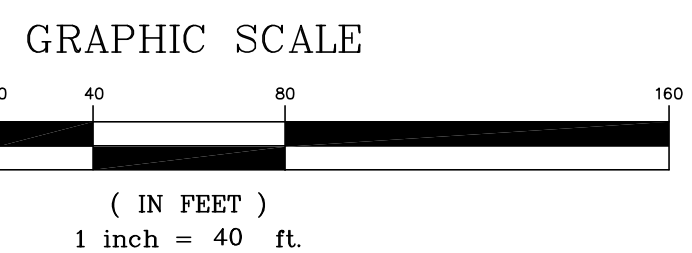
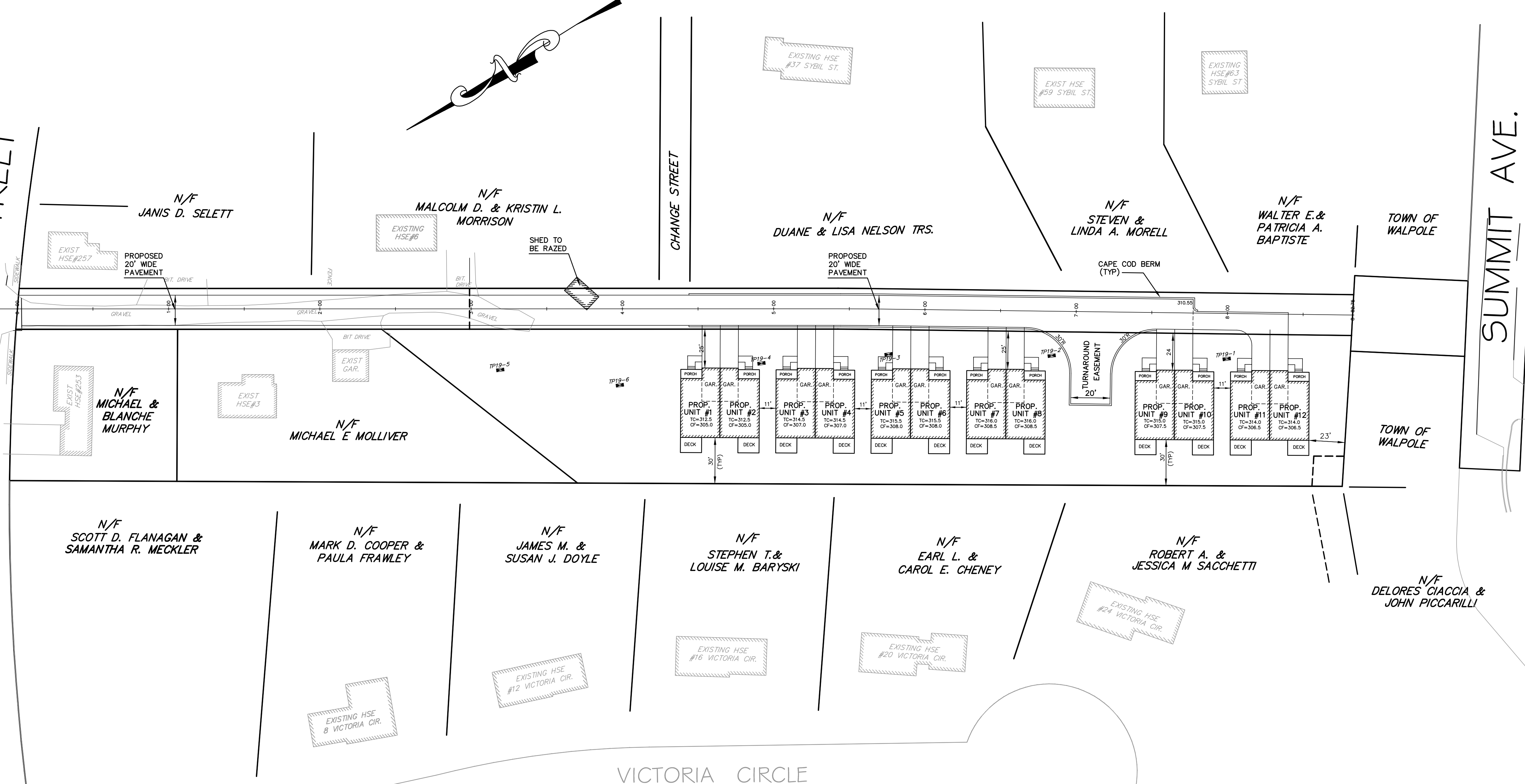
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SCALE:	1"=40'
SHEET:	3 of 12
PLAN #:	27,321

SYBIL STREET

HIGH PLAIN STREET

CHANGE STREET

SUMMIT AVE.



PROPOSED LAYOUT

LEGEND:

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- WC₉ EXISTING WATER GATE
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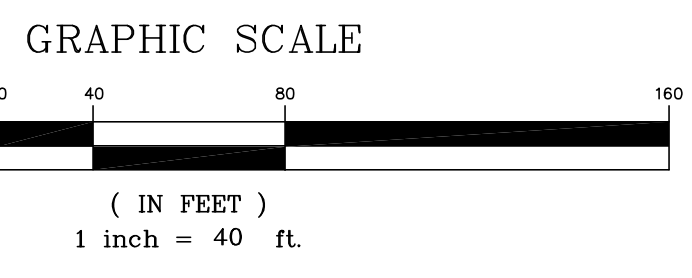
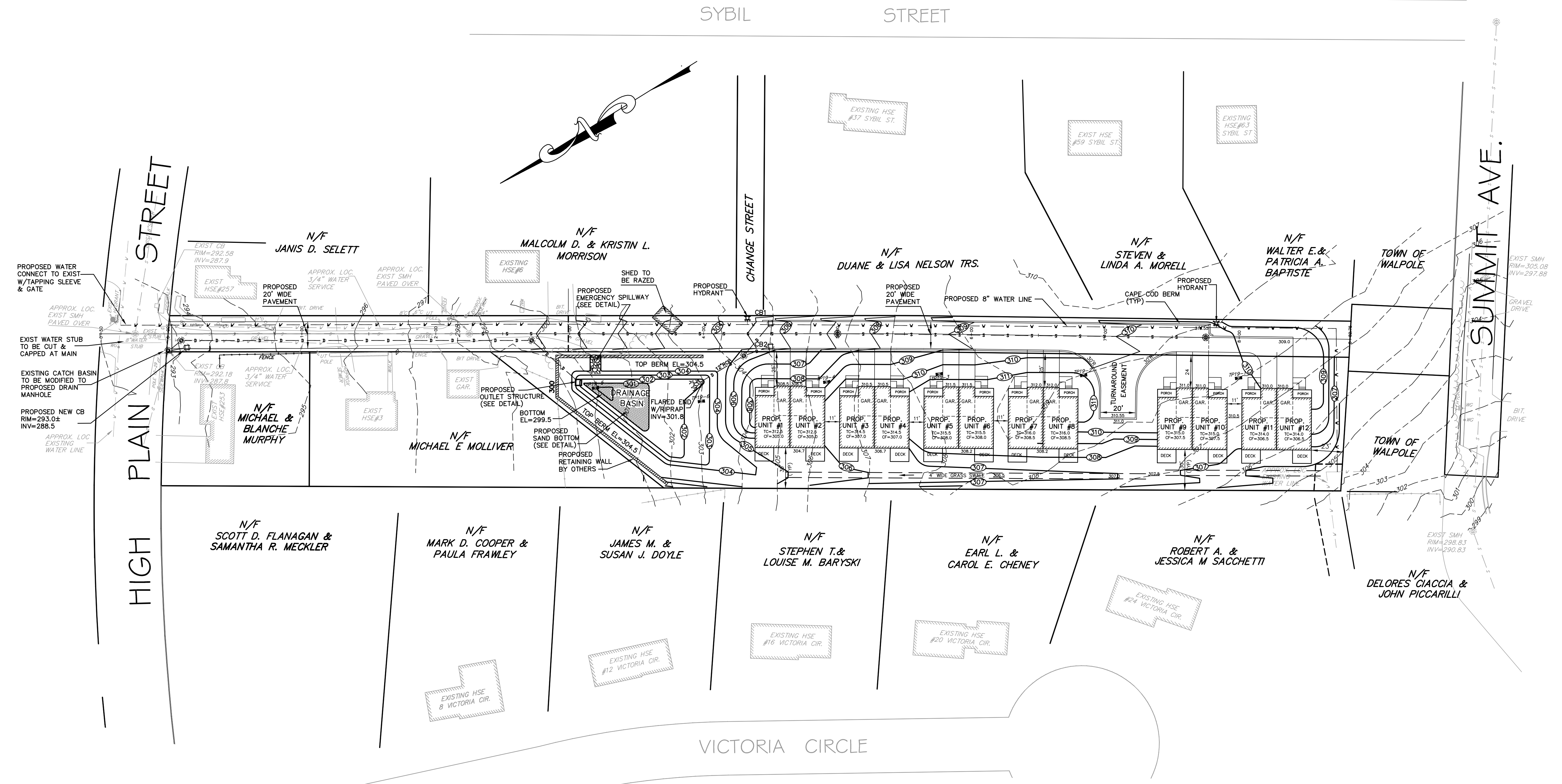
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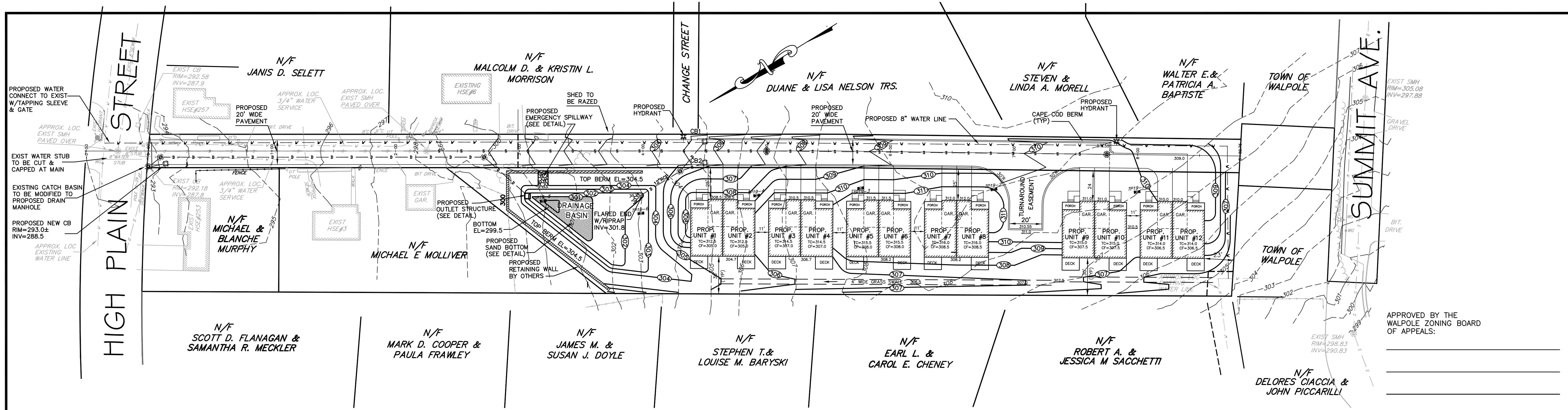


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JOB No.	16,518
DATE:	FEB. 26, 2020
SCALE:	1"=40'
SHEET:	4 of 12
PLAN #:	27,321

GRADING & UTILITIES



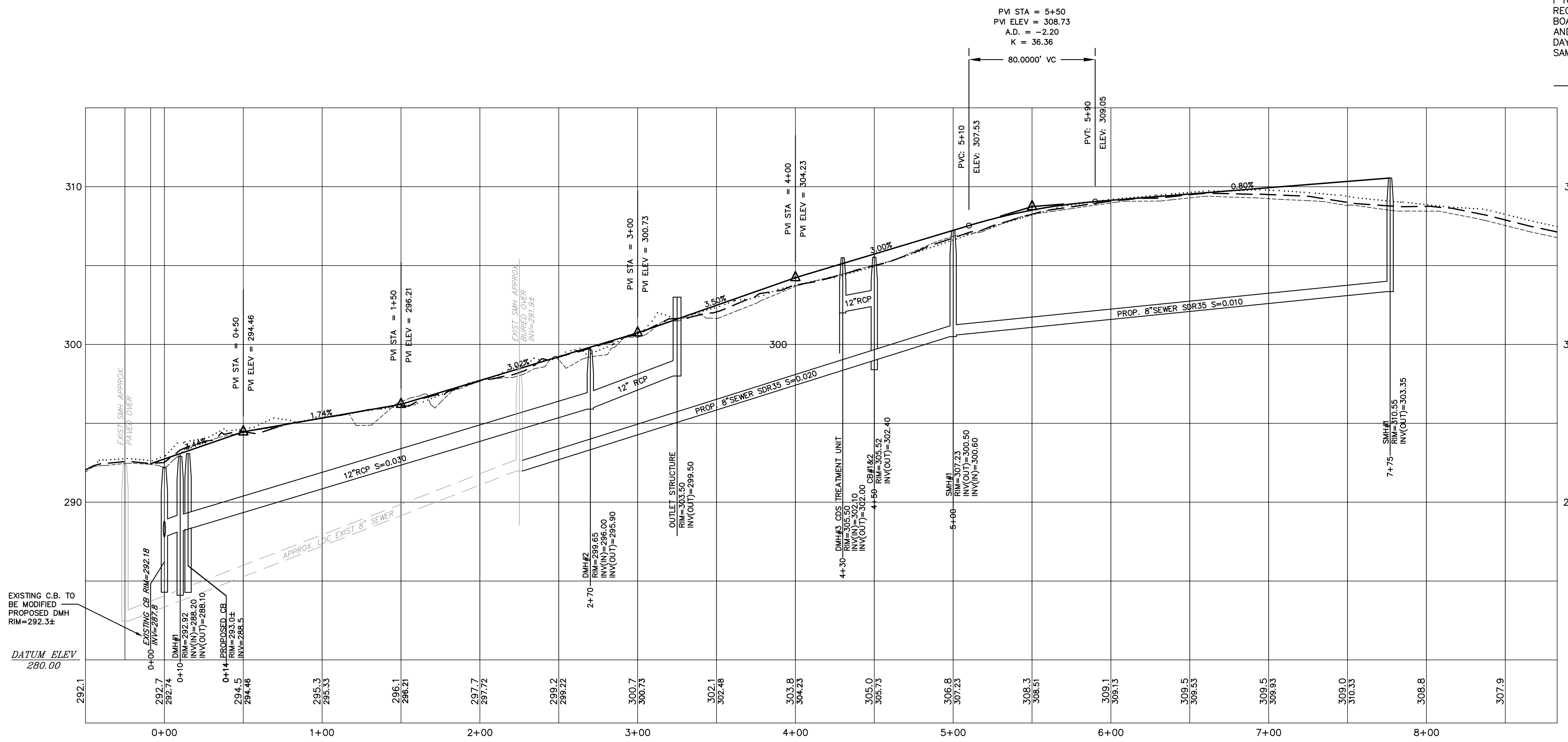
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PROFILE DUPEE ST.
SCALE: Horiz: 1"=40'; Vert: 1"=4'

