

# SPECIAL PERMIT & SITE DEVELOPMENT PLAN

## "UNION SQUARE VILLAGE"

### WALPOLE, MASSACHUSETTS

DATE: JANUARY 24, 2024

REVISED: APRIL 12, 2024

**ASSESSOR'S REFERENCE:**

MAP 20, PARCEL 119  
 MAP 20, PARCEL 136  
 MAP 20, PARCEL 137  
 MAP 20, PARCEL 115

**PLAN REFERENCE:**

PLAN No. 959 OF 1980, Bk. 5808, Pg. 530  
 PLAN No. 1520 OF 1987, Bk. 362  
 PLAN No. 990 OF 1954, Bk. 3279, Pg. 340  
 PLAN FILED AS PG. 99, PL.BK. 672.

**ZONING CLASSIFICATION:**

GENERAL RESIDENCE - GR  
 30,000 S.F. (Three Family)  
 (10,000 S.F. each additional unit)  
 15-Units: 150,000 S.F.  
 FRONTAGE: 100 FT.  
**SETBACKS:**  
 FRONT: 30'  
 SIDE: 10'  
 REAR: 30'

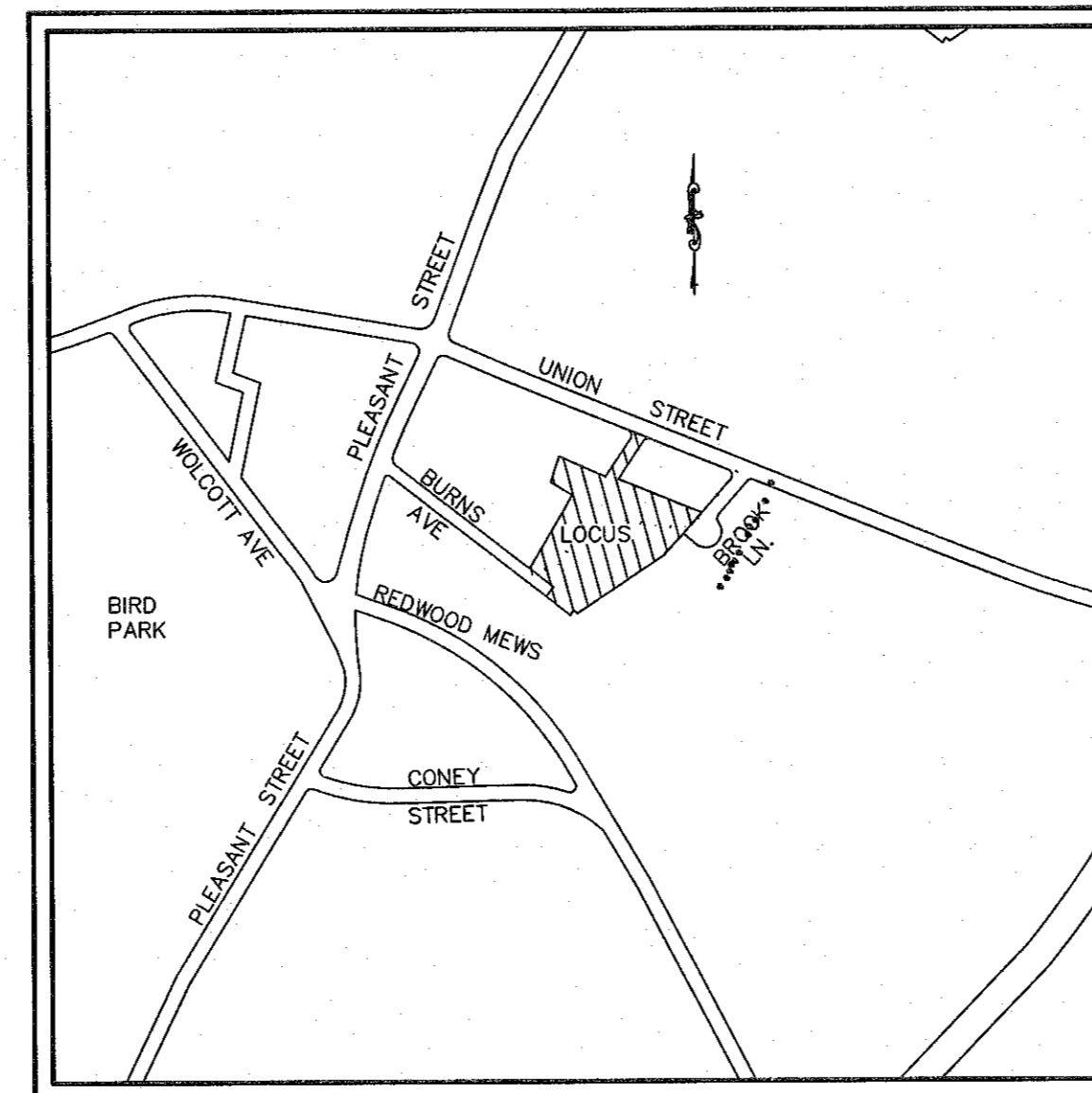
**OWNERS OF RECORD:**

1. MAP 20, PARCEL 119  
 DEED REF: BK. 34158, PG. 536  
 WALL STREET DEV. CORP.  
 P.O. BOX 272  
 WESTWOOD, MA 02090
2. MAP 20, PARCEL 136  
 DEED REF: BK. 36797, PG. 372  
 WALL STREET DEV. CORP.  
 P.O. BOX 272  
 WESTWOOD, MA 02090
3. MAP 20, PARCEL 137  
 DEED REF: BK. 37615, PG. 470  
 WALL STREET DEV. CORP/  
 P.O. BOX 272  
 WESTWOOD, MA 02090
4. MAP 20, PARCEL 115  
 DEED REF: BK. 25238, PG. 585  
 BRIAN MARTIN  
 7 BROOK LANE  
 WALPOLE, MA 02081

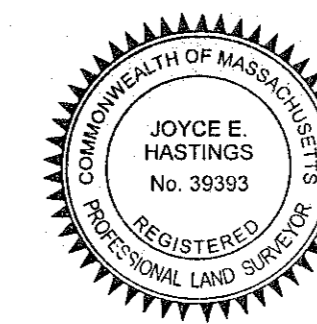
**NOTES:**

1. THESE PLANS ARE FILED FOR SPECIAL PERMIT APPROVAL UNDER SECTION 6-C.4.A OF WALPOLE ZONING BY-LAWS TO ALLOW MORE THAN ONE BUILDING ON THE LOT".

ZONING TABLE:		
	REQUIRED	PROPOSED
LOT AREA: (15 Units)	150,000 S.F.	157,373 S.F.
LOT FRONTAGE:	100 FT.	110.03 FT. (Brook Lane)
YARD SETBACKS:		
FRONT:	30 FT.	31.0 FT. (Brook Lane)
SIDE:	10 FT.	12.0 FT.
REAR:	30 FT.	30.0 FT.
LOT COVERAGE STRUCTURES:	30 %	15.5 %
	47,212 S.F.	24,344 S.F.
LOT COVERAGE IMPERVIOUS:	50 %	34.6 %
	78,686 S.F.	54,493
MAX BLDG HEIGHT:	35 FT.	35 FT.
MAX STORIES:	2.5	2.5
PAKING CODE (1)	2 SPACES/UNIT	4 SPACES/UNIT

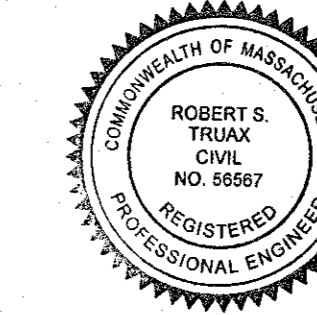


LOCUS MAP  
1"=600'



*Joyce E. Hastings*  
 JOYCE E. HASTINGS P.L.S.

4/12/24  
 DATE



*Robert S. Truax*  
 ROBERT S. TRUAX, P.E.

4/12/24  
 DATE

SHEET INDEX

- 1 COVER
- 2 EXISTING CONDITIONS
- 3 LAYOUT PLAN
- 4 GRADING, DRAINAGE & UTILITIES
- 5 PROFILES
- 6 EROSION CONTROL PLAN
- 7-12 DETAILS
- SUP-A RIVERFRONT EXISTING CONDITIONS
- SUP-B RIVERFRONT AREA DISTURBANCE
- SUP-C RESTORATION AND PLANTING

APPROVED BY  
 ZONING BOARD OF APPEALS

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
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DATE APPROVED: \_\_\_\_\_

DATE ENDORSED: \_\_\_\_\_

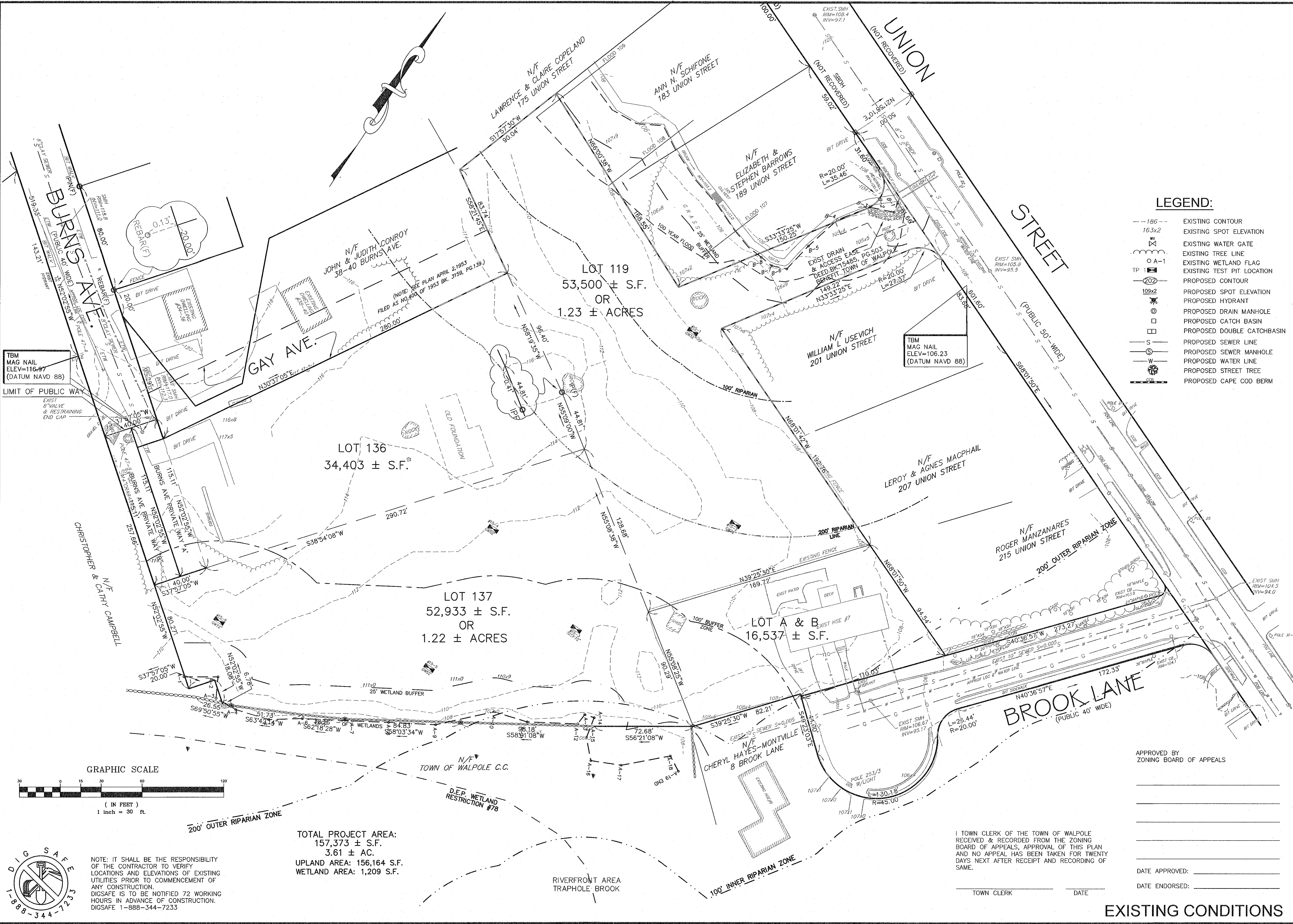
I TOWN CLERK OF THE TOWN OF WALPOLE RECEIVED & RECORDED FROM THE ZONING BOARD OF APPEALS, APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

\_\_\_\_\_  
 TOWN CLERK                      DATE

Prepared By:  
**GLM** ENGINEERING  
 CONSULTANTS, INC.  
 19 EXCHANGE STREET  
 HOLLISTON, MASSACHUSETTS 01746  
 (508)429-1100      fax:(508)429-7160

Applicant:  
 WALL STREET DEVELOPMENT CORP.  
 P.O. BOX 272  
 WESTWOOD, MASSACHUSETTS 02090

JOB No.	15588
SCALE:	AS NOTED
DATE:	JANUARY 24, 2024
SHEET No.	1 of 13



**DIGSAFE**  
1-888-344-7233

NOTE: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. DIGSAFE IS TO BE NOTIFIED 72 WORKING HOURS IN ADVANCE OF CONSTRUCTION. DIGSAFE 1-888-344-7233

REVISIONS	DESCRIPTION
No. 1	DATE 4/12/2024 ENGINEERING COMMENTS

JOYCE E. HASTINGS  
No. 39393  
REGISTERED PROFESSIONAL LAND SURVEYOR

ROBERT S. TRUAX  
No. 46567  
REGISTERED PROFESSIONAL LAND SURVEYOR

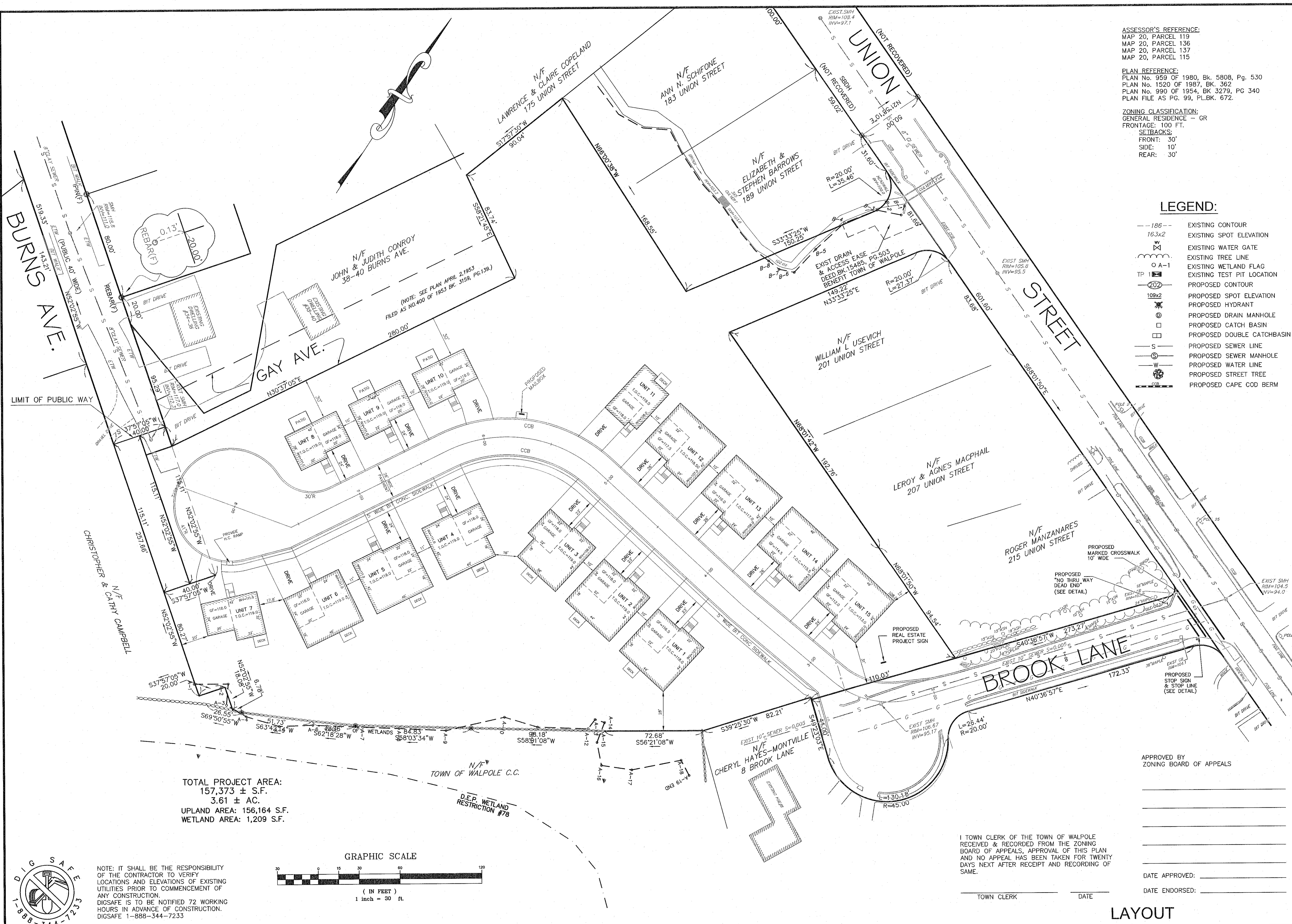
**SPECIAL PERMIT & SITE DEVELOPMENT PLAN**  
**"UNION SQUARE VILLAGE"**  
**WALPOLE, MASSACHUSETTS**

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19 EXCHANGE STREET  
HOLLISTON, MA 01746  
P: 508-429-1100  
F: 508-429-7160  
www.GLMengineering.com

JOB No. 15,588  
DATE: JAN. 24, 2024  
SCALE: 1" = 30'  
SHEET: 2 of 13  
PLAN #: 27,096





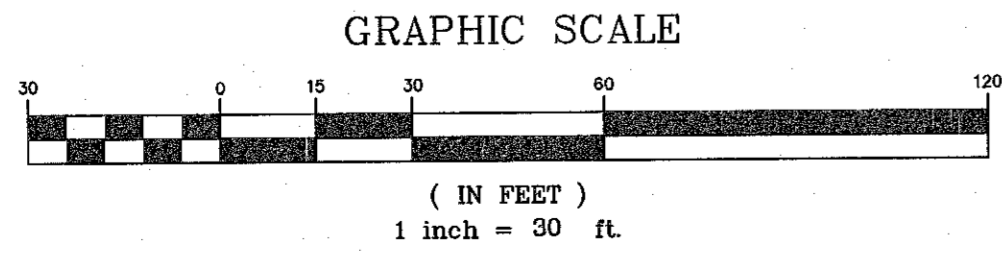
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 PLAN FILE AS PG. 99, PL.BK. 672.

**ZONING CLASSIFICATION:**  
 GENERAL RESIDENCE - GR  
 FRONTAGE: 100 FT.  
**SETBACKS:**  
 FRONT: 30'  
 SIDE: 10'  
 REAR: 30'

- LEGEND:**
- 186--- EXISTING CONTOUR
  - 16.3x2 EXISTING SPOT ELEVATION
  - ⊗ EXISTING WATER GATE
  - A-1 EXISTING TREE LINE
  - TP 1 EXISTING WETLAND FLAG
  - ⊙ EXISTING TEST PIT LOCATION
  - 202--- PROPOSED CONTOUR
  - 109x2 PROPOSED SPOT ELEVATION
  - ⊗ PROPOSED HYDRANT
  - ⊙ PROPOSED DRAIN MANHOLE
  - PROPOSED CATCH BASIN
  - PROPOSED DOUBLE CATCHBASIN
  - S— PROPOSED SEWER LINE
  - S— PROPOSED SEWER MANHOLE
  - W— PROPOSED WATER LINE
  - ⊙ PROPOSED STREET TREE
  - ⊙ PROPOSED CAPE COD BERM

TOTAL PROJECT AREA:  
 157,373 ± S.F.  
 3.61 ± AC.  
 UPLAND AREA: 156,164 S.F.  
 WETLAND AREA: 1,209 S.F.