ROADWAY PROFILE

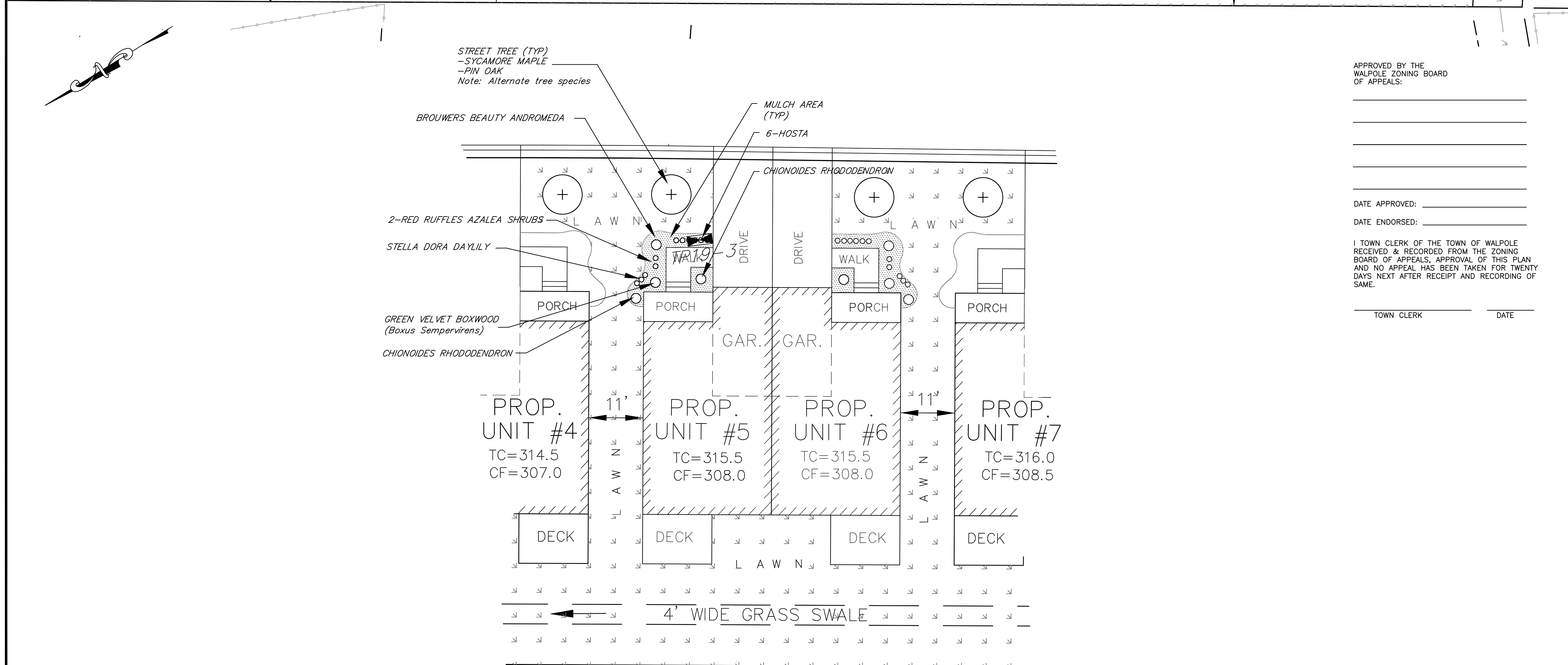
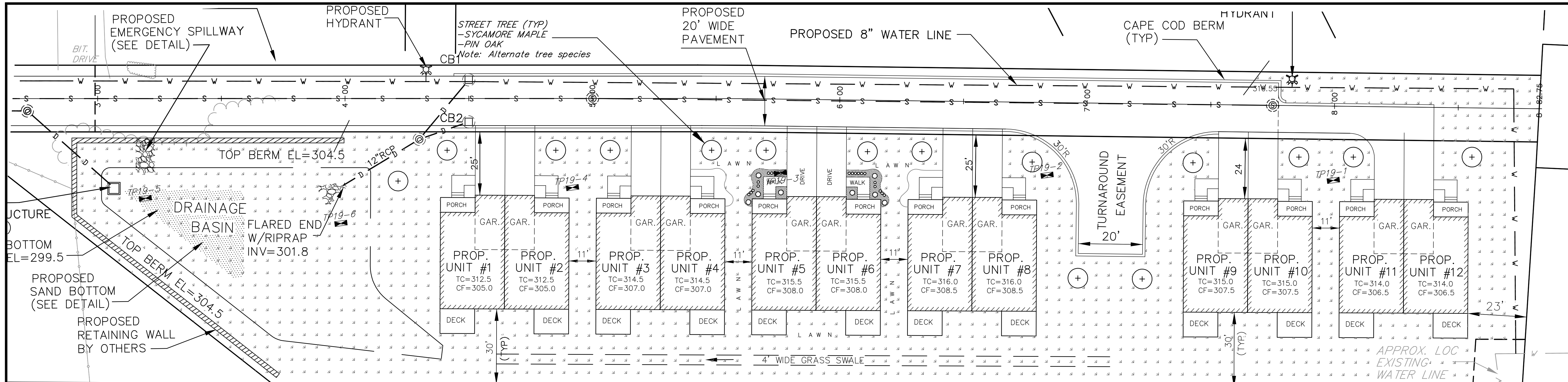
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2	8/05/20	

SITE DEVELOPMENT PLAN
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"DIAMOND HILL ESTATES"
WALPOLE, MASSACHUSETTS

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SCALE:	1"=40'
SHEET:	5 of 12
PLAN #:	27,321



TYPICAL UNIT PLANTING PLAN
SCALE: 1"=10'

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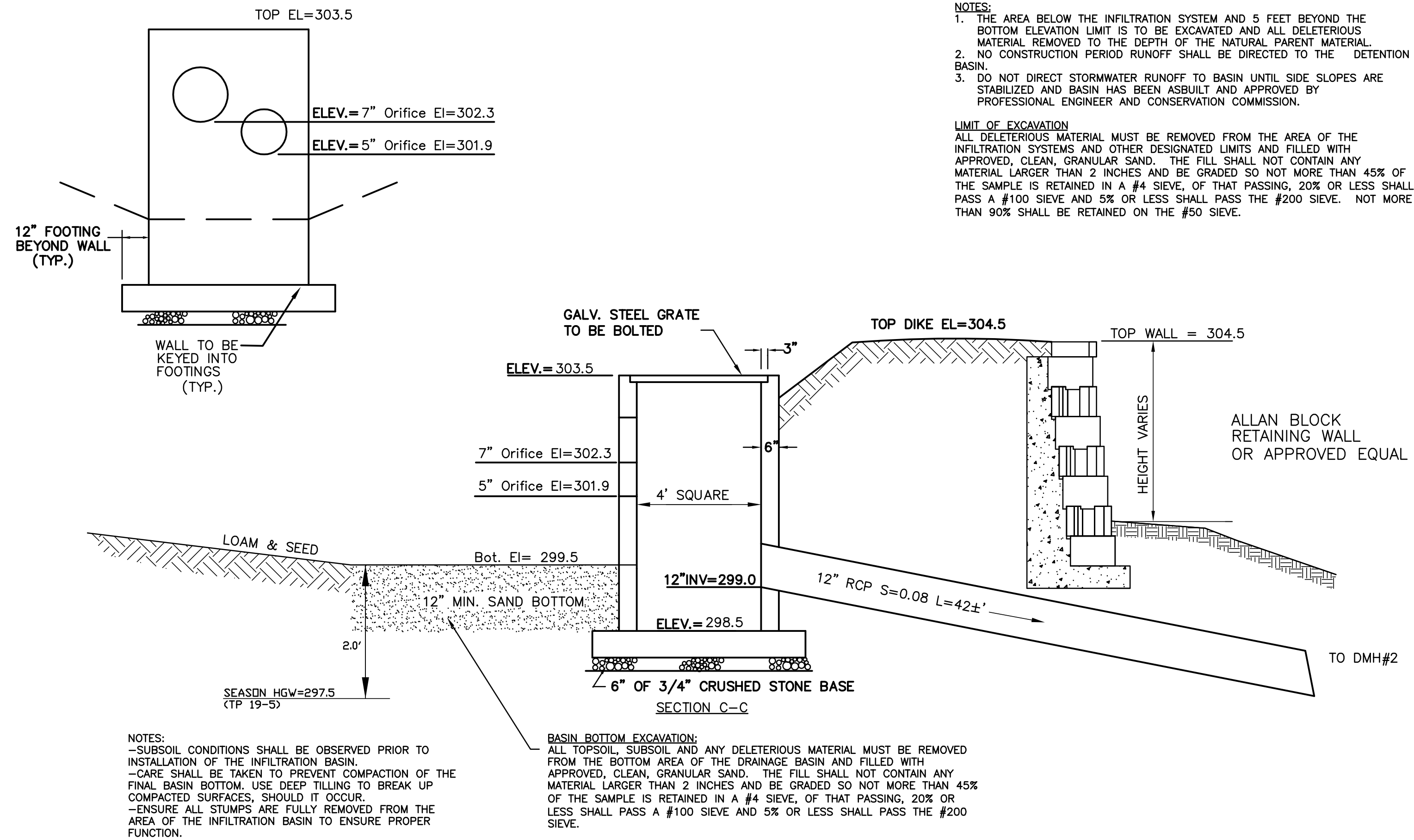
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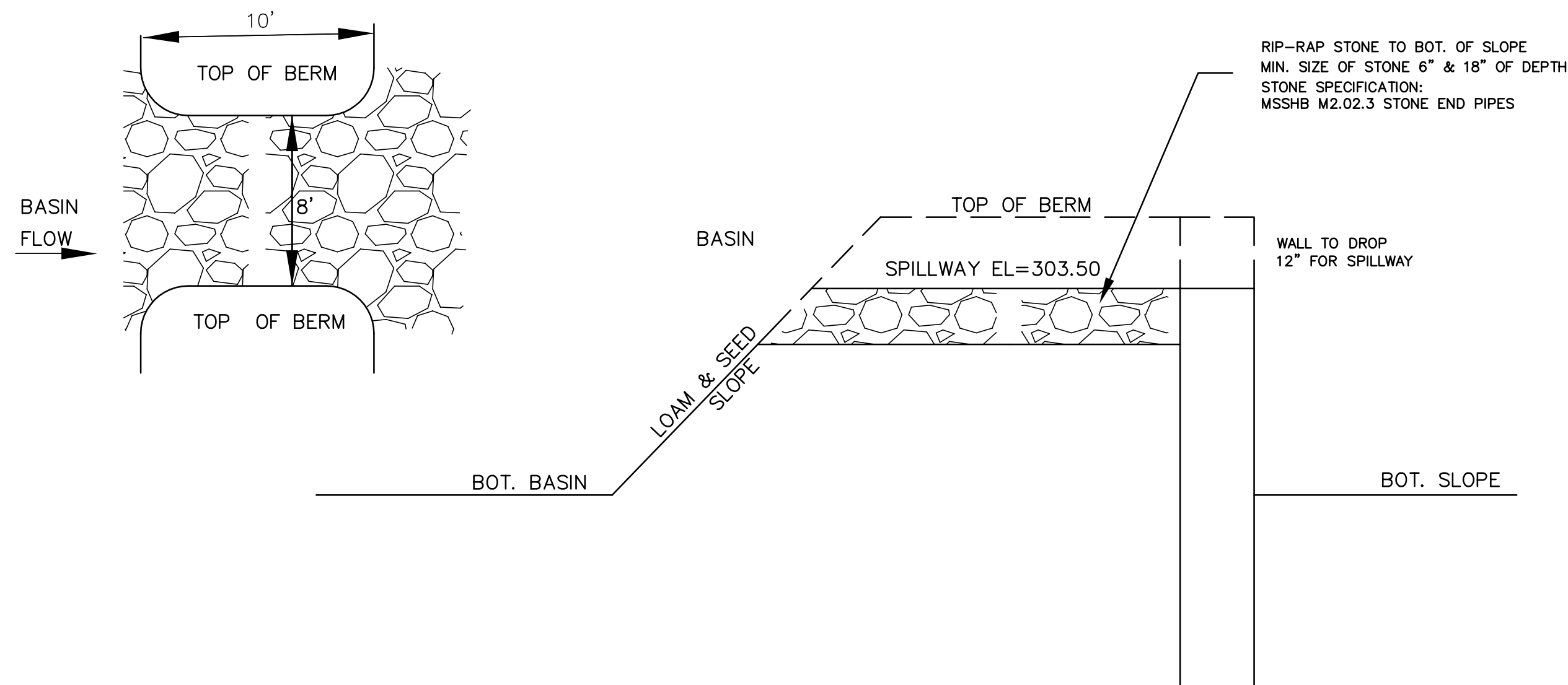
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SCALE:	1"=40'
SHEET:	6 of 12
PLAN #:	27,321

LANDSCAPE



OUTLET STRUCTURE/DRAINAGE BASIN DETAIL

(PRECAST CONCRETE STRUCTURE)
NOT TO SCALE



DETENTION BASIN EMERGENCY SPILLWAY DETAIL

NOT TO SCALE

DEEP HOLE -- 19-1		
HORIZ DEPTH	DATE: 7/2/19 SOIL DESCRIPTION	ELEV.
4"	A SANDY LOAM 10YR3/2	308.0
20"	Bw SANDY LOAM 10YR5/6	306.3
108"	C SANDY LOAM Med-Coarse 3% Cobbles 2.5Y5/4	299.0
None	GROUNDWATER OBSERVED	
30"	SOIL MOTTLING	305.5
30"	GROUNDWATER MONITORED	
30"	ESTIMATED SEASONAL HIGH GROUNDWATER	305.5

DEEP HOLE -- 19-2		
HORIZ DEPTH	DATE: 7/2/19 SOIL DESCRIPTION	ELEV.
4"	A SANDY LOAM 10YR3/2	309.0
18"	Bw SANDY LOAM 10YR5/6	307.5
115"	C SANDY LOAM Med-Coarse 3% Cobbles 2.5Y5/4	329.9
None	GROUNDWATER OBSERVED	
30"	SOIL MOTTLING	306.5
30"	GROUNDWATER MONITORED	
30"	ESTIMATED SEASONAL HIGH GROUNDWATER	306.5

DEEP HOLE -- 19-3		
HORIZ DEPTH	DATE: 7/2/19 SOIL DESCRIPTION	ELEV.
4"	A SANDY LOAM 10YR3/2	308.3
20"	Bw SANDY LOAM 10YR5/6	306.6
118"	C SANDY LOAM Med-Coarse 3% Cobbles 2.5Y5/4	298.4
None	GROUNDWATER OBSERVED	
30"	SOIL MOTTLING	305.8
30"	GROUNDWATER MONITORED	
30"	ESTIMATED SEASONAL HIGH GROUNDWATER	305.8

DEEP HOLE -- 19-4		
HORIZ DEPTH	DATE: 7/2/19 SOIL DESCRIPTION	ELEV.
4"	A SANDY LOAM 10YR3/2	306.3
20"	Bw SANDY LOAM 10YR5/6	105.0
108"	C SANDY LOAM Med-Coarse 3% Cobbles 2.5Y5/4	101.1
None	GROUNDWATER OBSERVED	
30"	SOIL MOTTLING	303.8
30"	GROUNDWATER MONITORED	
30"	ESTIMATED SEASONAL HIGH GROUNDWATER	303.8

DEEP HOLE -- 19-5		
HORIZ DEPTH	DATE: 7/2/19 SOIL DESCRIPTION	ELEV.
4"	A SANDY LOAM 10YR3/2	300.0
20"	Bw SANDY LOAM 10YR5/6	298.3
92"	C SANDY LOAM Med-Coarse 3% Cobbles 2.5Y5/4	292.3
None	GROUNDWATER OBSERVED	
30"	SOIL MOTTLING	297.5
30"	GROUNDWATER MONITORED	
30"	ESTIMATED SEASONAL HIGH GROUNDWATER	297.5

DEEP HOLE -- 19-6		
HORIZ DEPTH	DATE: 7/2/19 SOIL DESCRIPTION	ELEV.
4"	A SANDY LOAM 10YR3/2	303.0
28"	Bw SANDY LOAM 10YR5/6	300.6
104"	C SANDY LOAM Med-Coarse 3% Cobbles 2.5Y5/4	294.3
None	GROUNDWATER OBSERVED	
30"	SOIL MOTTLING	300.5
30"	GROUNDWATER MONITORED	
30"	ESTIMATED SEASONAL HIGH GROUNDWATER	300.5

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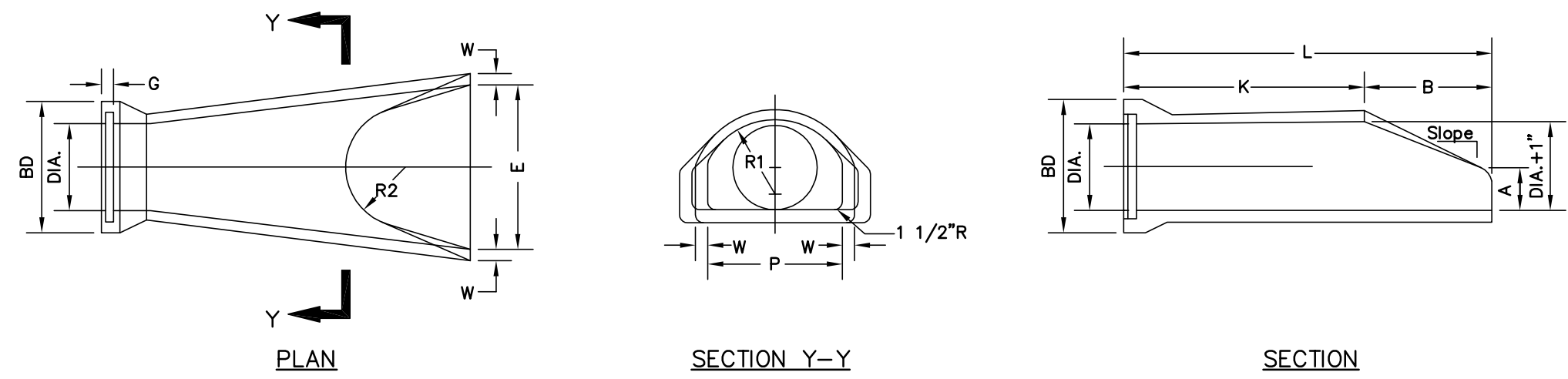
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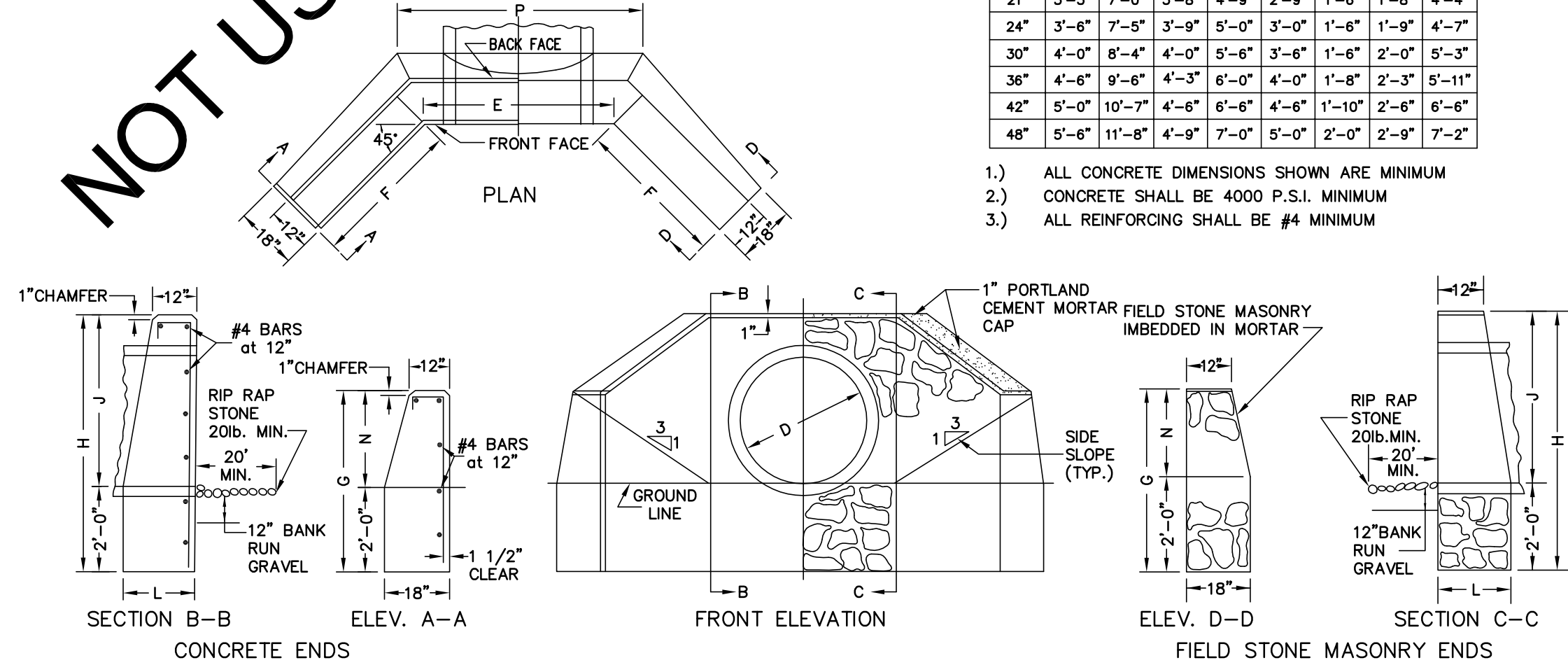
DETAILS



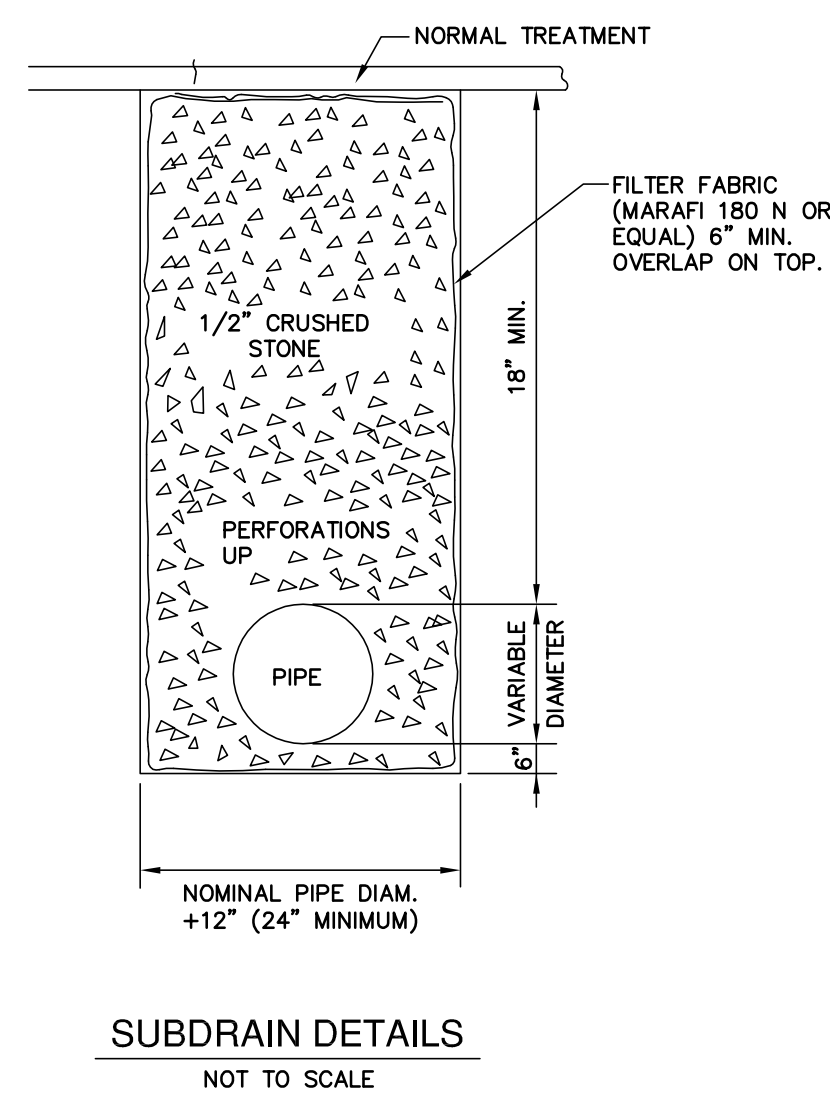
DIA.	W	A	B	C	D	E	BD	K	L	P	DIA. +1"	R1	R2	S	G	Slope
12"	2"	4"	2'-0"	4'-0 7/8"	6'-1 3/8"	2'-0"	20"	4'-8 1/8"	6'-8 1/8"	19 15/16"	13"	10 1/8"	9"	4"	2 1/2"	3:1
15"	2 1/4"	6"	2'-3"	3'-10 1/2"	6'-1 1/2"	2'-6"	24"	4'-3 1/8"	6'-4 1/8"	24 5/16"	16"	12 1/2"	11"	4"	2 1/2"	3:1
18"	2 1/2"	9"	2'-3"	3'-10 1/2"	6'-1"	3'-0"	28"	4'-3 7/8"	6'-4 7/8"	29"	19"	15 1/2"	12"	4"	2 3/4"	3:1
21"	2 3/4"	9"	2'-11"	3'-2"	6'-1"	3'-6"	32"	3'-8 5/8"	6'-5 5/8"	31 5/8"	22"	16 1/8"	13"	4"	2 3/4"	3:1
24"	3"	9 1/2"	3'-1 1/2"	2'-6"	6'-1"	4'-0"	36"	3'-0 1/2"	6'-8"	33 3/8"	25"	18 13/16"	14"	4"	3"	3:1