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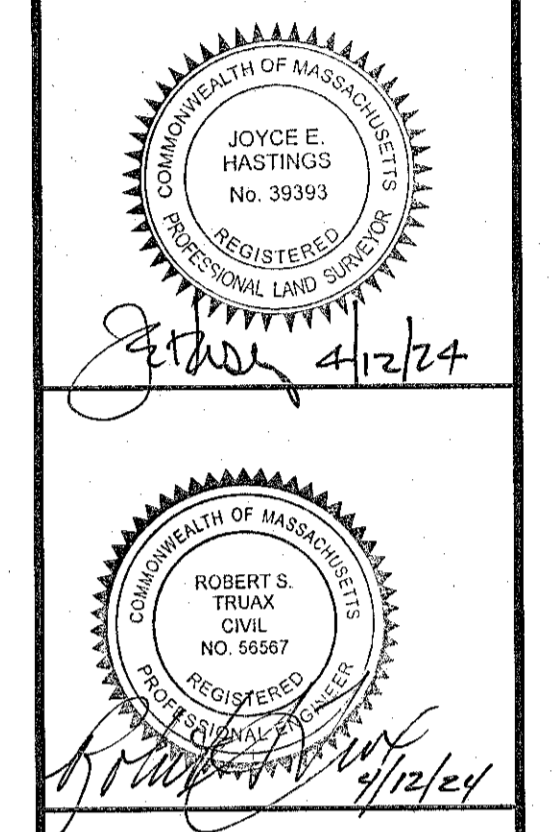
TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY ZONING BOARD OF APPEALS

\_\_\_\_\_  
 DATE APPROVED: \_\_\_\_\_  
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**LAYOUT**

NO.	DATE	DESCRIPTION
1	4/12/2024	ENGINEERING COMMENTS



**SPECIAL PERMIT & SITE DEVELOPMENT PLAN**  
**"UNION SQUARE VILLAGE"**  
**WALPOLE, MASSACHUSETTS**

APPLICANT:  
 WALL STREET DEVELOPMENT CORP.  
 P.O. BOX 2712  
 WESTWOOD, MA 02090

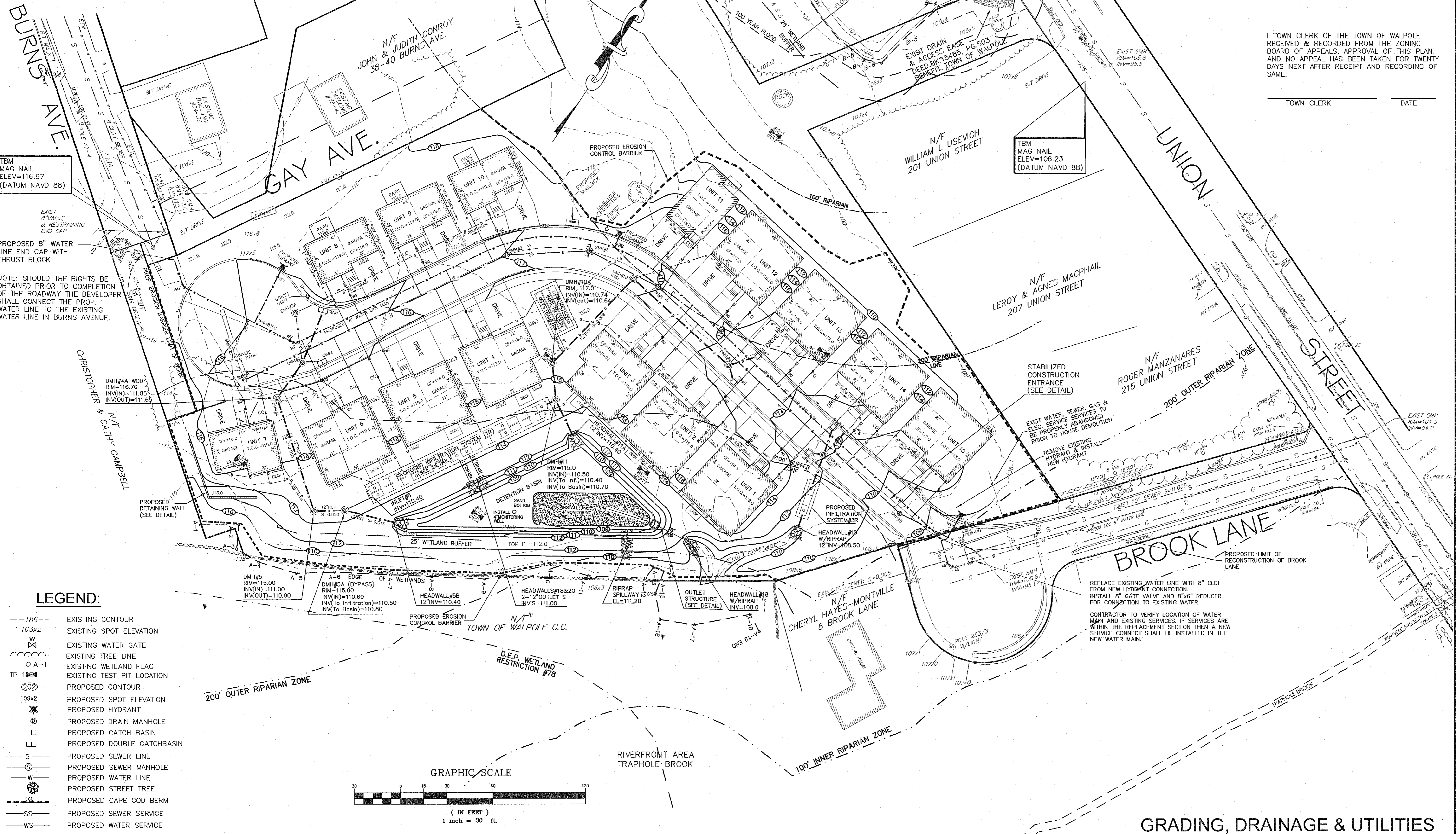
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DEEP OBSERVATION HOLE LOGS

DEEP HOLE -- 15-1			DEEP HOLE -- 15-2			DEEP HOLE -- 15-3			DEEP HOLE -- 15-4			DEEP HOLE -- 15-5			DEEP HOLE -- 15-6		
HORIZ DEPTH	DATE: 6/08/16	ELEV.	HORIZ DEPTH	DATE: 6/08/16	ELEV.	HORIZ DEPTH	DATE: 6/08/16	ELEV.	HORIZ DEPTH	DATE: 6/08/16	ELEV.	HORIZ DEPTH	DATE: 6/08/16	ELEV.	HORIZ DEPTH	DATE: 6/08/16	ELEV.
0"	A SANDY LOAM 10R3/2	108.0	0"	FILL	111.0	0"	FILL	110.3	0"	FILL	112.0	0"	FILL	110.8	0"	FILL	112.7
4"																	
34"	Bw SANDY LOAM 10R5/6	105.1	72"		105.0	84"		103.3	52"		107.5	52"		106.5	72"		106.7
74"	C SANDY LOAM 2.5Y5/4	101.8		C SANDY LOAM 2.5Y5/4	101.1	108"		101.3	78"		105.5	78"		104.3	96"		104.3
34"	GROUNDWATER OBSERVED	105.1	96"	GROUNDWATER OBSERVED	103.0	72"	GROUNDWATER OBSERVED	104.3	52"	GROUNDWATER OBSERVED	107.5	52"	GROUNDWATER OBSERVED	106.5	52"	GROUNDWATER OBSERVED	106.7
	SOIL MOTTLING			SOIL MOTTLING			SOIL MOTTLING			SOIL MOTTLING			SOIL MOTTLING			SOIL MOTTLING	
34"	ESTIMATED SEASONAL HIGH GROUNDWATER	105.1	72"	ESTIMATED SEASONAL HIGH GROUNDWATER	105.0												



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ZONING BOARD OF APPEALS

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REVISIONS

No.	DATE	DESCRIPTION
1	4/12/2024	ENGINEERING COMMENTS

JOYCE E. HASTINGS  
REGISTERED PROFESSIONAL LAND SURVEYOR  
4/12/24

ROBERT S. TRUAX  
REGISTERED PROFESSIONAL ENGINEER

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DATE: JAN. 24, 2024  
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SHEET: 4 of 12  
PLAN #: 27,096

**GRADING, DRAINAGE & UTILITIES**

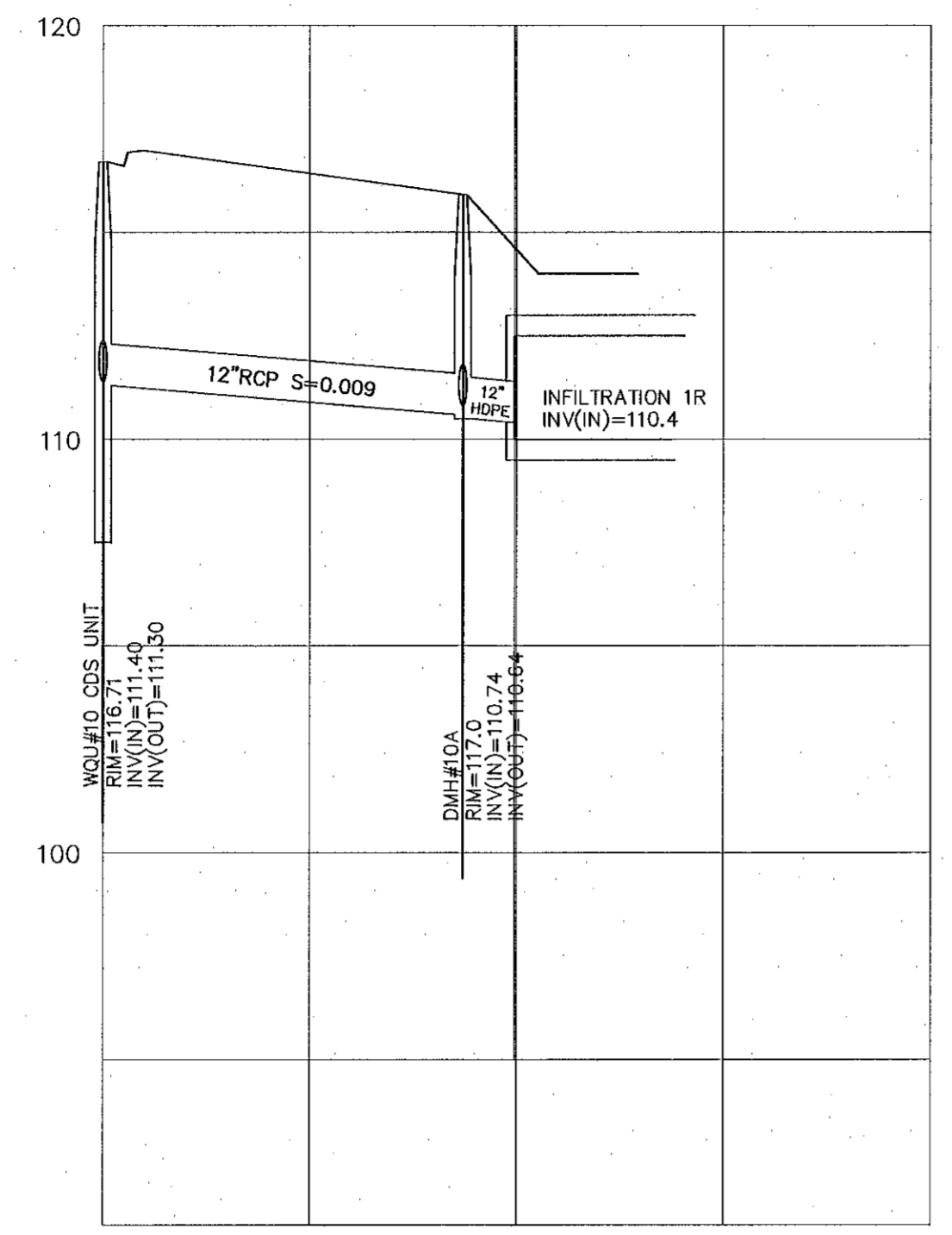


Drainage System Table:

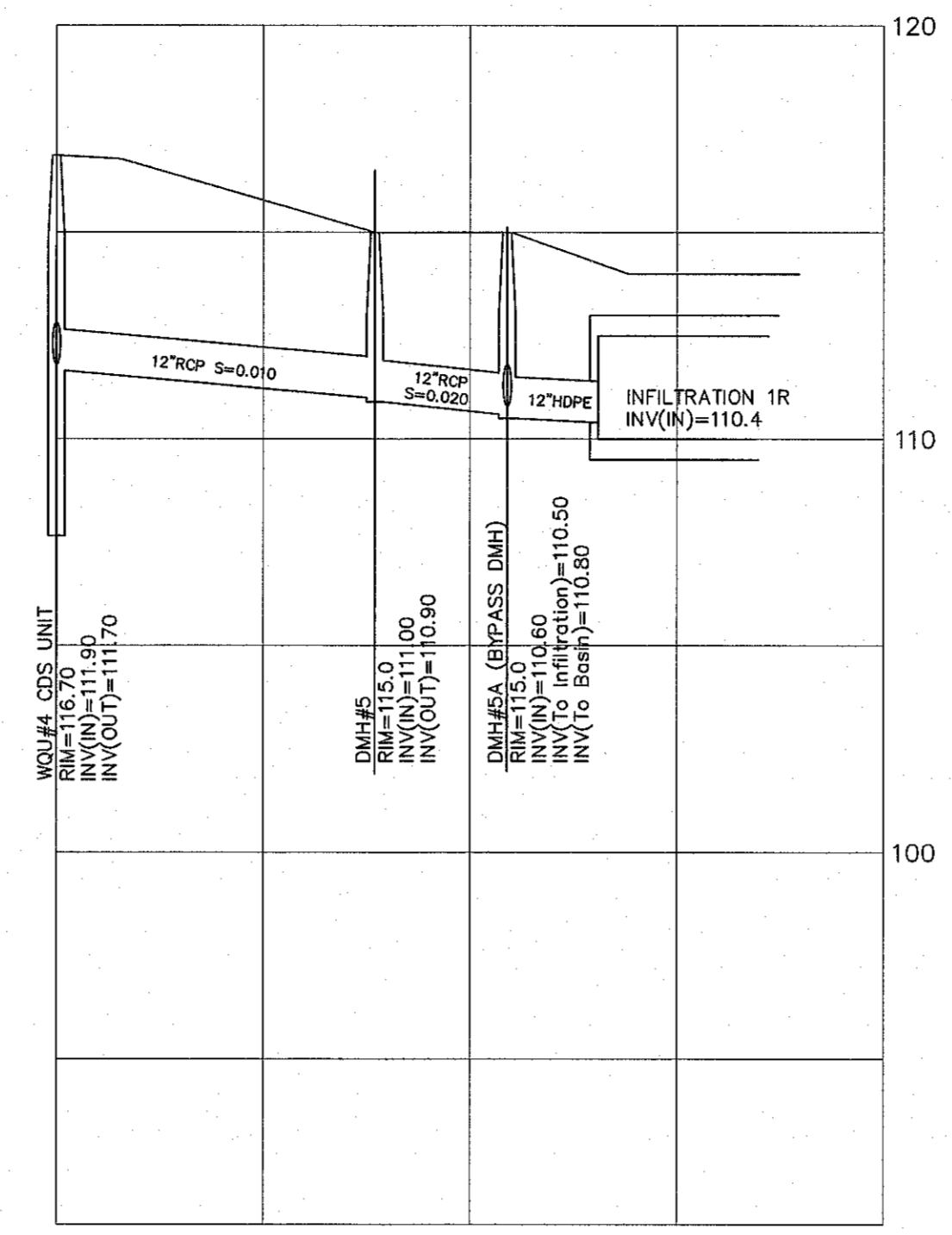
Structure	Rim	Invert (In)	Invert (Out)
CB#1	115.40		112.40
CB#2	115.40		112.40
DMH#3	115.65	112.25	112.15
WQU#4	116.70	111.90	111.70
DMH#5	115.00	111.00	110.90
DMH#5A	115.00	110.60	110.50
CB#7	115.10		112.20
CB#8	115.10		112.20
DMH#9	115.49	112.10	112.00
WQU#10	116.71	111.40	111.30
DMH#10A	117.00	110.74	110.64
DMH#11	115.90	110.50	110.40
CB#12	112.37		109.20
CB#13	112.37		109.20
WQU#14	112.06	109.00	108.80
HW##15			108.50

Sewer System Table:

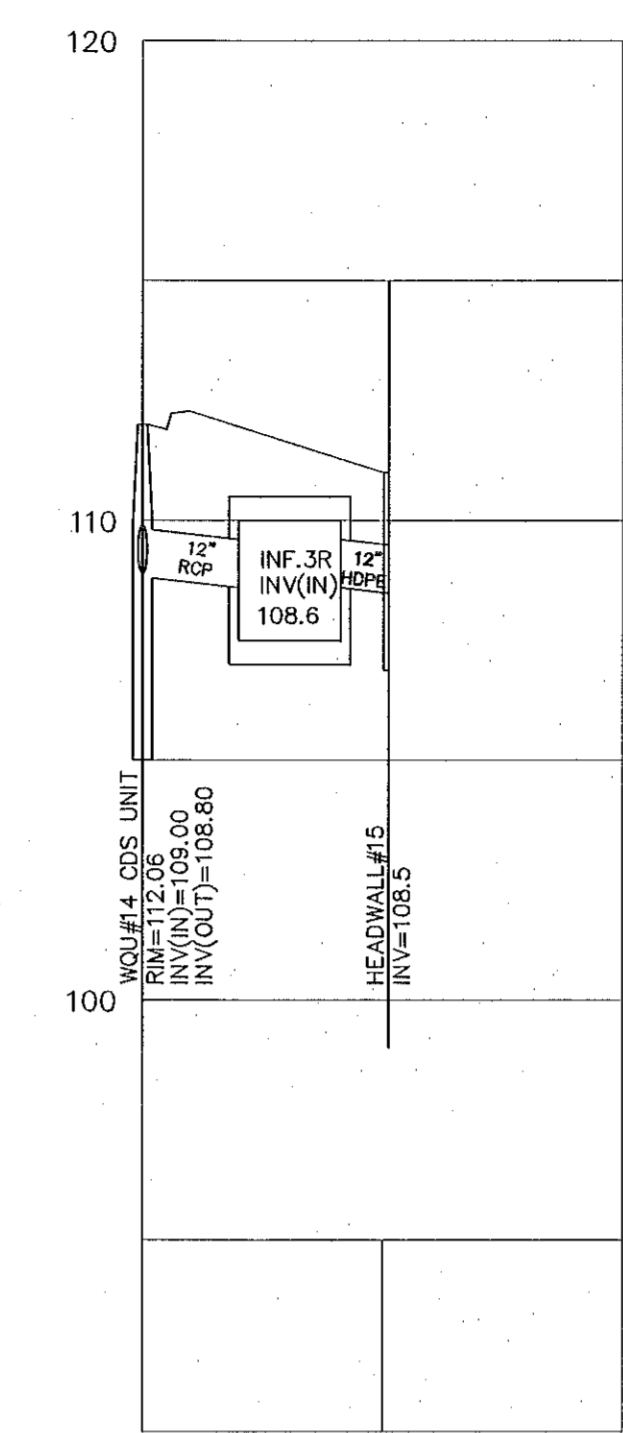
Structure	Rim	Invert (In)	Invert (Out)
SMH#1	116.00		109.50
SMH#2	117.05	107.75	107.65
SMH#3	117.47	107.15	107.05
SMH#4	117.03	106.55	106.45
SMH#5	108.96	98.60	98.40
EXIST#6	106.67	95.65	95.17