R.C.P. FLARED END SECTION DETAILS
NOT TO SCALE

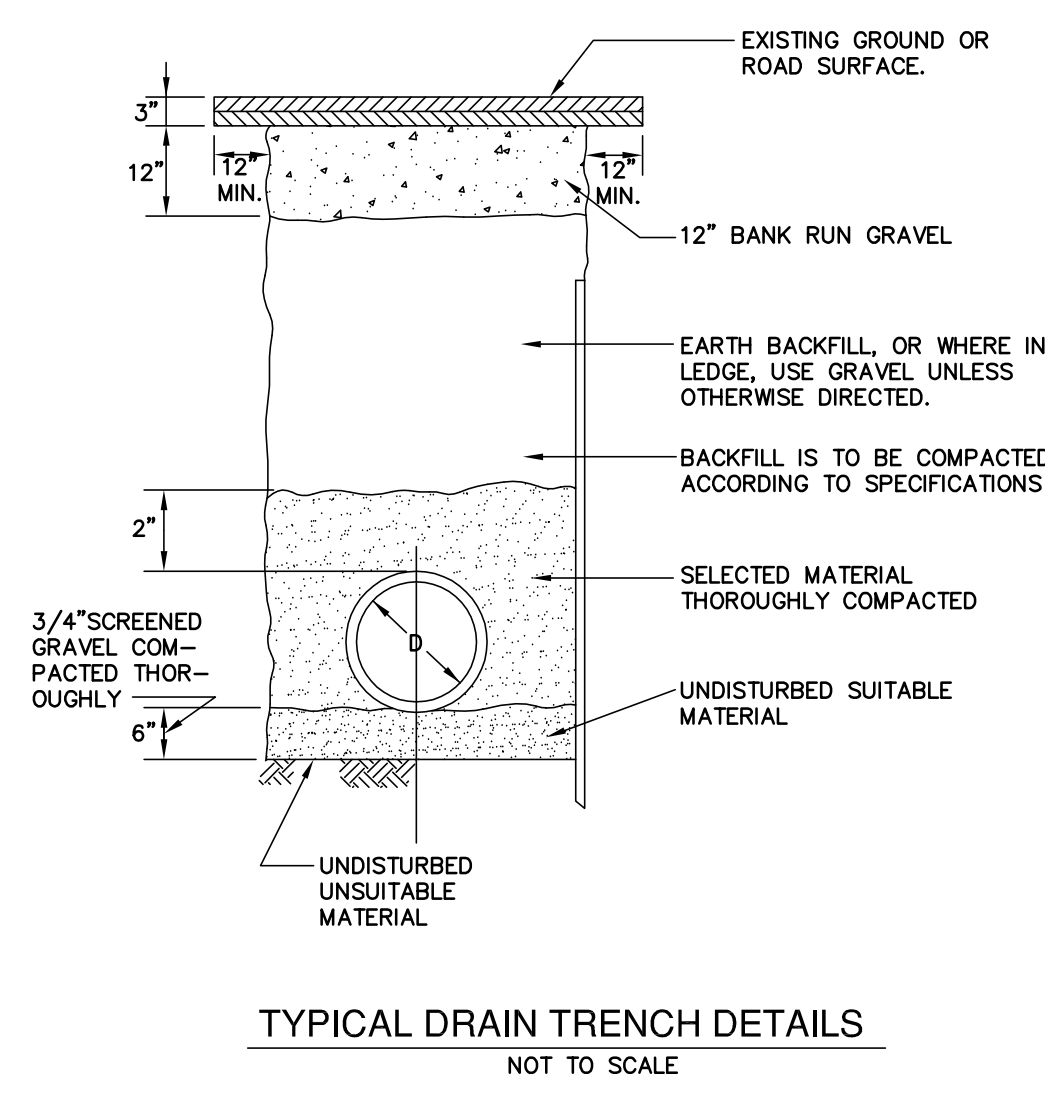
NOT USED



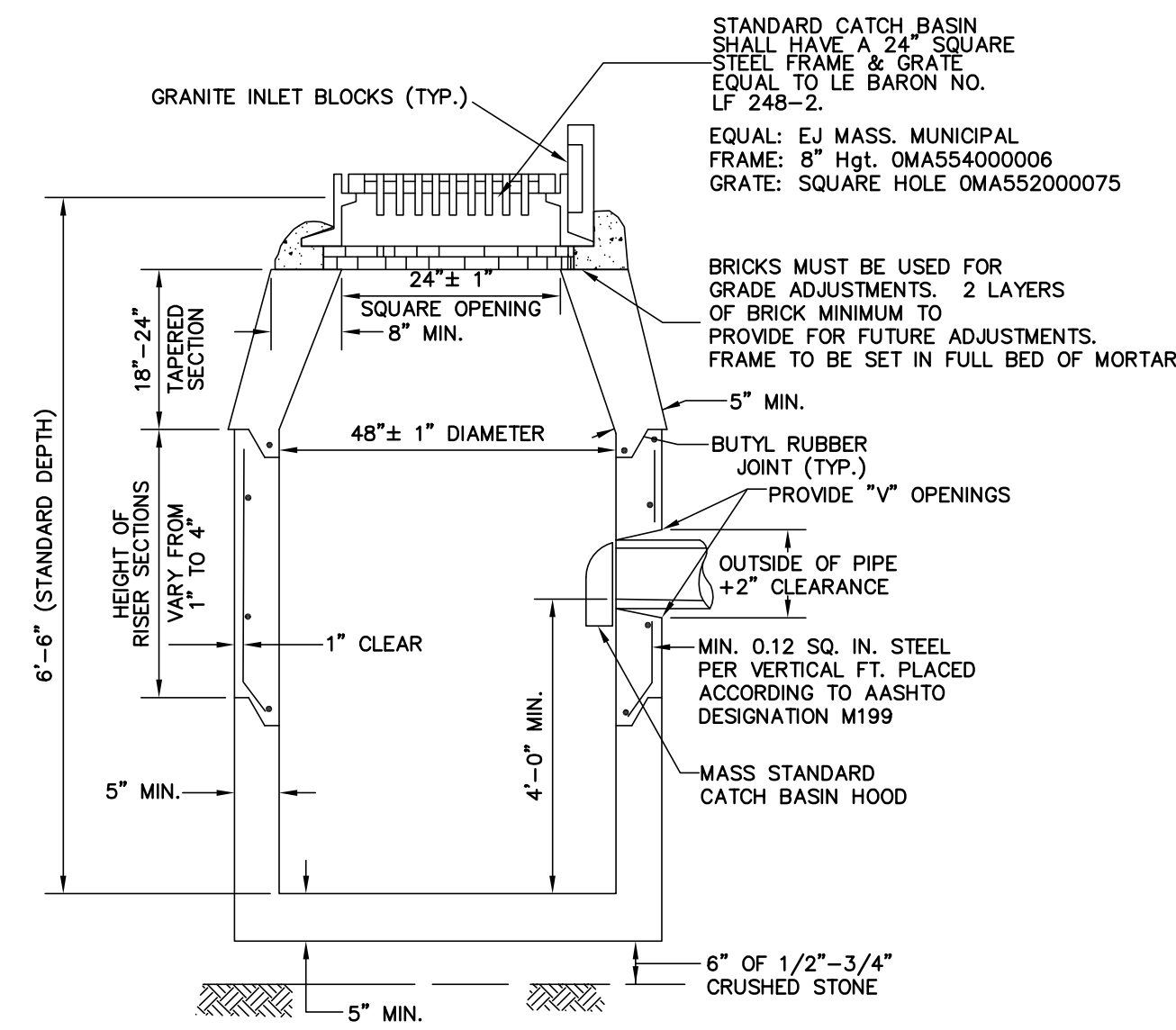
CONCRETE AND FIELD STONE MASONRY HEADWALL \ WINGWALL DETAILS
NOT TO SCALE



SUBDRAIN DETAILS
NOT TO SCALE

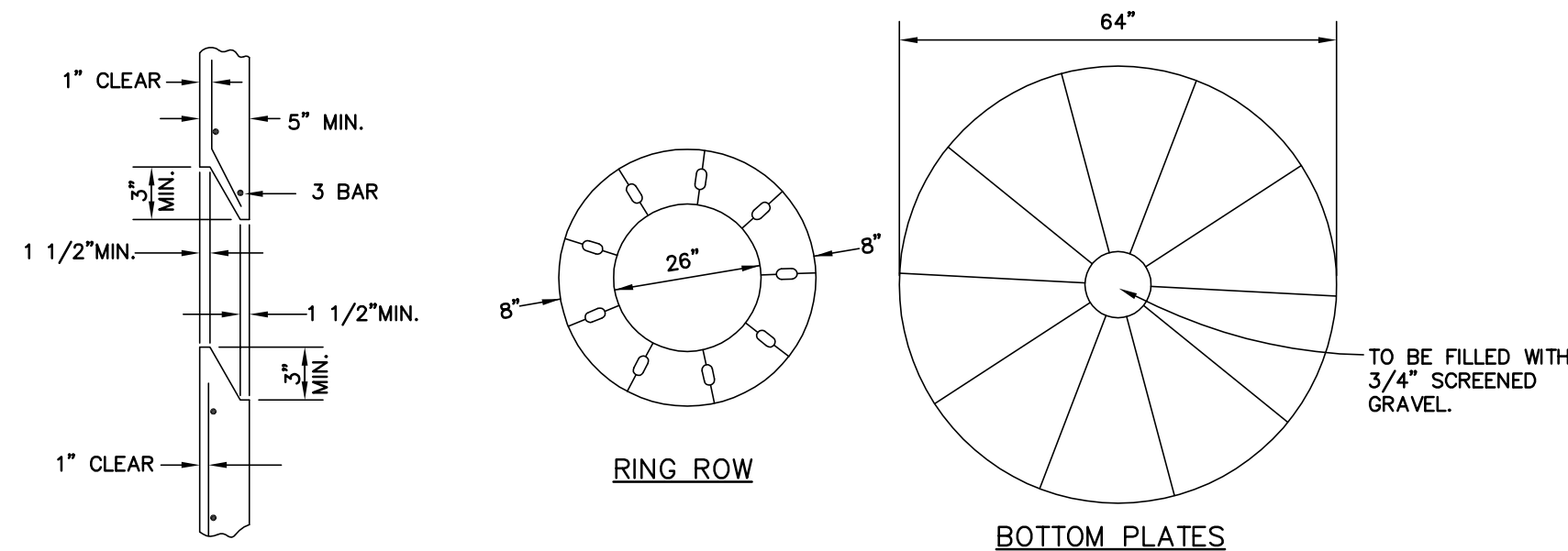


TYPICAL DRAIN TRENCH DETAILS
NOT TO SCALE



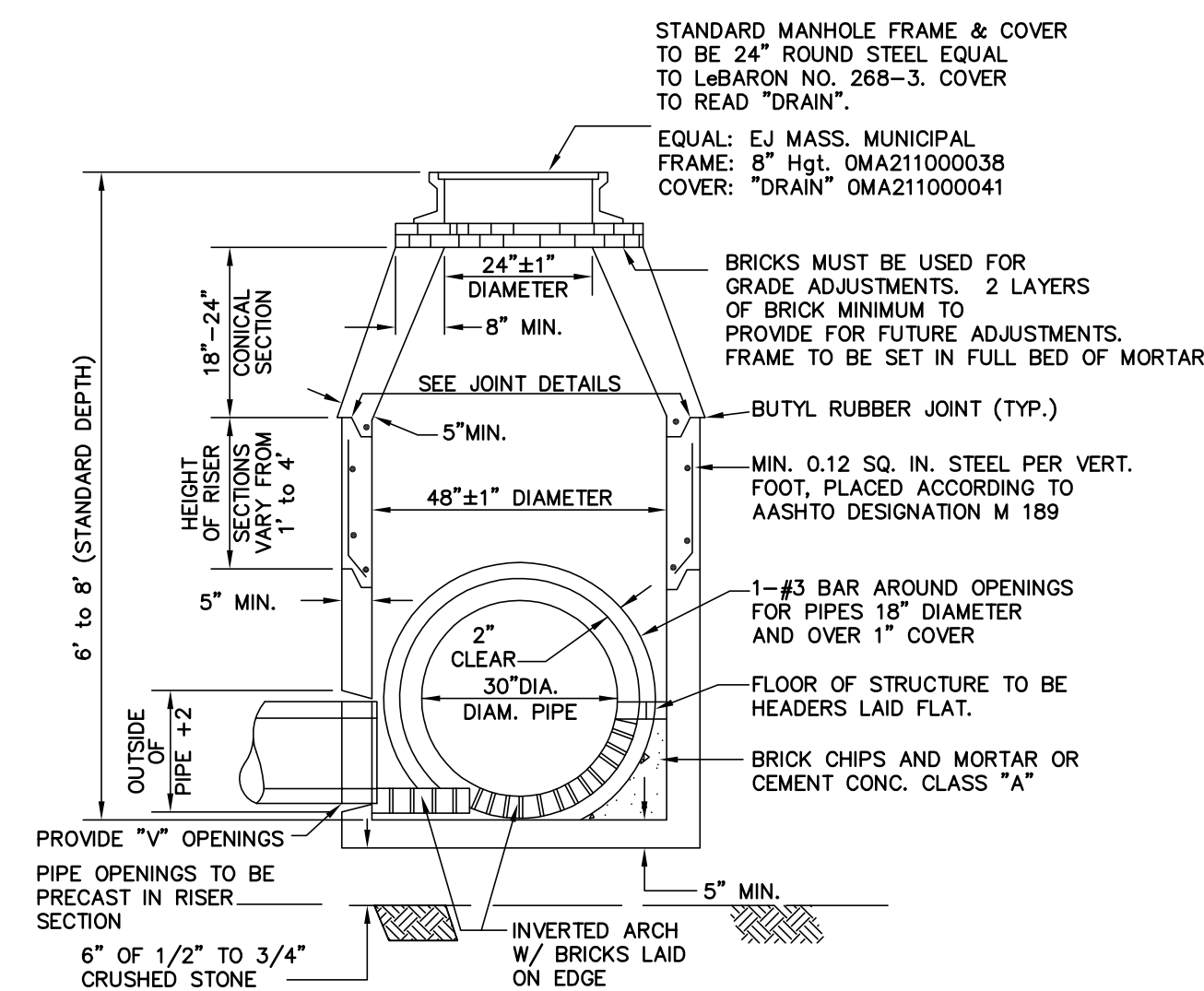
NOTE: NO BELL ENDS IN CATCH BASIN. CONNECTIONS TO BE TIGHTLY SEALED WITH MORTAR.

PRECAST CONCRETE CATCH BASIN DETAILS
NOT TO SCALE

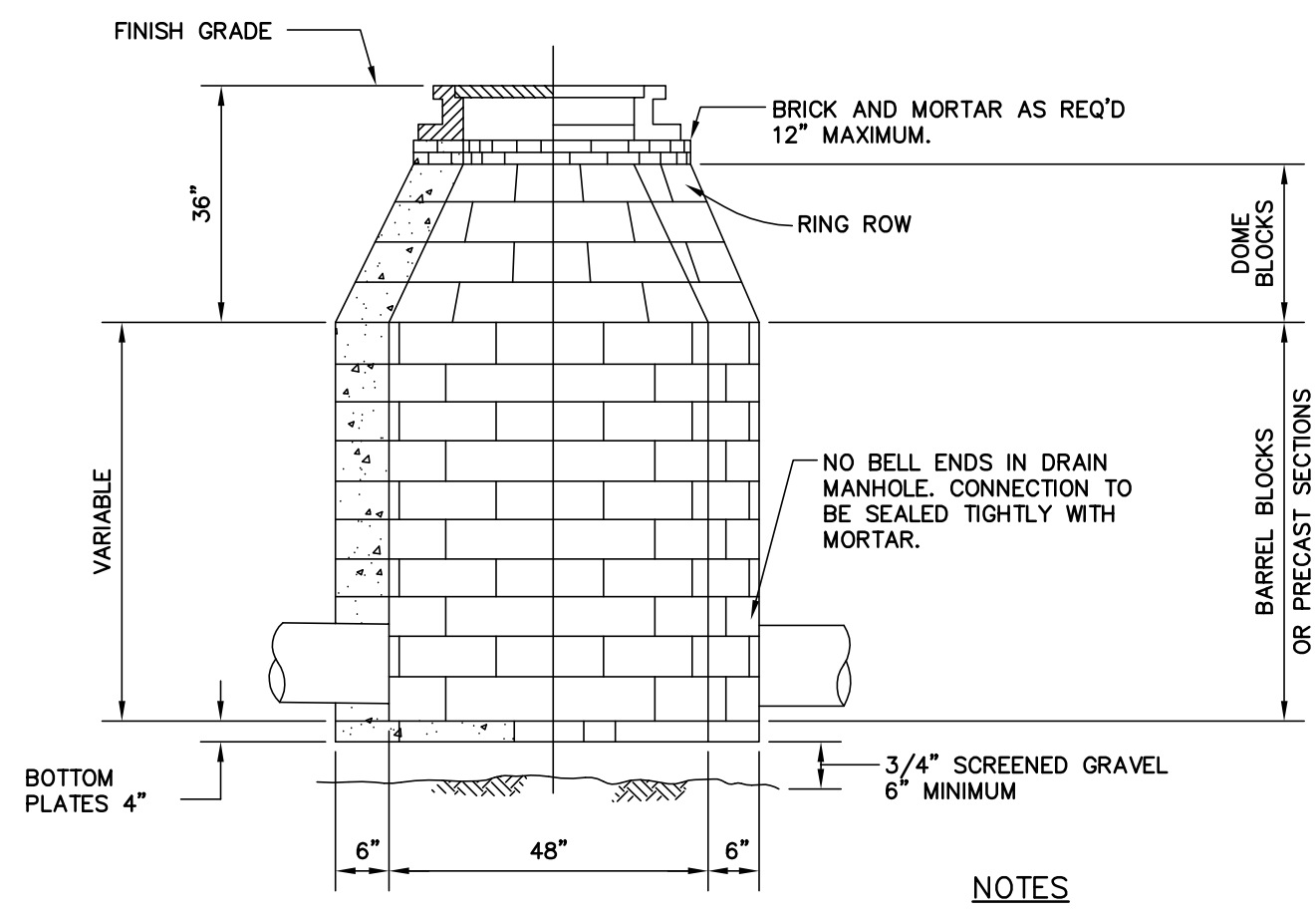


PRECAST STRUCTURE JOINT DETAILS
NOT TO SCALE

BLOCK CATCH BASIN & MANHOLE BOTTOM DETAILS
NOT TO SCALE



PRECAST CONCRETE MANHOLE DETAILS
NOT TO SCALE



BLOCK DRAIN MANHOLE DETAILS
NOT TO SCALE

- NOTES
1. ALL DRAIN MANHOLES TO HAVE BRICK INVERTS. SEE PRECAST MANHOLE DETAILS.
 2. MANHOLE BLOCKS MORE THAN 9' IN DEPTH TO BE 8" BLOCK.

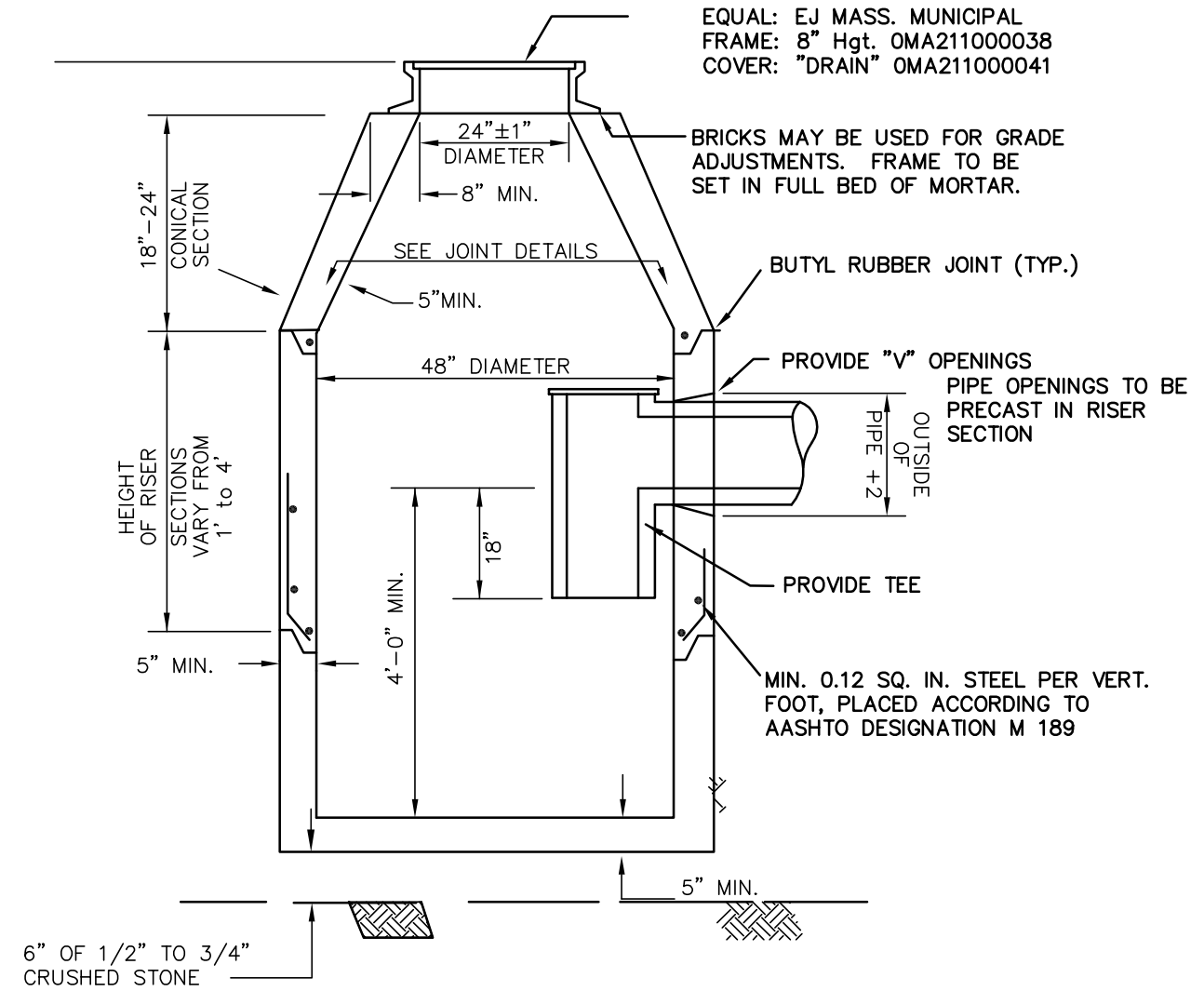
I TOWN CLERK OF THE TOWN OF WALPOLE RECEIVED & RECORDED FROM THE ZONING BOARD OF APPEALS, APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

TOWN CLERK _____ DATE _____

APPROVED BY THE WALPOLE ZONING BOARD OF APPEALS:

DATE APPROVED: _____
DATE ENDORSED: _____

STANDARD MANHOLE FRAME & COVER TO BE 24" ROUND STEEL EQUAL TO L6BARON NO. 268-3. COVER TO READ "DRAIN".
EQUAL: EJ MASS. MUNICIPAL FRAME: 8" Hgt. OMA211000038 COVER: "DRAIN" OMA211000041



PRECAST 4' SUMP MANHOLE DETAIL
NOT TO SCALE

Note:
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TOWN OF WALPOLE, MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS PLAN SHOWING TYPICAL DRAINAGE CONSTRUCTION DETAILS

REV. #	DATE	DESCRIPTION	BY
1	7-11-08	DRAWN TO AUTOCAD FILE	MAJ
2	11-22-08	MANY MISC. UPDATES	MAJ

DETAILS

NO.	DATE	DESCRIPTION
1	6/02/20	ZONING BOARD COMMENTS
2	8/05/20	DRAINAGE ANALYSIS

SITE DEVELOPMENT PLAN
A COMPREHENSIVE PERMIT M.G.L.C. 40B
"DIAMOND HILL ESTATES"
WALPOLE, MASSACHUSETTS

PREPARED FOR:
WALL STREET DEVELOPMENT CORP.
P.O. BOX 2772
WESTWOOD, MA 02090

GLM Engineering Consultants, Inc.
19 EXCHANGE STREET
HOLLISTON, MA 01746
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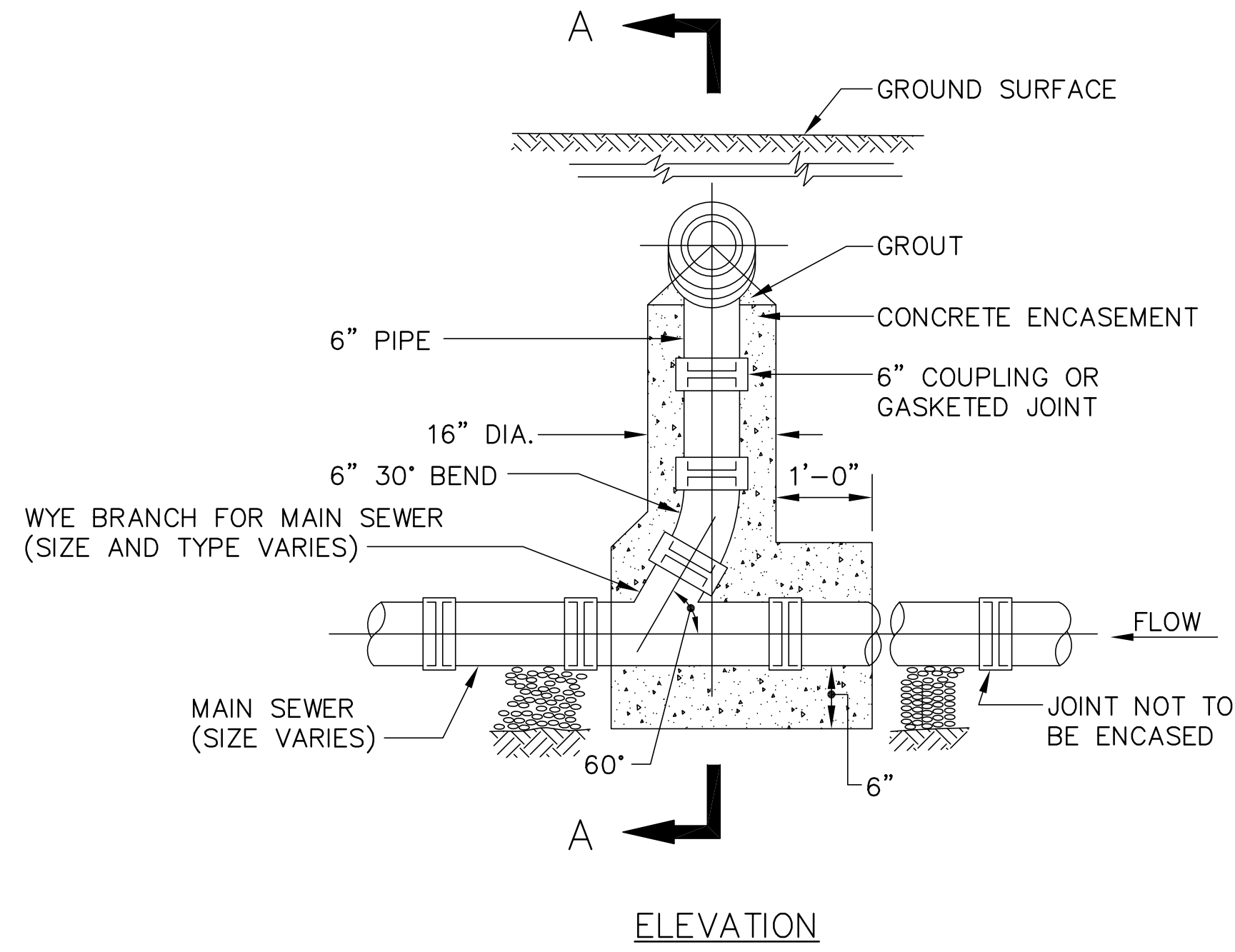
JOB No. 16,518
DATE: FEB. 26, 2020
SCALE: 1"=40'
SHEET: 9 of 12
PLAN #: 27,321

APPROVED BY THE
WALPOLE ZONING BOARD
OF APPEALS:

DATE APPROVED: _____
DATE ENDORSED: _____

I, TOWN CLERK OF THE TOWN OF WALPOLE
RECEIVED & RECORDED FROM THE ZONING
BOARD OF APPEALS, APPROVAL OF THIS PLAN
AND NO APPEAL HAS BEEN TAKEN FOR TWENTY
DAYS NEXT AFTER RECEIPT AND RECORDING OF
SAME.

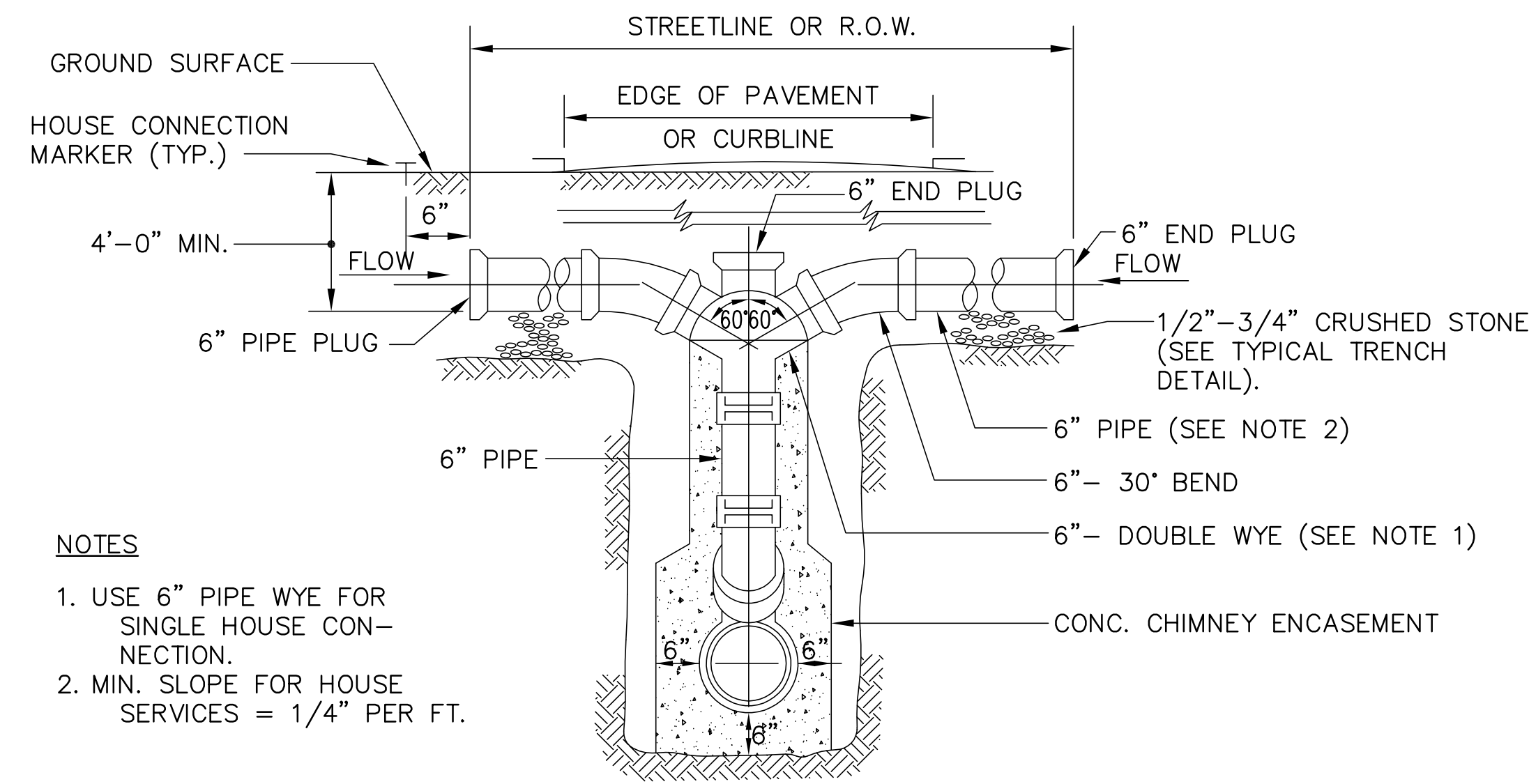
TOWN CLERK _____ DATE _____



ELEVATION

TYPICAL HOUSE SERVICE CONNECTION & CHIMNEY DETAIL

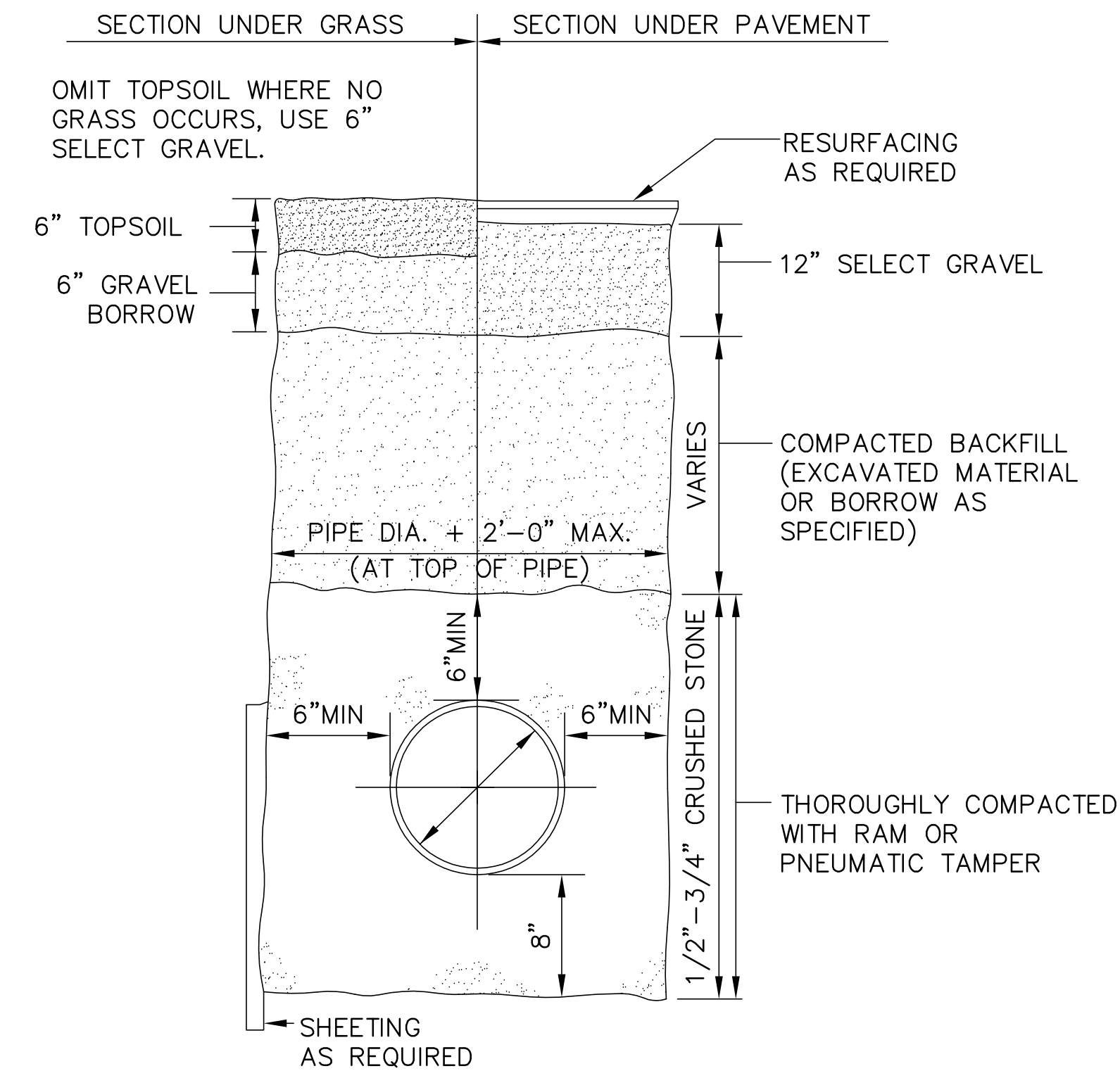
(FOR MAIN SEWER OVER 8'-0" DEEP)
NOT TO SCALE



SECTION A-A

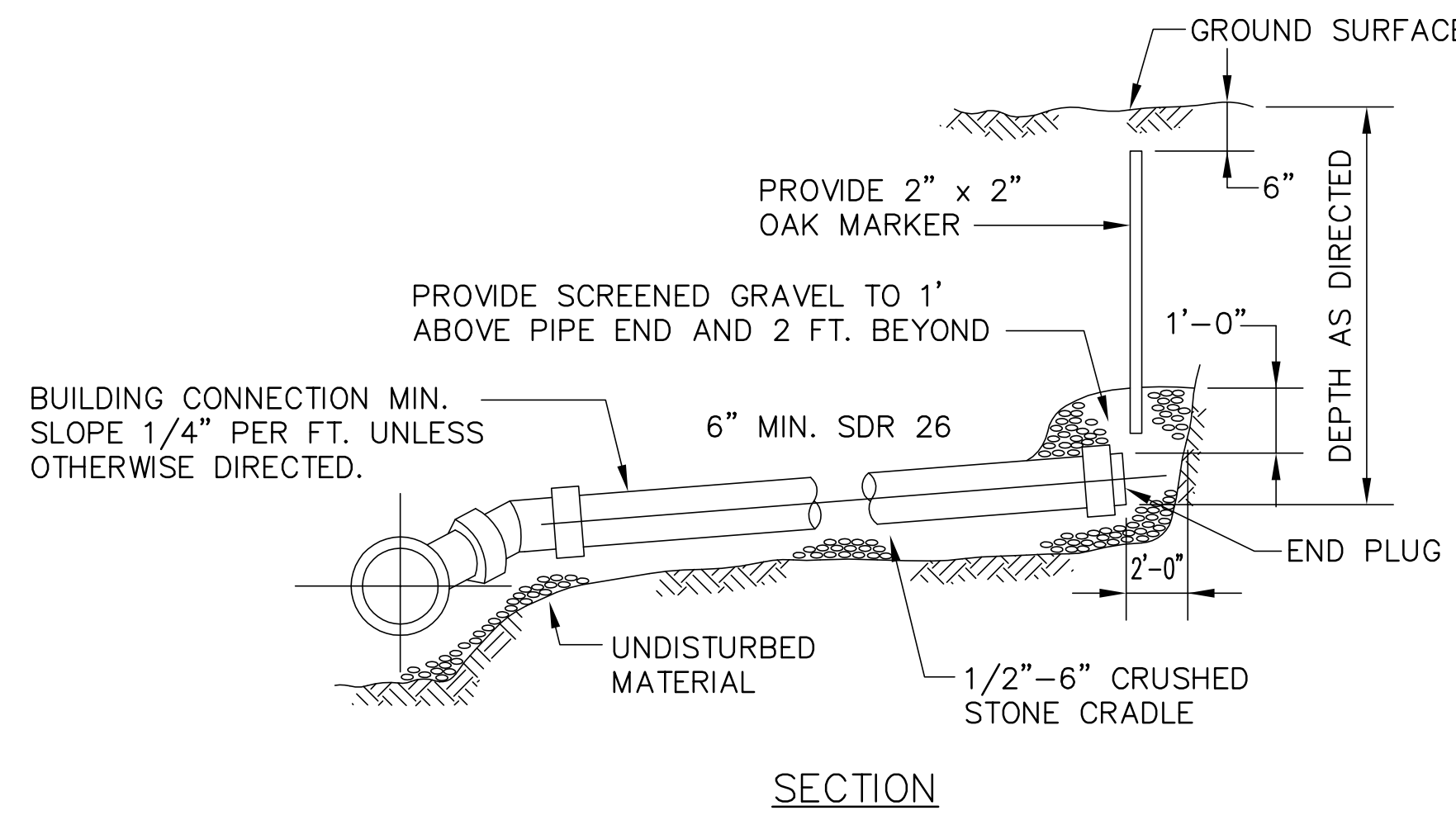
NOTES

1. USE 6" PIPE WYE FOR SINGLE HOUSE CONNECTION.
2. MIN. SLOPE FOR HOUSE SERVICES = 1/4" PER FT.

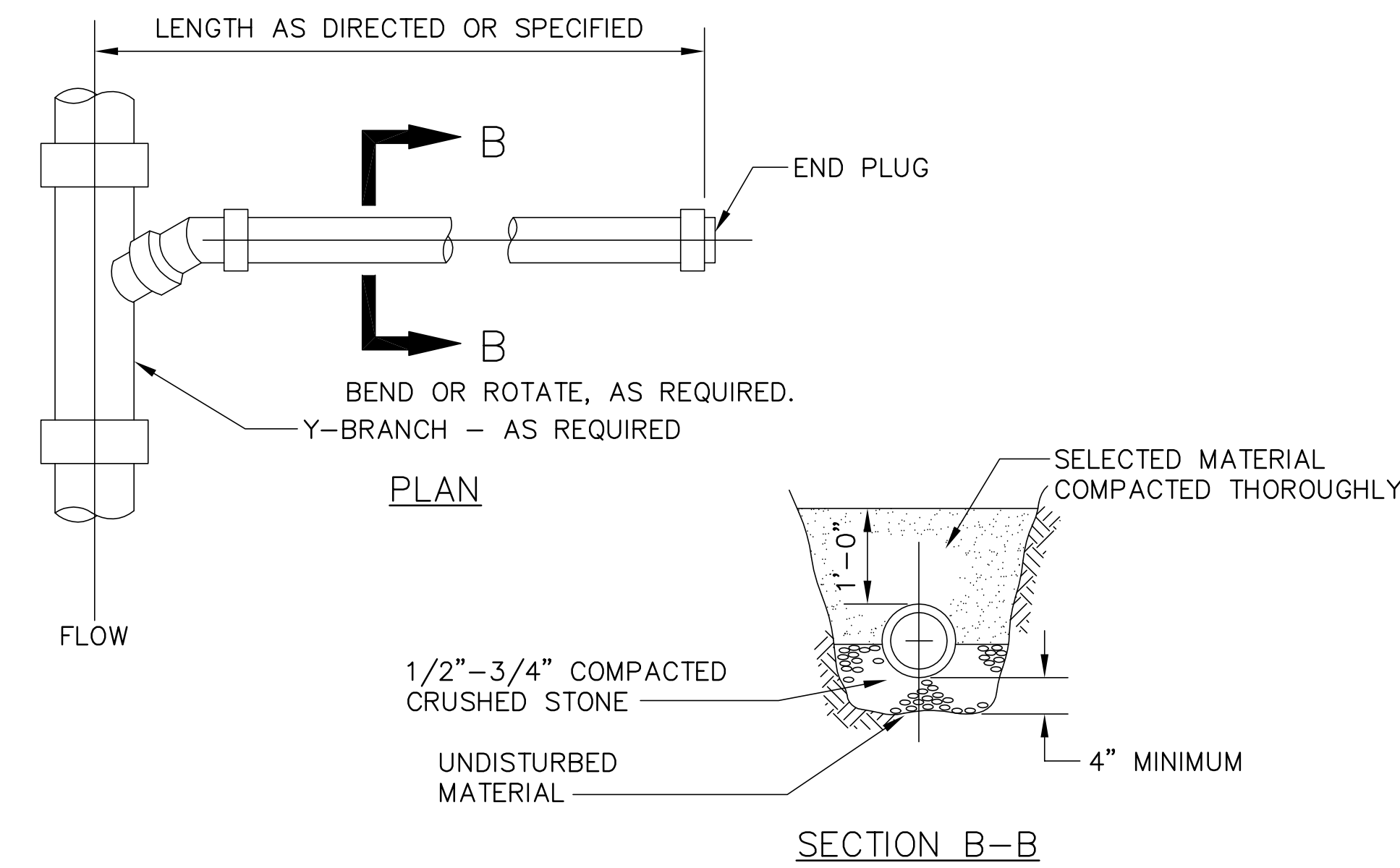


TYPICAL SEWER TRENCH DETAIL

NOT TO SCALE



SECTION



PLAN

SECTION B-B

TYPICAL BUILDING CONNECTION

NOT TO SCALE

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**TOWN OF WALPOLE, MASSACHUSETTS
DEPARTMENT OF PUBLIC WORKS
PLAN SHOWING TYPICAL
SEWAGE CONSTRUCTION DETAILS**