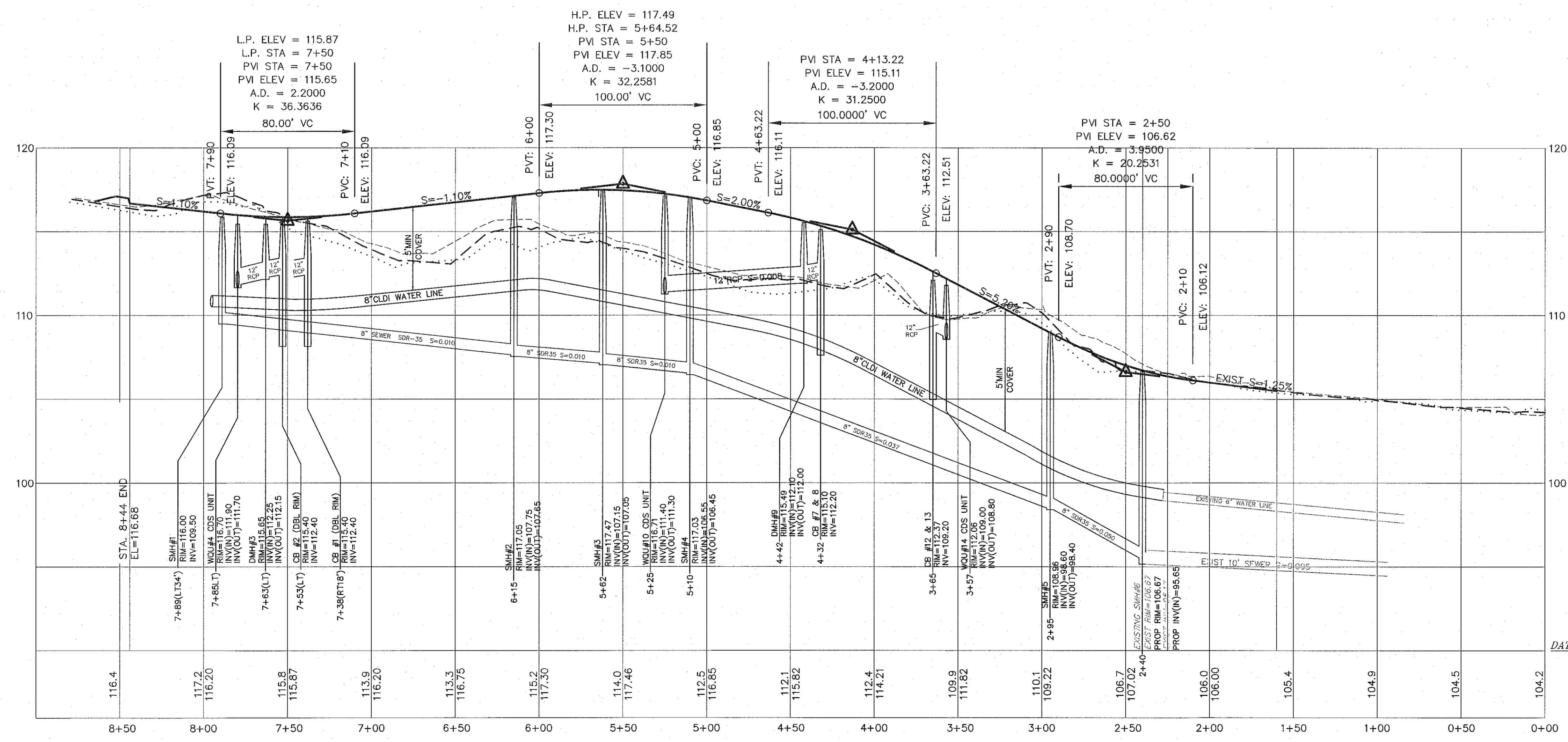
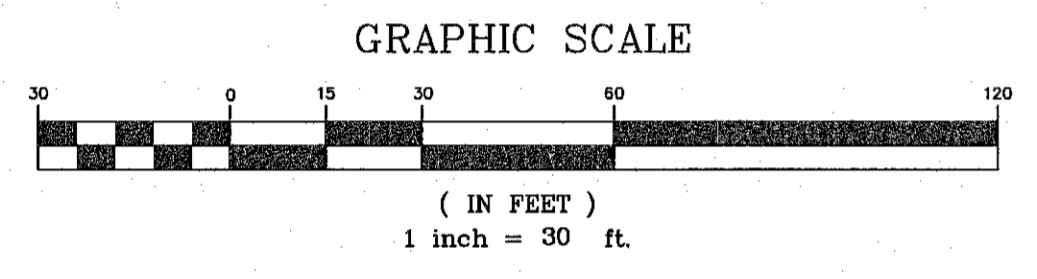
PROFILE DRAIN LINE  
DMH#10 TO HEADWALL#11A  
SCALE: Horiz: 1"=40'; Vert: 1"=4'



PROFILE DRAIN LINE  
DMH#4 TO HEADWALL#5  
SCALE: Horiz: 1"=40'; Vert: 1"=4'



PROFILE DRAIN LINE  
DMH#14 TO HEADWALL#15  
SCALE: Horiz: 1"=40'; Vert: 1"=4'



PROFILE DRIVE 'A'  
SCALE: Horiz: 1"=40'; Vert: 1"=4'

APPROVED BY  
ZONING BOARD OF APPEALS

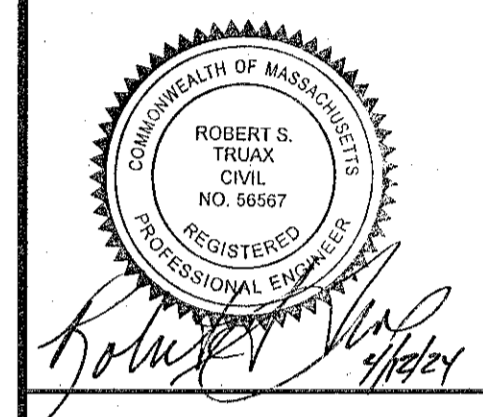
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AND NO APPEAL HAS BEEN TAKEN FOR TWENTY  
DAYS NEXT AFTER RECEIPT AND RECORDING OF  
SAME.

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

PROFILE PLAN

REVISIONS	DESCRIPTION
No. 1	DATE 4/12/2024 ENGINEERING COMMENTS



SPECIAL PERMIT & SITE DEVELOPMENT PLAN  
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JOB No.	15,588
DATE:	JAN. 24, 2024
SCALE:	1"= 30'
SHEET:	5 of 12
PLAN #:	27,096



**EROSION CONTROL NOTES**

THE FOLLOWING EROSION CONTROL SPECIFICATIONS ARE IN EFFECT WHEN SITE ALTERATION WORK IS CONTEMPLATED TO PREVENT DOWN GRADIENT OR ADJACENT AREAS FROM BEING ADVERSELY IMPACTED.

1. PRIOR TO ANY DISTURBANCE OR ALTERATIONS ON ANY AREA ON THE SITE, THE FILTER MITT SEDIMENT BARRIER SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE SITE PLAN.
2. BARRIERS SHALL BE CONSTRUCTED AS SHOWN ON THE FILTER MITT WITH CONSTRUCTION FENCE DETAIL ABOVE.
3. ONCE INSTALLED, THE FILTER MITT SEDIMENT BARRIERS SHALL BE MAINTAINED IN PLACE UNTIL ALL AREAS UPGRADIENT FROM THE BARRIERS HAVE BEEN STABILIZED AS SPECIFIED HEREIN. UPON COMPLETION AND STABILIZATION OF THE PROJECT, THE FILTER MITT AND CONSTRUCTION FENCE SHALL BE REMOVED.
4. THE ORANGE CONSTRUCTION IS INTENDED TO ACT AS A LIMIT OF DISTURBANCE. ANY LAND DOWN GRADIENT FROM THE FENCE ACCIDENTALLY DISTURBED SHALL BE IMMEDIATELY REPAIRED AND RESTORED TO ORIGINAL CONDITION.
5. ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED OR WHERE SPECIAL STABILIZATION MEASURES OR LANDSCAPE PLANTINGS ARE NOT PROPOSED SHALL BE LOAMED AND SEEDED. NO LESS THAN FOUR INCHES OF LOAM TOPSOIL SHALL BE SPREAD AND THE AREA SEEDED WITH CONSERVATION MIX.
6. ALL AREAS OUTSIDE THE LIMIT OF WORK ARE TO BE LEFT UNDISTURBED. DURING SITE WORK ALL PERSONS AND EQUIPMENT SHALL STAY OUTSIDE THESE AREAS TO PRESERVE THE EXISTING VEGETATION.
7. ALL SLOPES CAUSED BY EXCAVATION OF EXISTING GROUND, OR FILL OVER EXISTING GROUND TO CREATE BERMS OF EARTH MATERIALS OR RESULTING FROM RECONTOURING LAND FOR PROPOSED HOUSE LOCATIONS SHALL BE NO GREATER THAN 3:1 HORIZONTAL TO VERTICAL. THE TOE OF SLOPES IN FILL AREAS OR TOP OF SLOPE IN EXCAVATED AREAS SHALL BE NO CLOSER THAN 5 FEET FROM ADJACENT LOT LINES.
8. THE FIRST ONE-HUNDRED (100) FEET OF THE PROPOSED DRIVEWAY ENTRANCE AT BROOK LANE SHALL BE COVERED WITH TWELVE (12) INCHES OF 1 - 3 INCH CRUSHED STONE TO STABILIZE THE AREA (SEE DETAIL).

A MORE DETAILED SEDIMENT AND EROSION CONTROL PLAN WILL BE DEVELOPED AS PART OF THE NPDES STORMWATER POLLUTION PREVENTION PLAN.

**EROSION CONTROL MAINTENANCE:**

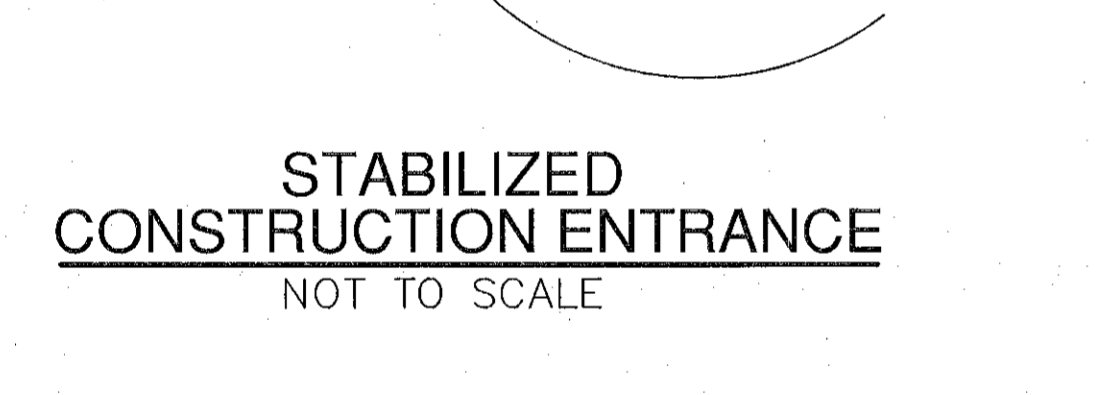
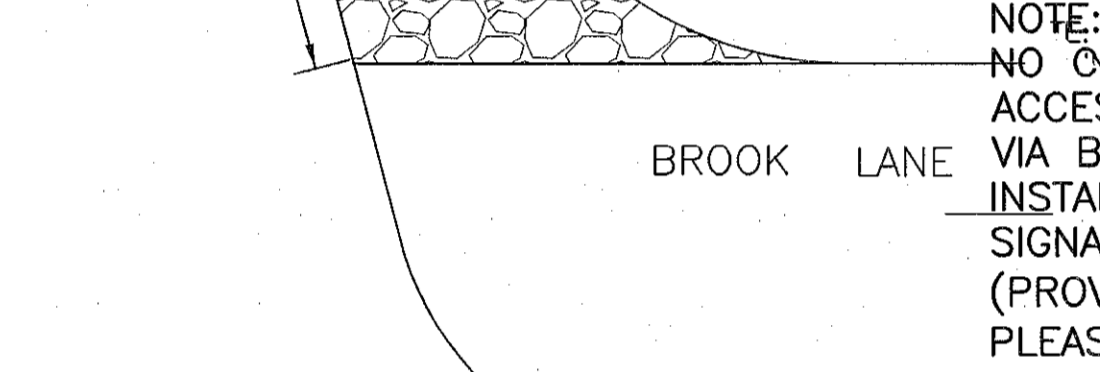
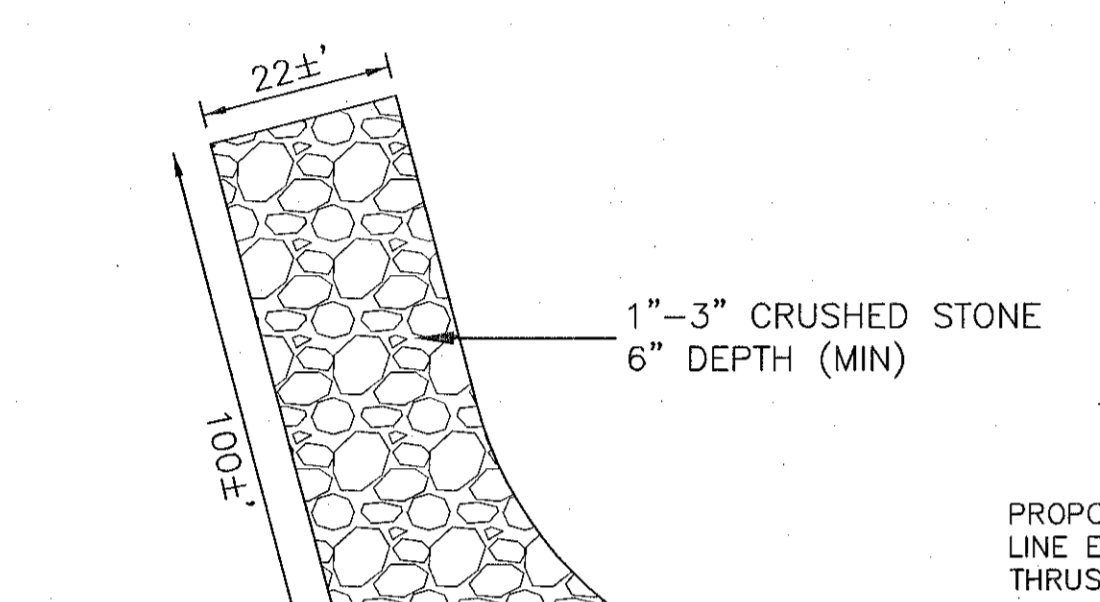
THE CONTRACTOR SHALL HAVE ON THE SITE, AN ADEQUATE QUANTITY OF SUPPLEMENTAL HAYBALES, SILT FENCE AND STAKES TO BE USED FOR CONTROL OF EMERGENCY EROSION PROBLEMS. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER A STORM EVENT OF 1" INCH OR GREATER.