REV. #	DATE	DESCRIPTION	BY
1	7-11-08	DRAWN TO AUTOCAD FILE	MAJ
2	11-22-08	MANY MISC. UPDATES	MAJ

DETAILS

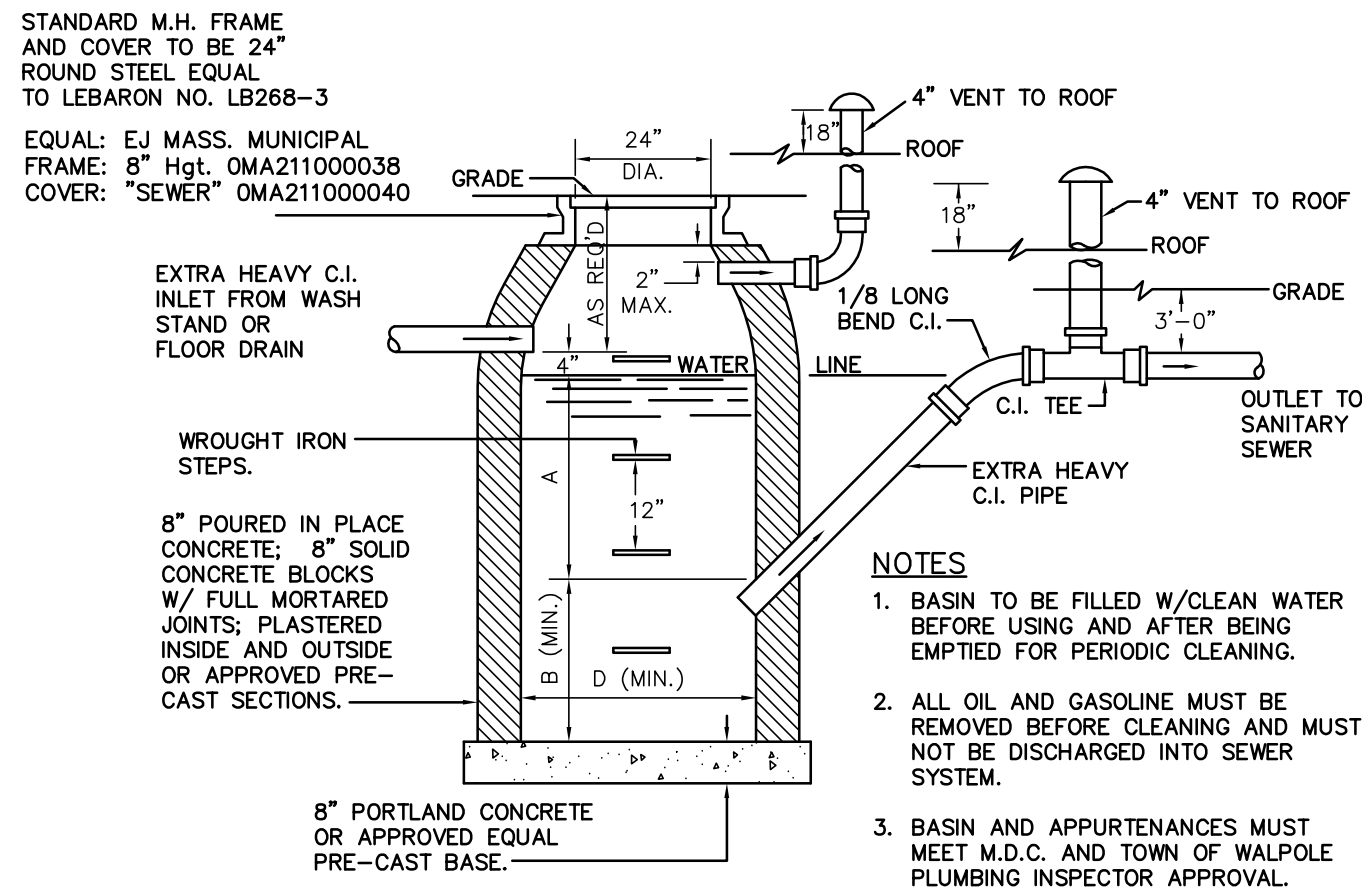
REVISIONS	DATE	DESCRIPTION
1	6/02/20	ZONING BOARD COMMENTS
2	8/05/20	DRAINAGE ANALYSIS

**SITE DEVELOPMENT PLAN
A COMPREHENSIVE PERMIT M.G.L.C. 40B
"DIAMOND HILL ESTATES"
WALPOLE, MASSACHUSETTS**

PREPARED FOR:
WALL STREET DEVELOPMENT CORP.
P.O. BOX 272
WESTWOOD, MA 02090

GLM Engineering
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19 EXCHANGE STREET
HOLLISTON, MA 01746
P: 508-429-1100
F: 508-429-7160
www.GLMengineering.com

JOB No. 16,518
DATE: FEB. 26, 2020
SCALE: 1"=40'
SHEET: 10 of 12
PLAN #: 27,321

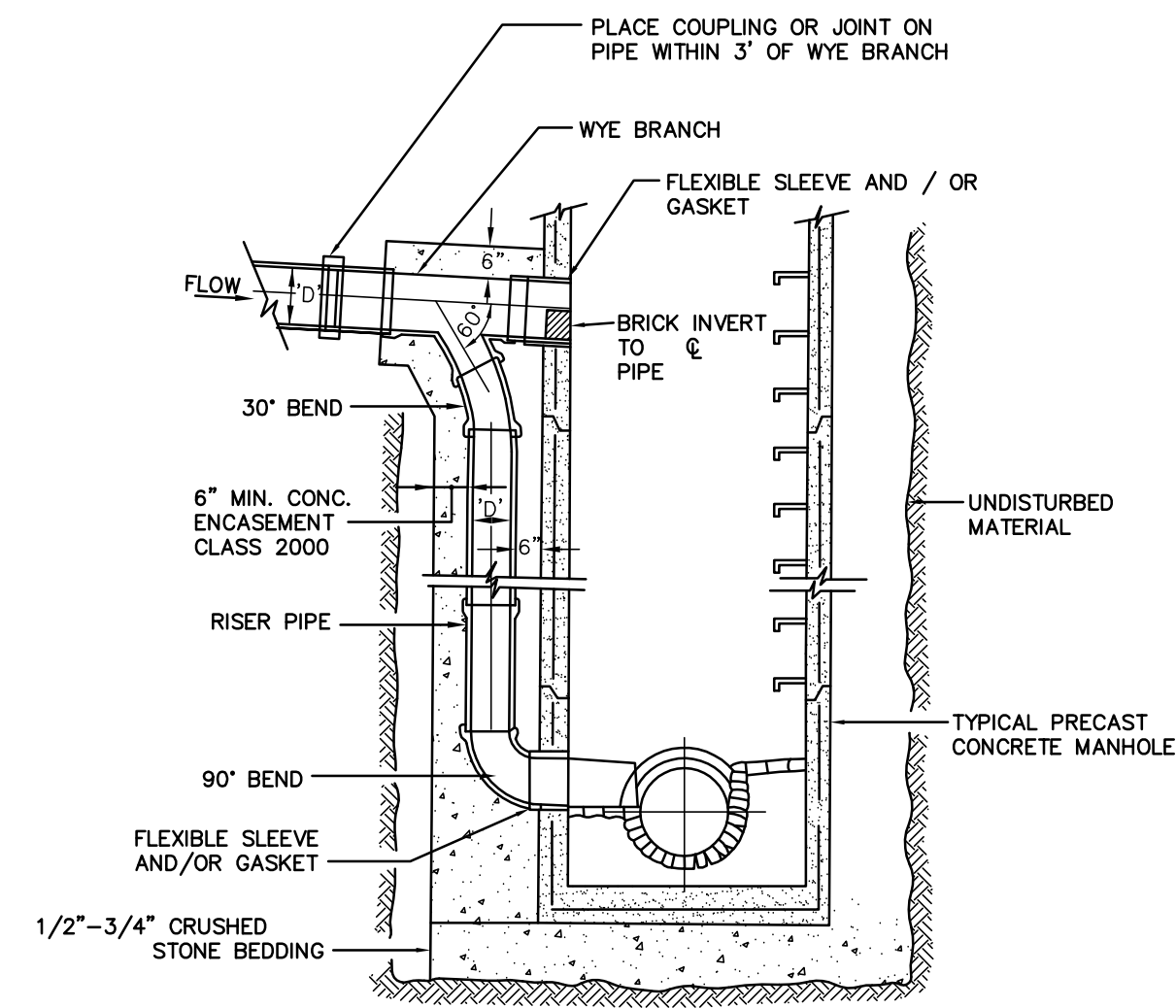


INLET	D	A	B
4"	4'-0" 3'-6"	2'-3" 3'-0"	1'-11" 2'-6"
5"	3'-6" 4'-0" 4'-0"x4'-0" 4'-6"	5'-0" 4'-0" 3'-6" 4'-0"	4'-0" 3'-0" 2'-6" 3'-6"
6"	4'-0" 4'-0" 4'-6"x4'-6" 5'-0"	5'-0" 4'-0" 3'-6" 3'-0"	4'-6" 3'-6" 3'-0" 2'-6"
8"	5'-0" 5'-6"x5'-6" 6'-0" 6'-6"	6'-0" 4'-6" 3'-0" 3'-6"	5'-0" 4'-0" 2'-6" 2'-6"

- NOTES**
1. BASIN TO BE FILLED W/CLEAN WATER BEFORE USING AND AFTER BEING EMPTIED FOR PERIODIC CLEANING.
 2. ALL OIL AND GASOLINE MUST BE REMOVED BEFORE CLEANING AND MUST NOT BE DISCHARGED INTO SEWER SYSTEM.
 3. BASIN AND APPURTENANCES MUST MEET M.D.C. AND TOWN OF WALPOLE PLUMBING INSPECTOR APPROVAL.

NOTE: FOR INLETS LARGER THAN 8", THE DESIGN AND DIMENSIONS WILL BE DETERMINED FOR EACH PARTICULAR CASE.
CIRCULAR BASINS ARE RECOMMENDED.

STANDARD M.D.C. CATCH BASIN & GASOLINE TRAP DETAILS
NOT TO SCALE



TYPICAL OUTSIDE DROP INLET MANHOLE DETAILS
NOT TO SCALE

APPROVED BY THE
WALPOLE ZONING BOARD
OF APPEALS:

DATE APPROVED: _____

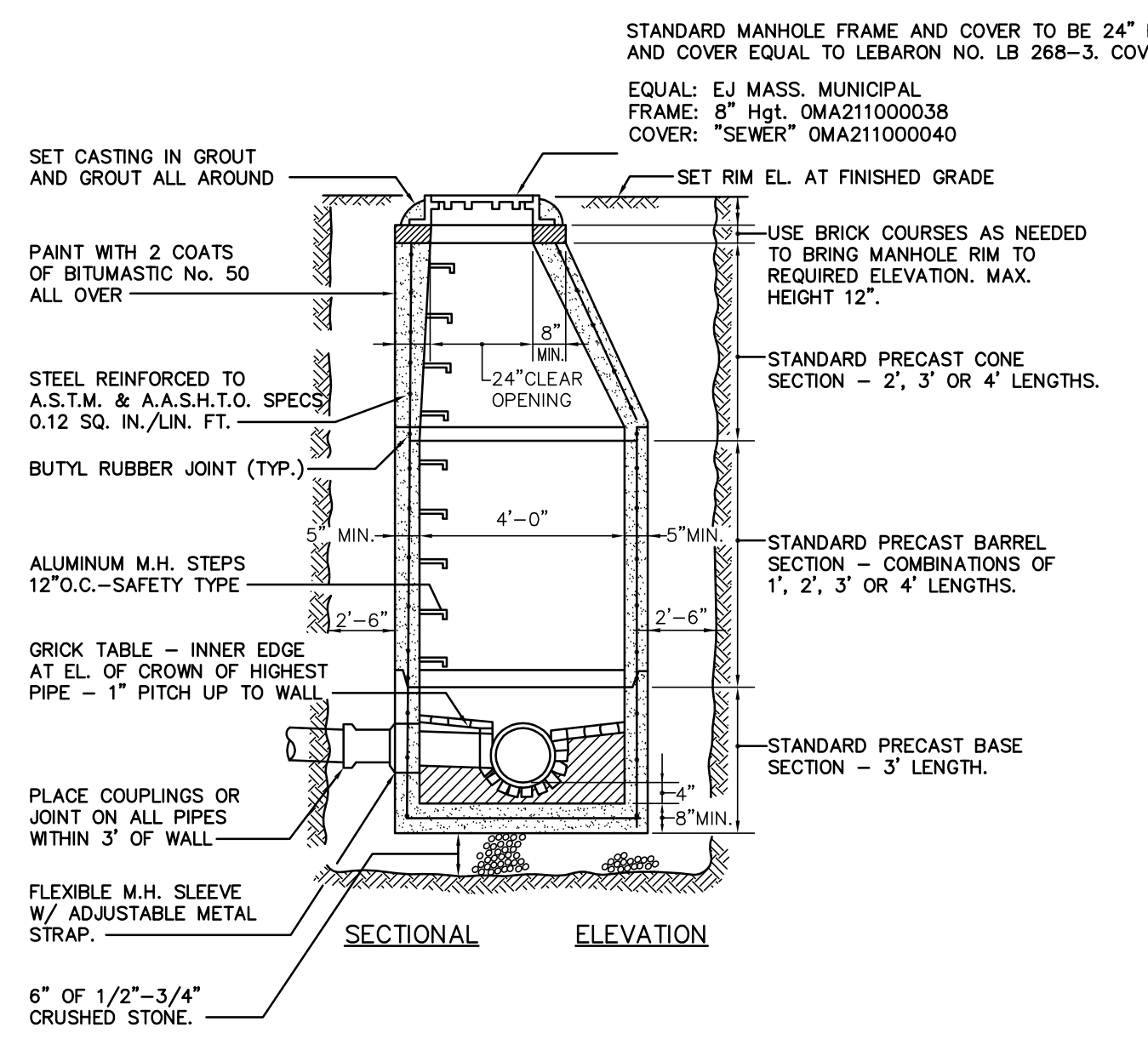
DATE ENDORSED: _____

TOWN CLERK _____ DATE _____

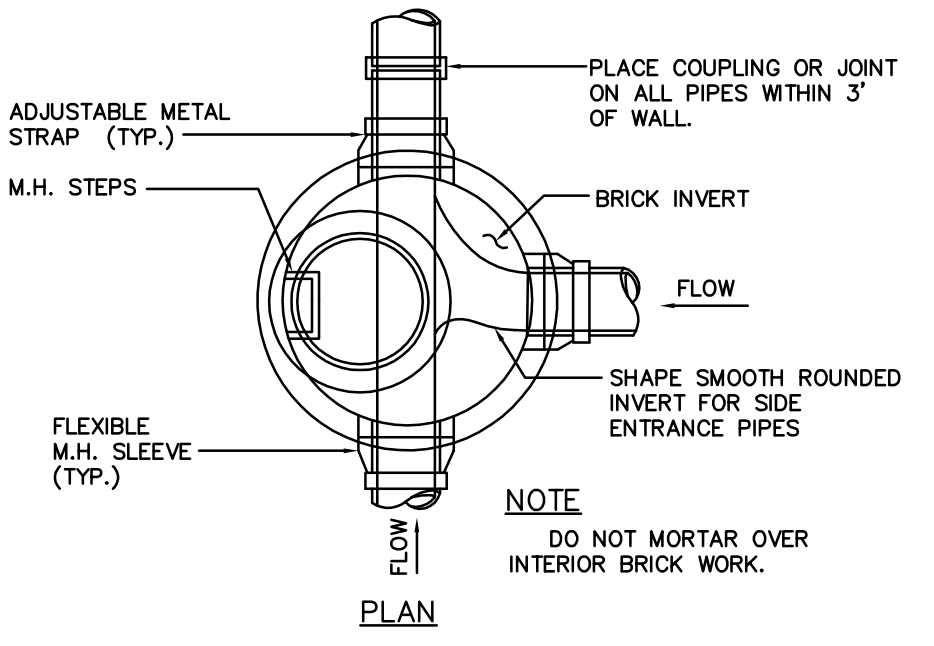
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REVISIONS	DATE	DESCRIPTION
1	6/02/20	ZONING BOARD COMMENTS
2	8/05/20	DRAINAGE ANALYSIS

*NOTE: SMH #S 2-4 SHALL BE INSTALLED WITH BOLT DOWN COVERS.

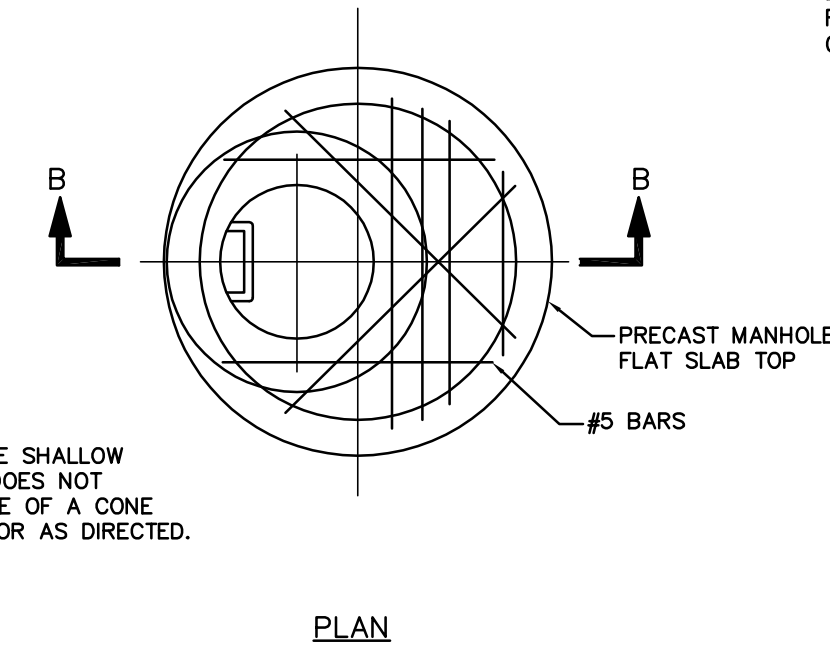


TYPICAL PRECAST CONCRETE SEWER MANHOLE DETAILS
NOT TO SCALE



NOTE: DO NOT MORTAR OVER INTERIOR BRICK WORK.

NOTE: FOR USE WHERE SHALLOW INSTALLATION DOES NOT PERMIT THE USE OF A CONE TYPE SECTION OR AS DIRECTED.

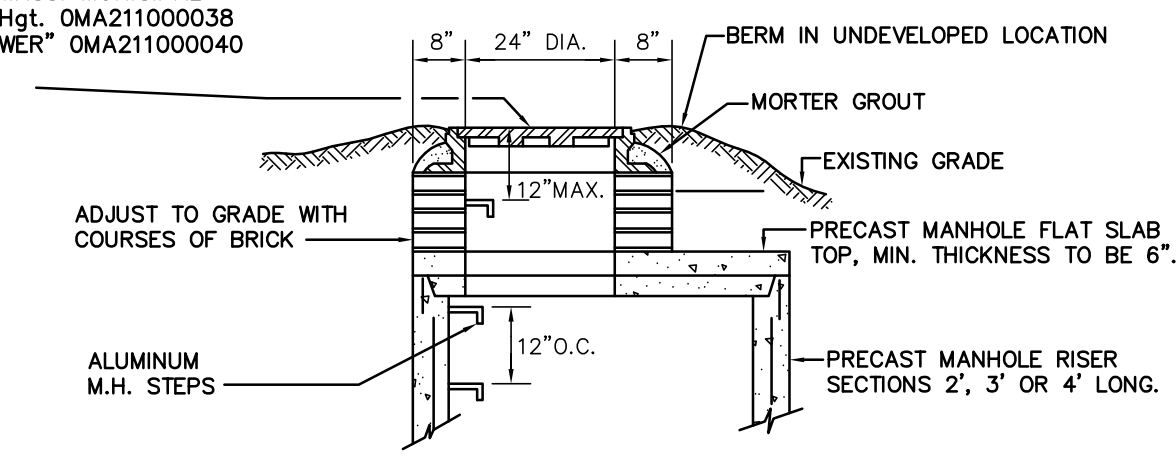


PLAN

*NOTE: SMH #S 2-4 SHALL BE INSTALLED WITH BOLT DOWN COVERS.

STANDARD MANHOLE FRAME AND COVER TO BE 24" ROUND STEEL FRAME AND COVER EQUAL TO LEBARON NO. LB 268-3. COVER TO READ "SEWER"

EQUAL: EJ MASS. MUNICIPAL FRAME: 8" Hgt. OMA211000038 COVER: "SEWER" OMA211000040



SECTION B-B

FLAT TOP SECTION
NOT TO SCALE

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**TOWN OF WALPOLE, MASSACHUSETTS
DEPARTMENT OF PUBLIC WORKS
PLAN SHOWING TYPICAL
SEWERAGE CONSTRUCTION DETAILS**

REV. #	DATE	DESCRIPTION	BY
1	7-11-06	DRAWN TO AUTOCAD FILE	MAJ
2	11-20-08	UPDATED	MAJ

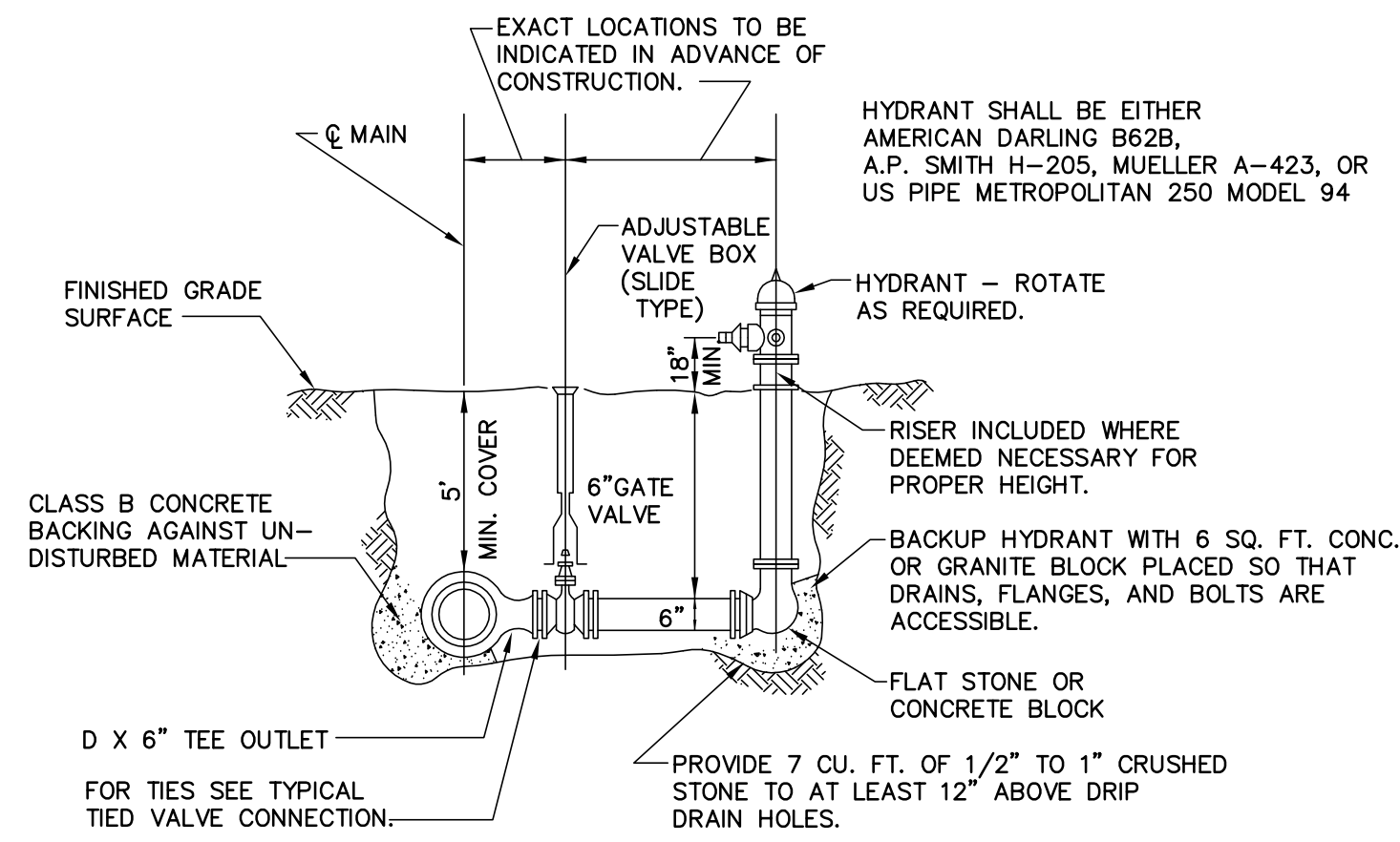
DETAILS

**SITE DEVELOPMENT PLAN
A COMPREHENSIVE PERMIT M.G.L.c. 40B
"DIAMOND HILL ESTATES"
WALPOLE, MASSACHUSETTS**

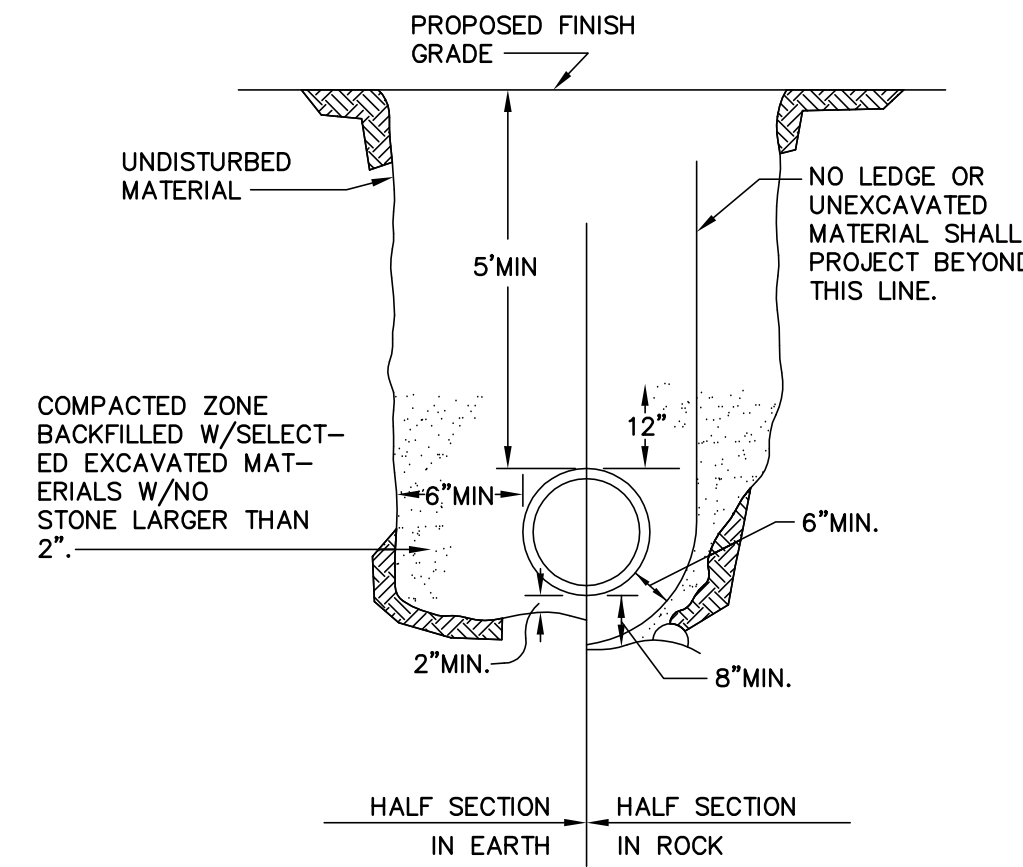
PREPARED FOR:
WALL STREET DEVELOPMENT CORP.
P.O. BOX 272
WESTWOOD, MA 02090

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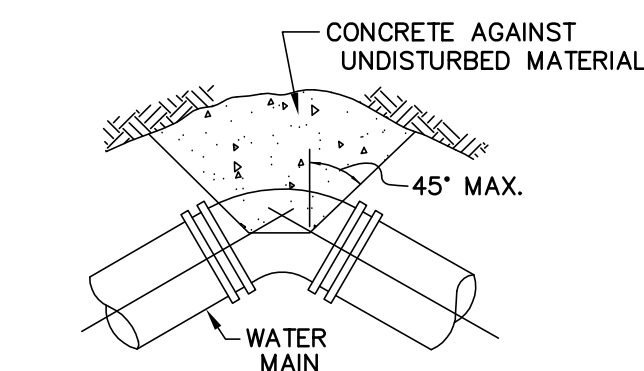
JOB No. 16,518
DATE: FEB. 26, 2020
SCALE: 1"=40'
SHEET: 11 of 12
PLAN #: 27,321



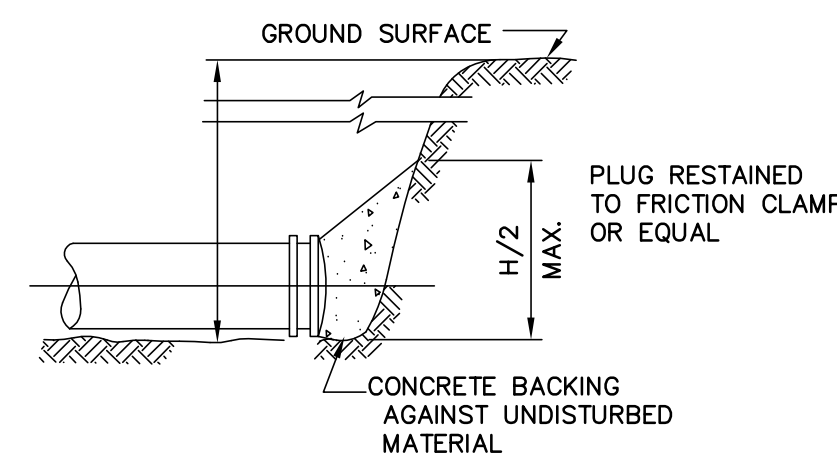
TYPICAL HYDRANT ASSEMBLY DETAIL
NOT TO SCALE



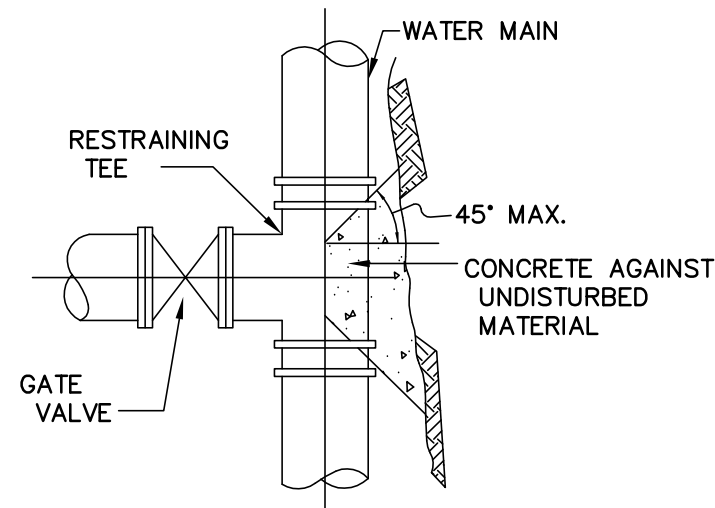
WATER MAIN TRENCH DETAIL
NOT TO SCALE



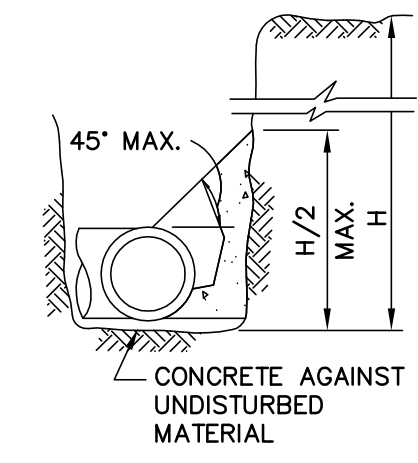
TYPICAL BEND



TYPICAL PLUG



TYPICAL TEE



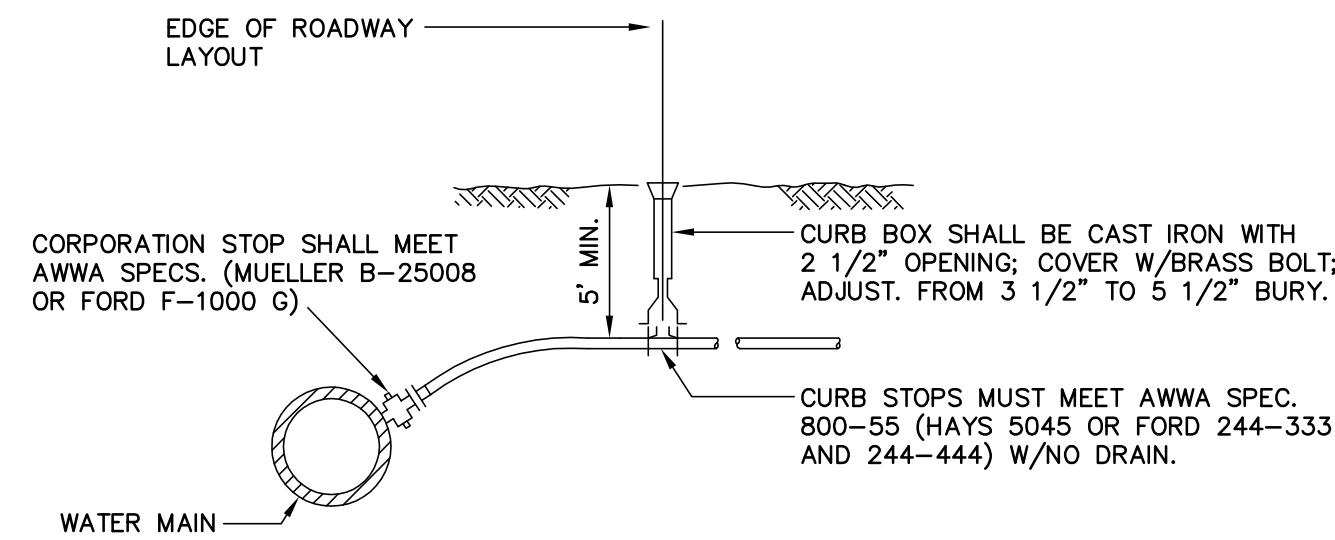
TYPICAL SECTION

NOTE: CONCRETE FOR THRUST BLOCKS SHALL BE NO LONGER THAN THE RATIO OF 2 1/2 : 5 1/2 AND SHALL HAVE A MINIMUM COMPRESSION STRENGTH OF 2000 PSI (SO THAT FLANGES AND BOLTS ARE ACCESSIBLE.)