**DEWATERING:**

PUMPING AND DEWATERING SHALL BE DONE IN A MANNER WHICH WILL NOT DISCHARGE ANY SILT AND SEDIMENT INTO A RESOURCE AREA. DISCHARGES FROM A DEWATERING CONSTRUCTION PROCEDURE WILL BE FILTERED THROUGH A SILTATION BASIN CONSTRUCTED UPLAND FROM THE WORK SITE. THE SILTATION BASIN SHALL BE A DEPRESSION SURROUNDED BY A HAYBALE DIKE OR SILT FENCE. OVERFLOW FROM THE BASIN SHALL BE PLANNED TO BE LOCATED OVER THICKLY AND NATURALLY MULCHED UPLAND AREA. ALL BASINS SHALL BE LOCATED AT LEAST 100 FEET UPSLOPE FROM ANY WETLAND RESOURCE AREA.

**STOCKPILING:**

STOCKPILE MATERIAL SHALL STORED IN THE AREAS DESIGNATED. ALL STOCKPILES AREAS SHALL BE SECURED AROUND THE PERIMETER WITH HAYBALE DIKE OR SILT FENCE.



NOTE: SHOULD THE RIGHTS BE NO CONSTRUCTION COMPLETION ACCESS OR WIDE DEVELOPER ACCESS VIA BURNS AVENUE. INSTALL TEMPORARY SIGNAGE (PROVIDE SIGN AT PLEASANT ST. INT.)

STABILIZED CONSTRUCTION ENTRANCE NOT TO SCALE

FILTER MITT WITH ORANGE CONSTRUCTION FENCE DETAIL NOT TO SCALE

SILT SACK CATCH BASIN INLET NOT TO SCALE

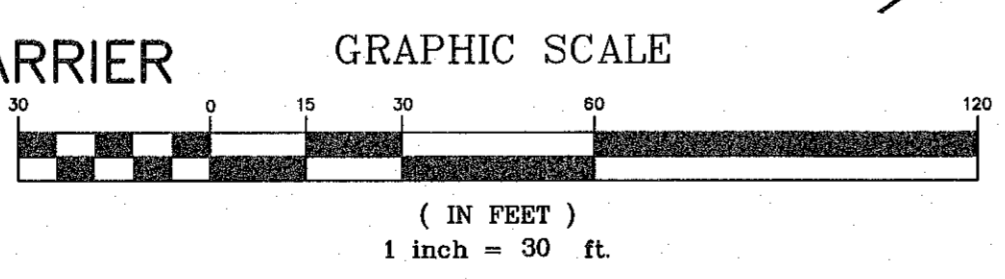
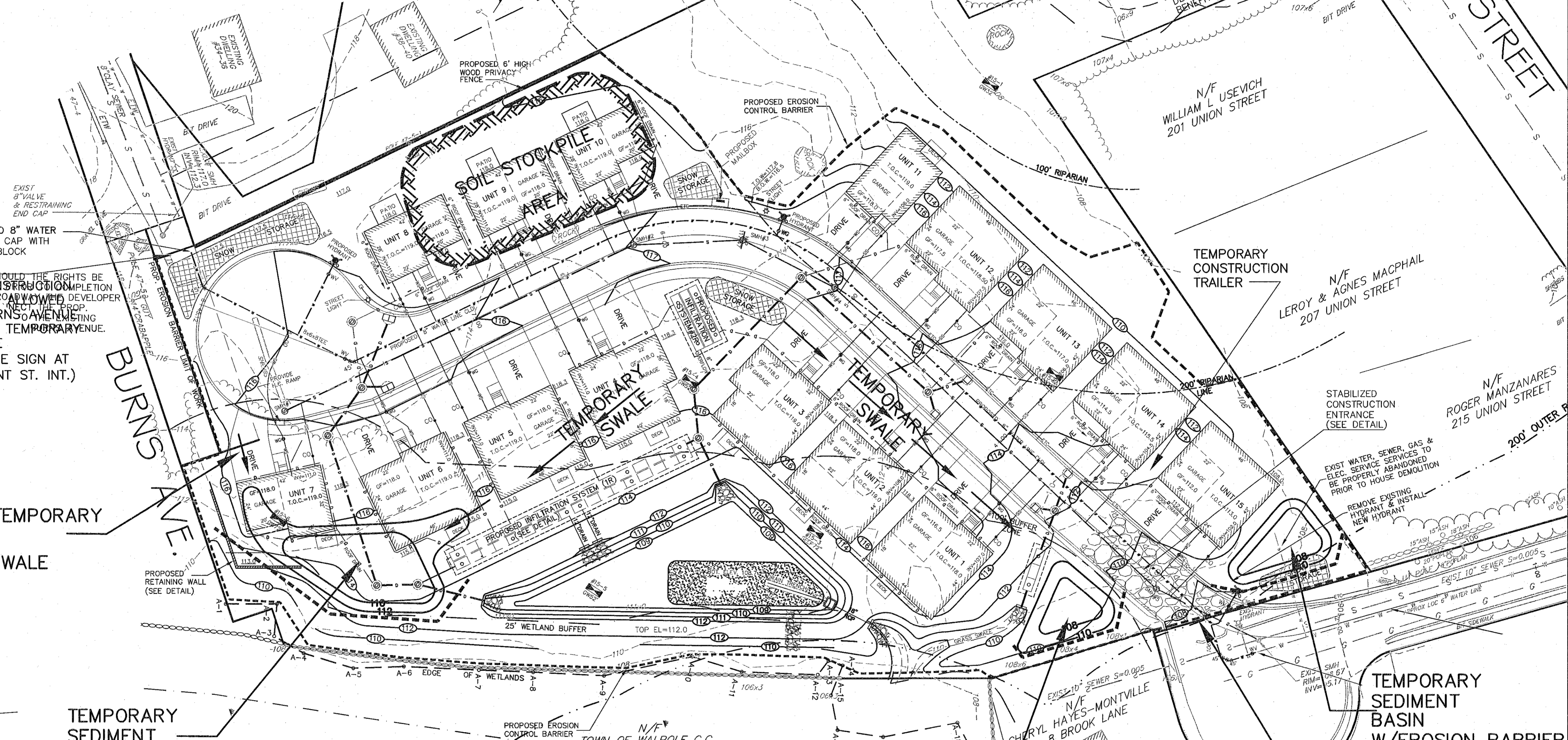
TEMPORARY SWALE

TEMPORARY SEDIMENT BASIN W/EROSION BARRIER

TEMPORARY SWALE

TEMPORARY SEDIMENT BASIN W/EROSION BARRIER

EROSION BARRIER ACROSS ENTRANCE END OF WORK DAY



I TOWN CLERK OF THE TOWN OF WALPOLE RECEIVED & RECORDED FROM THE ZONING BOARD OF APPEALS, APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

TOWN CLERK DATE

APPROVED BY ZONING BOARD OF APPEALS

DATE APPROVED: DATE ENDORSED:

**EROSION CONTROL**

REVISIONS	DATE	DESCRIPTION
No. 1	4/12/2024	ENGINEERING COMMENTS

Professional Engineer Seal for Robert S. Truax, No. 55557, State of Massachusetts.