BEARING AREAS OF THRUST BLOCKS (BEARING AREA IN SQUARE FT.)				
PIPE SIZE INCHES	1/4 BEND	1/8 BEND	1/16 BEND OR LESS	PLUG TEES
6 AND 8	8	8	8	8
10 AND 12	22	13	8	16

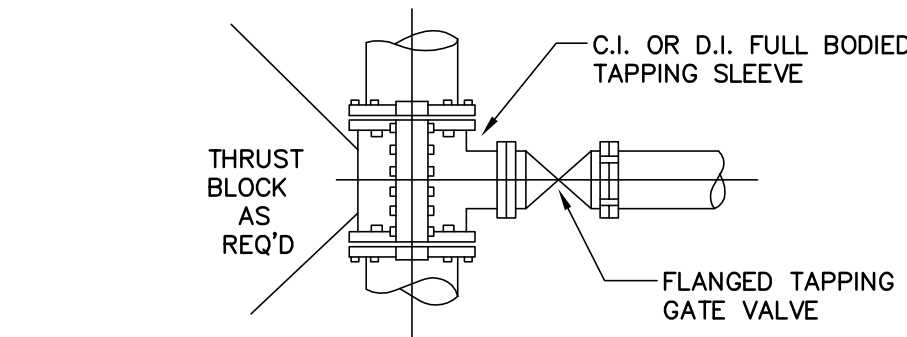
TYPICAL THRUST BLOCK DETAIL

NOT TO SCALE



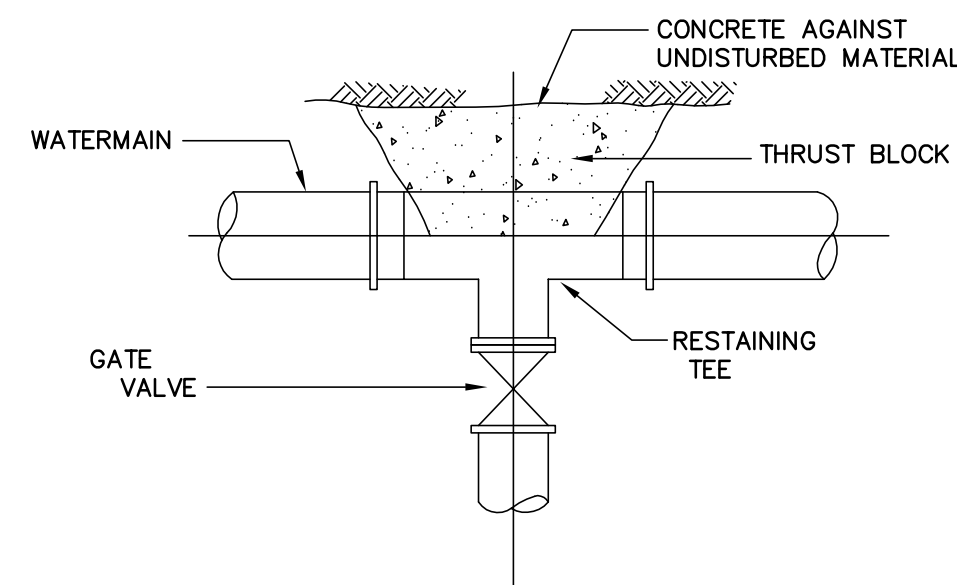
TYPICAL SERVICE CONNECTION
NOT TO SCALE

NOTE:
1" TYPE K SERVICES
COPPER TUBING SHALL MEET AWWA SPEC. 76-CR TYPE K OR FEDERAL SPEC. WWT-799 TYPE K.



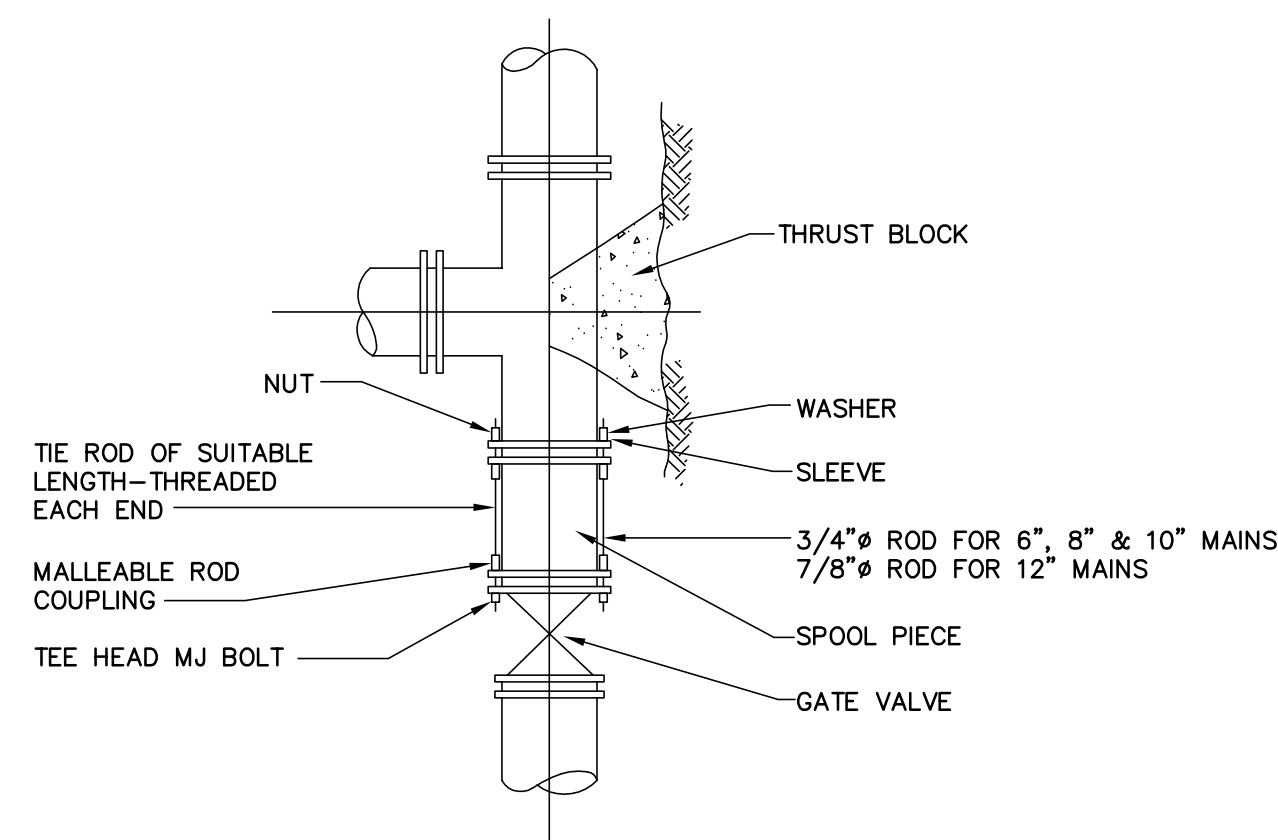
TAPPING SLEEVE AND VALVE DETAILS

NOT TO SCALE



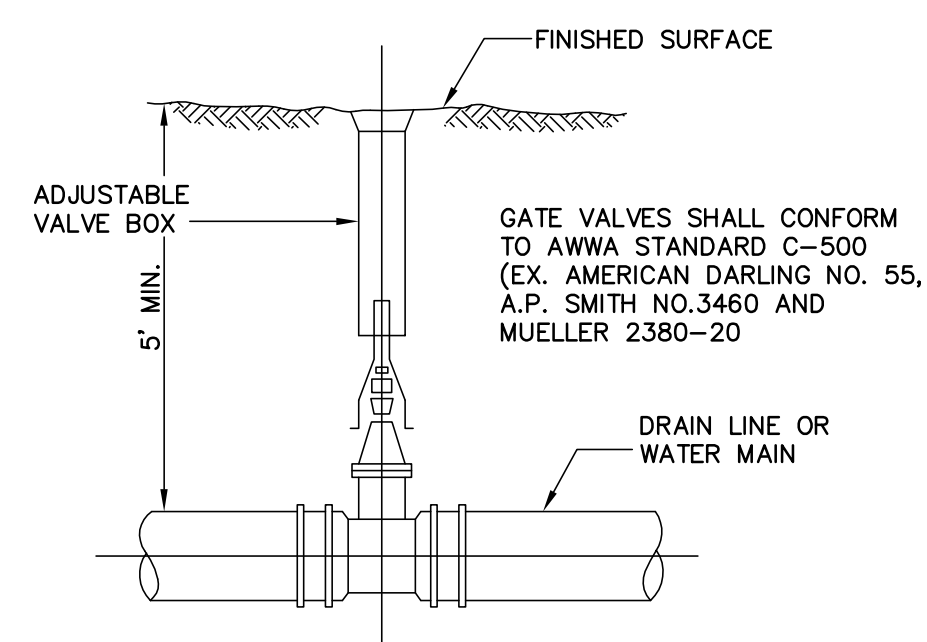
TYPICAL LATERAL GATE VALVE CONNECTION DETAILS

NOT TO SCALE



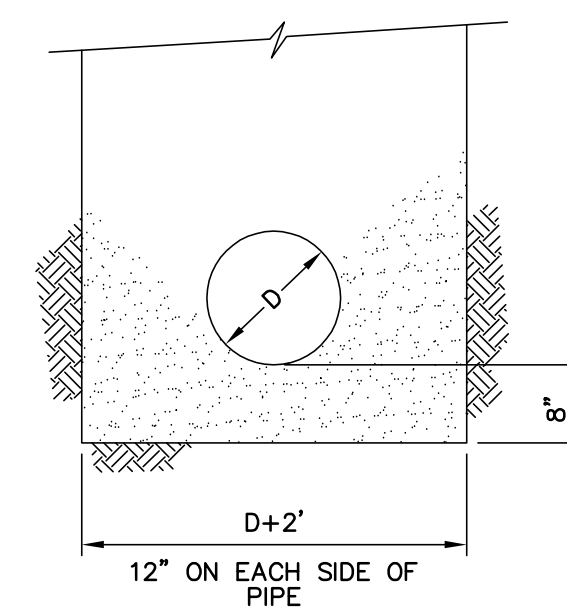
TYPICAL TIED MECHANICAL JOINT VALVE CONNECTION DETAILS

NOT TO SCALE



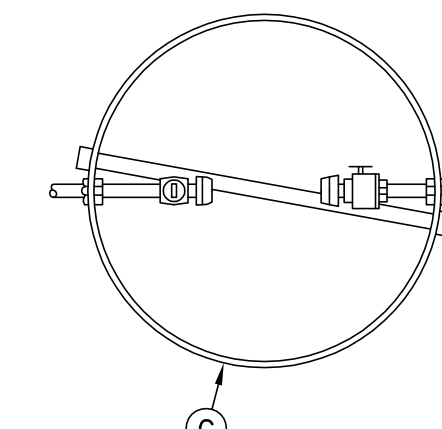
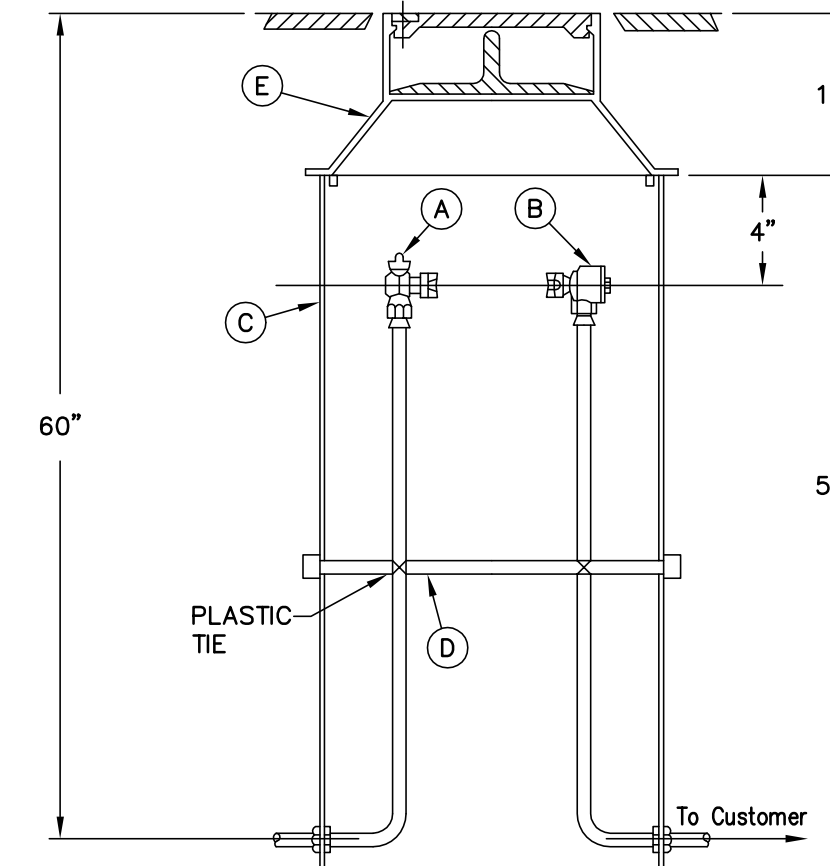
TYPICAL GATE VALVE

NOT TO SCALE



PAYMENT LIMIT FOR LEDGE EXCAVATION

NOT TO SCALE



ITEM	DESCRIPTION	CAT. No.
A	ANGLE BALL VALVE	BA13-232W
B	DUAL ANGLE CHECK VALVE	HH431-3230
C	20" L.D. PVC PIPE	
D	1/2" PVC SUPPORT & CAPS	
E	METER BOX COVER & LID	W-3

* ORDERED SEPARATELY

METER PIT SPECIFICATIONS

NOT TO SCALE

- NOTES:
1. ALL SERVICE SHALL ENTER THE PIT AT A 90° ANGLE TO THE STREET.
 2. TO BE USED FOR DWELLINGS WHICH EXCEED A DISTANCE OF 200' FROM FRONT PROPERTY LINES.

APPROVED BY THE WALPOLE ZONING BOARD OF APPEALS:

DATE APPROVED: _____

DATE ENDORSED: _____

I TOWN CLERK OF THE TOWN OF WALPOLE RECEIVED & RECORDED FROM THE ZONING BOARD OF APPEALS, APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

TOWN CLERK _____

DATE _____

SITE DEVELOPMENT PLAN
A COMPREHENSIVE PERMIT M.G.L.c. 40B
"DIAMOND HILL ESTATES"
WALPOLE, MASSACHUSETTS

PREPARED FOR:
 WALL STREET DEVELOPMENT CORP.
 P.O. BOX 272
 WESTWOOD, MA 02090

Note:
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TOWN OF WALPOLE, MASSACHUSETTS
DEPARTMENT OF PUBLIC WORKS
PLAN SHOWING TYPICAL
WATER MAIN CONSTRUCTION DETAILS

REV. #	DATE	DESCRIPTION	BY
1	7-11-06	DRAWN TO AUTOCAD FILE	MAJ
2	11-08-08	UPDATED	MAJ

DETAILS

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 F: 508-429-7160
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JOB No. 16,518
 DATE: FEB. 26, 2020
 SCALE: 1"=40'
 SHEET: 12 of 12
 PLAN #: 27,321