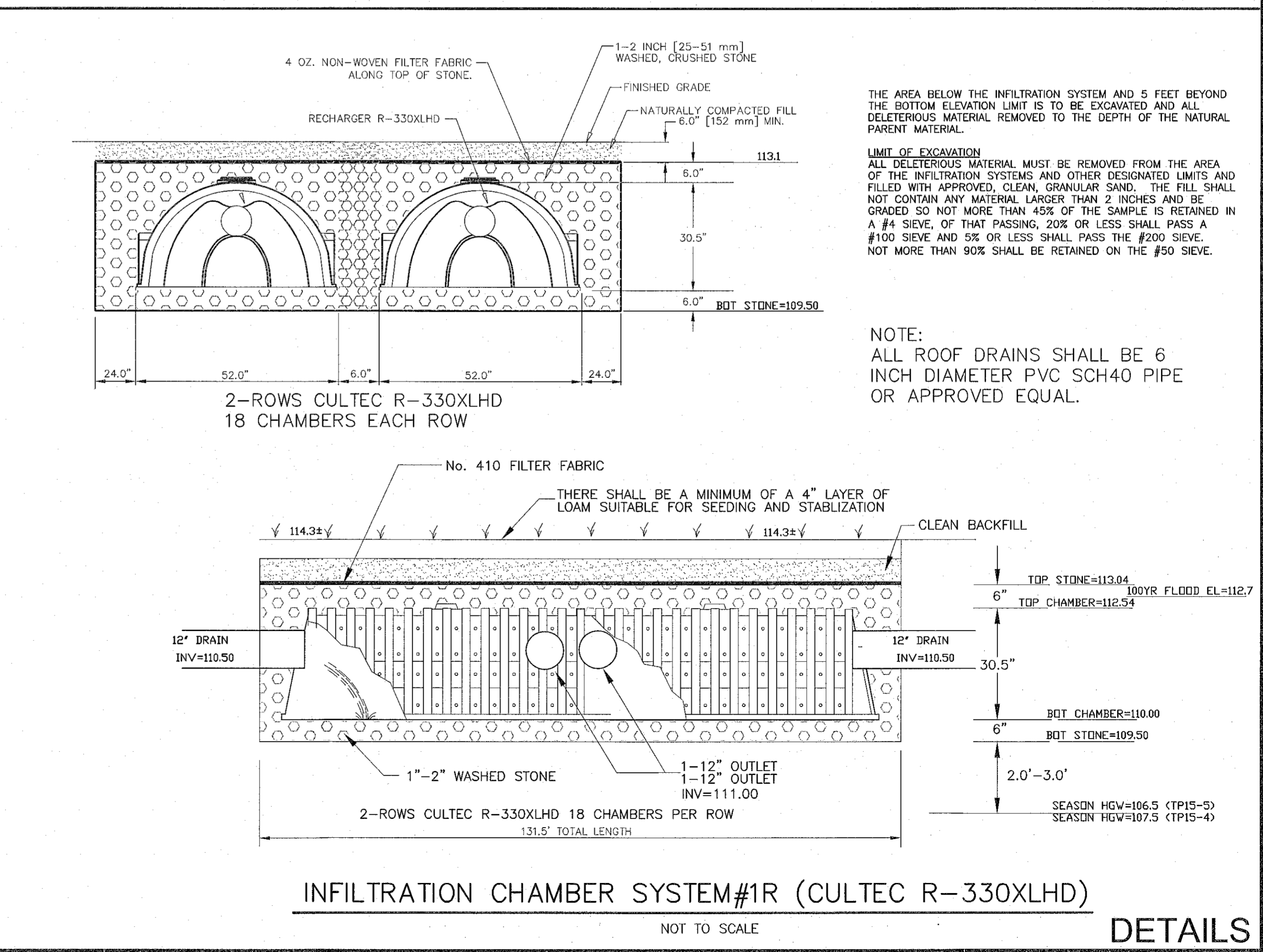
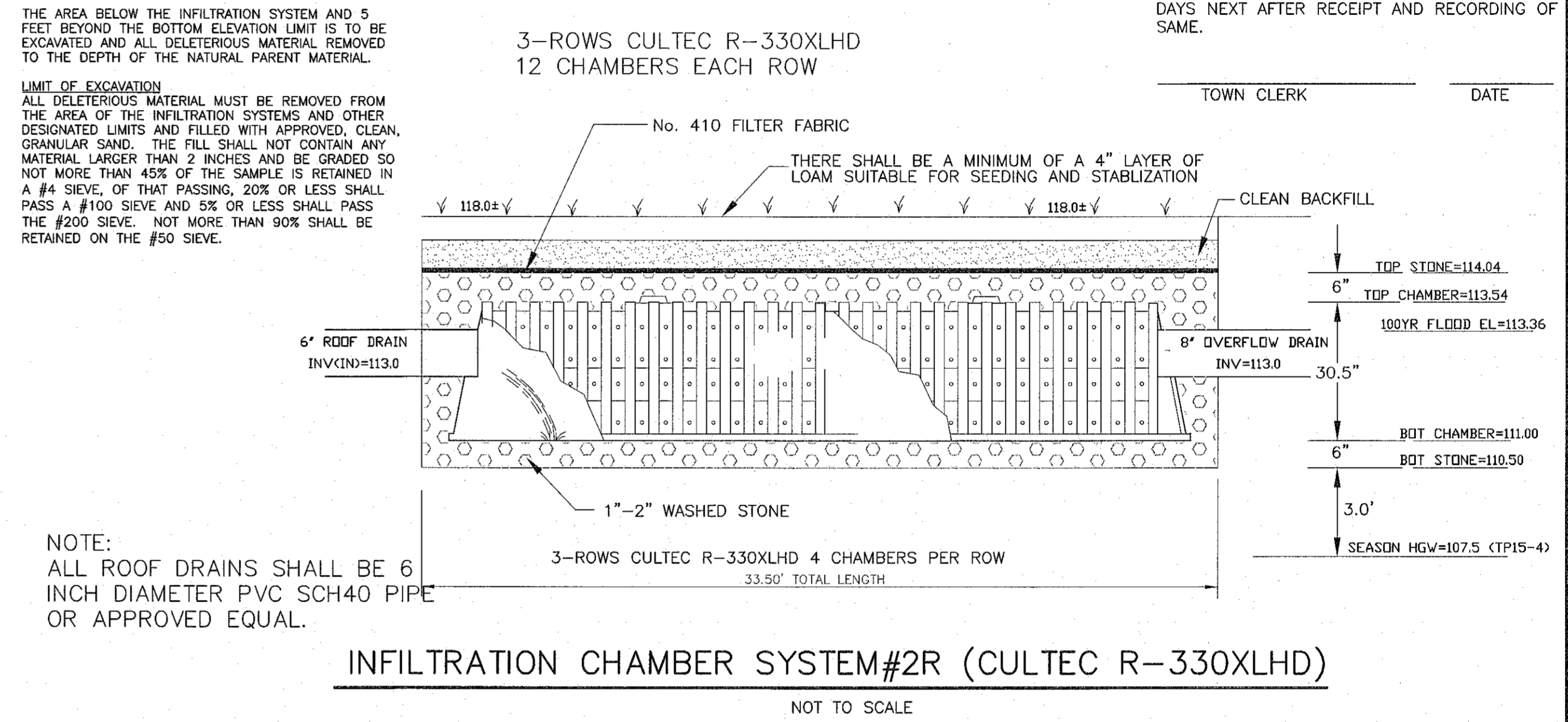
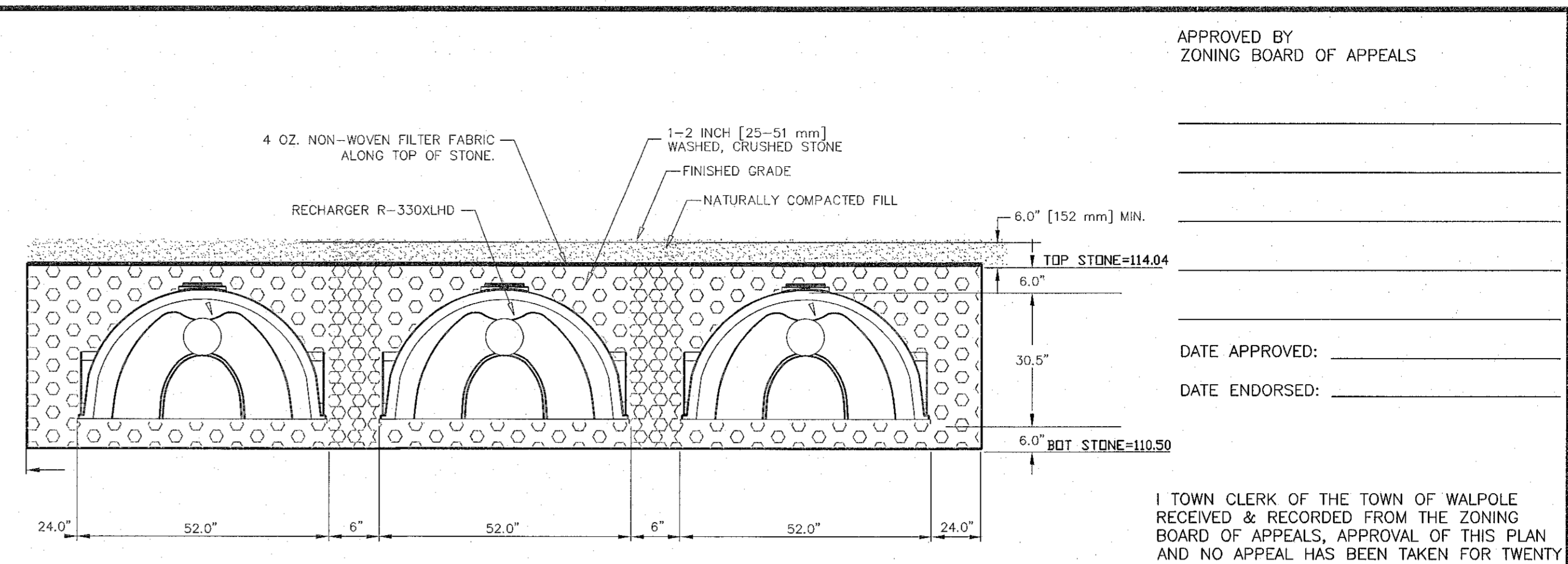
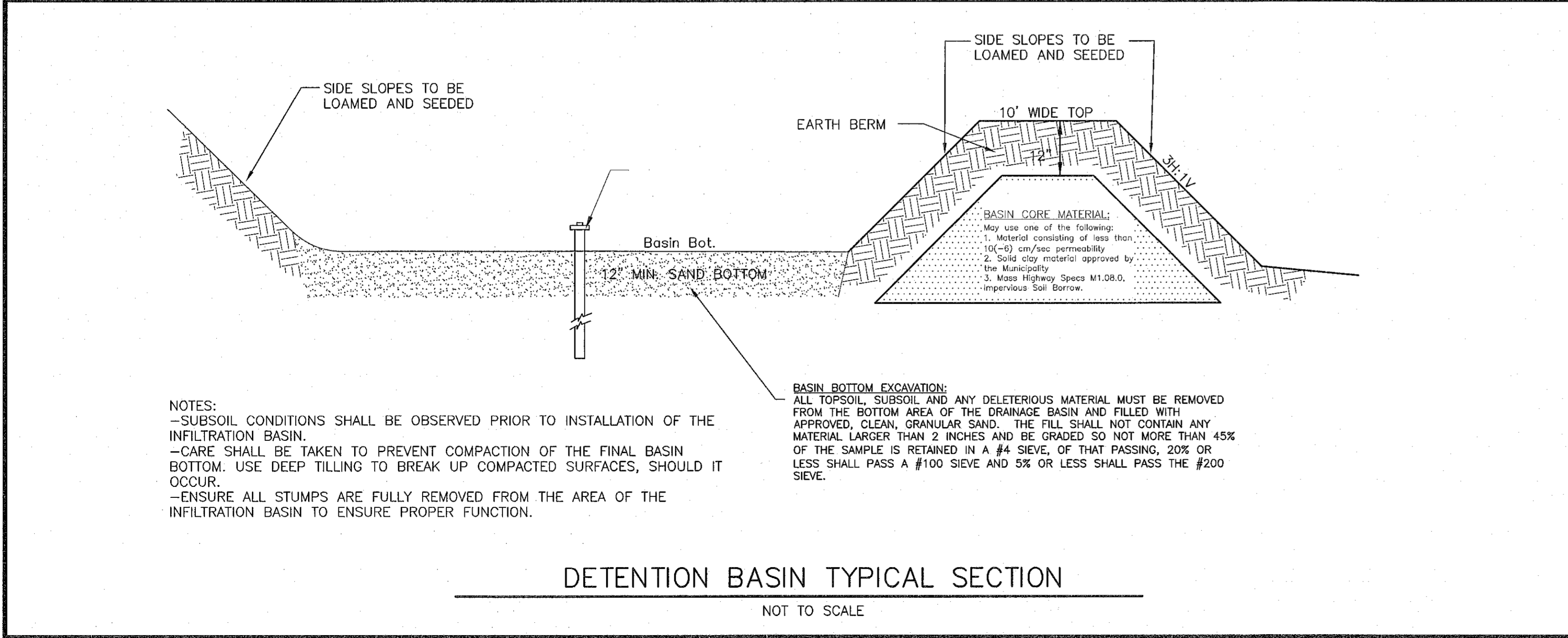
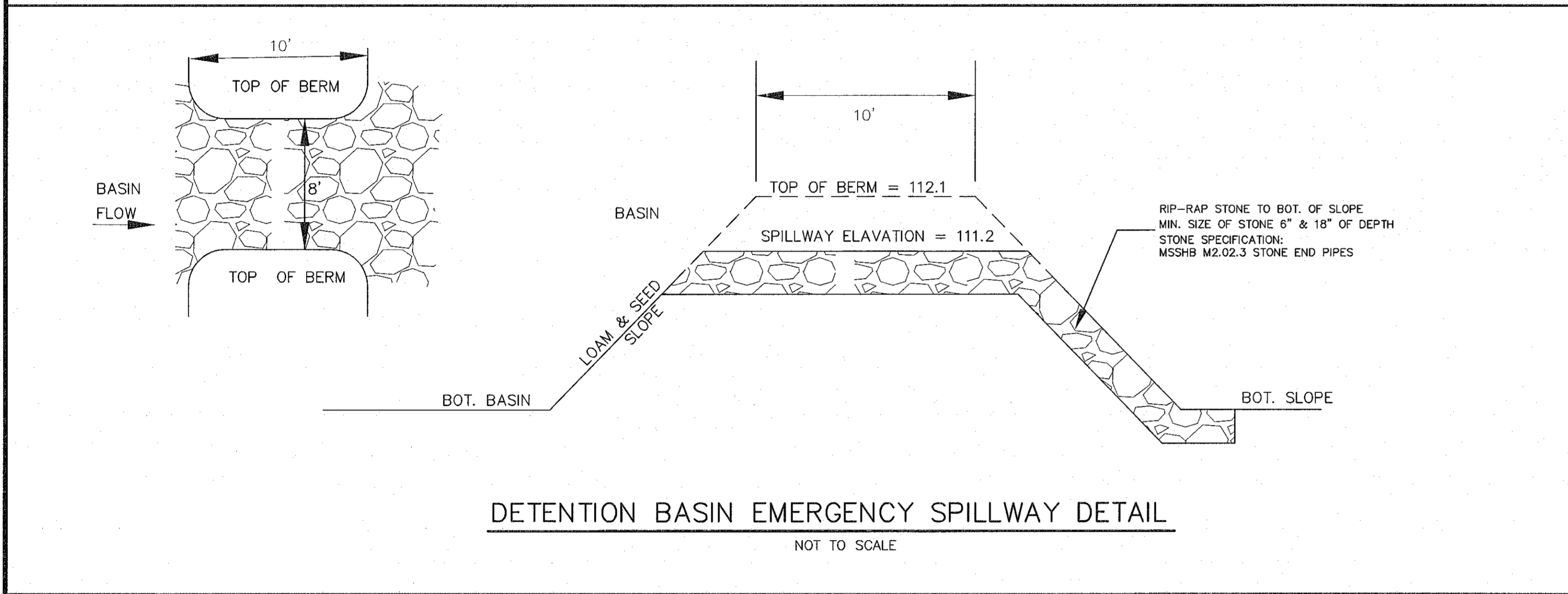
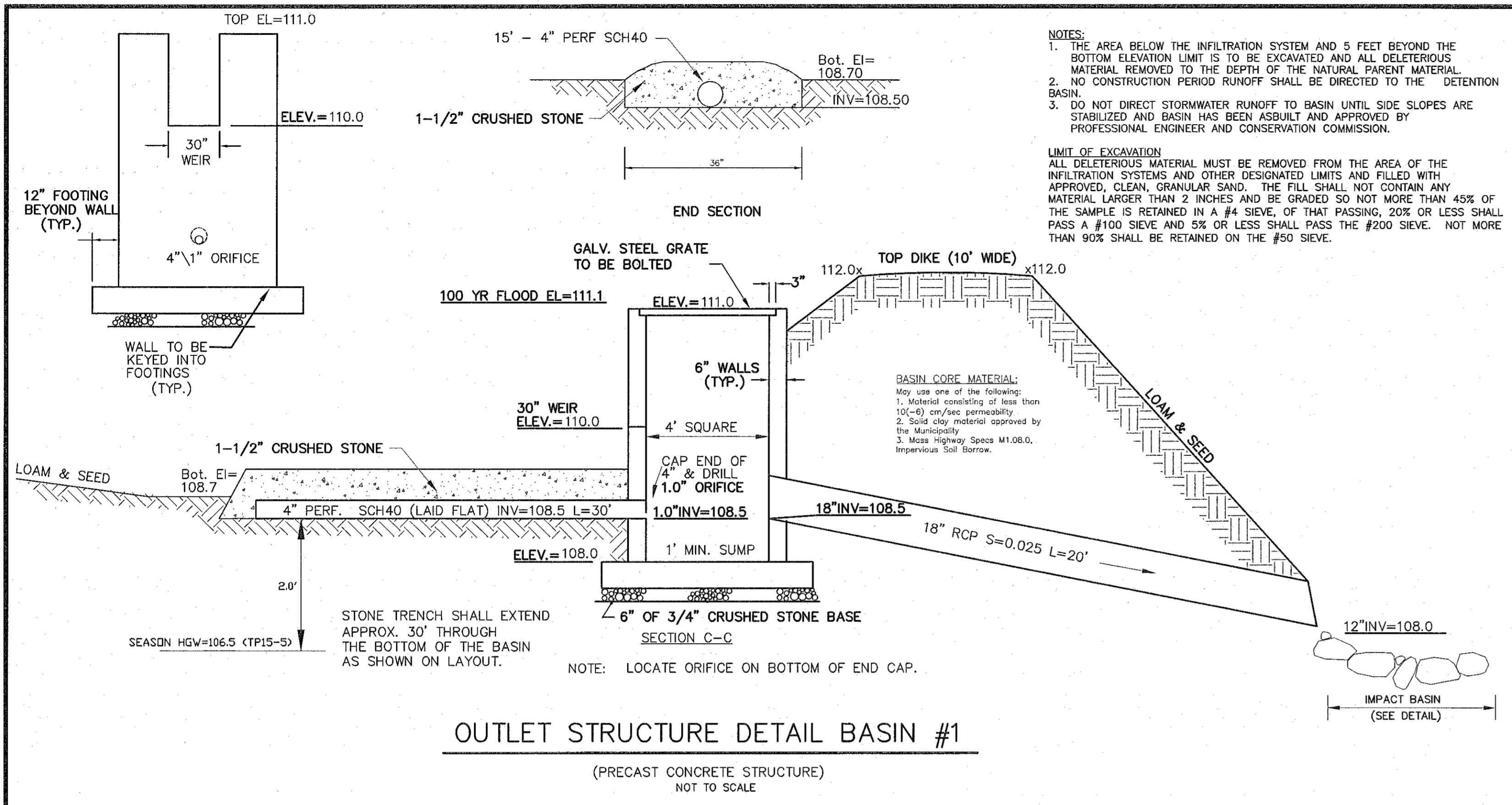
**SPECIAL PERMIT & SITE DEVELOPMENT PLAN**  
**"UNION SQUARE VILLAGE"**  
**WALPOLE, MASSACHUSETTS**

APPLICANT:  
 WALL STREET DEVELOPMENT CORP.  
 P.O. BOX 272  
 WESTWOOD, MA 02090

GLM Engineering Consultants, Inc.  
 19 EXCHANGE STREET  
 HOLLISTON, MA 01746  
 P: 508-429-1100  
 F: 508-429-7160  
 www.GLMengineering.com

JOB No.	15,588
DATE:	JAN. 24, 2024
SCALE:	1" = 30'
SHEET:	6 of 12
PLAN #:	27,096





**NOTES:**  
1. THE AREA BELOW THE INFILTRATION SYSTEM AND 5 FEET BEYOND THE BOTTOM ELEVATION LIMIT IS TO BE EXCAVATED AND ALL DELETERIOUS MATERIAL REMOVED TO THE DEPTH OF THE NATURAL PARENT MATERIAL.  
2. NO CONSTRUCTION PERIOD RUNOFF SHALL BE DIRECTED TO THE DETENTION BASIN.  
3. DO NOT DIRECT STORMWATER RUNOFF TO BASIN UNTIL SIDE SLOPES ARE STABILIZED AND BASIN HAS BEEN ASBUILT AND APPROVED BY PROFESSIONAL ENGINEER AND CONSERVATION COMMISSION.

**LIMIT OF EXCAVATION**  
ALL DELETERIOUS MATERIAL MUST BE REMOVED FROM THE AREA OF THE INFILTRATION SYSTEMS AND OTHER DESIGNATED LIMITS AND FILLED WITH APPROVED, CLEAN, GRANULAR SAND. THE FILL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN 2 INCHES AND BE GRADED SO NOT MORE THAN 45% OF THE SAMPLE IS RETAINED IN A #4 SIEVE, OF THAT PASSING, 20% OR LESS SHALL PASS A #100 SIEVE AND 5% OR LESS SHALL PASS THE #200 SIEVE. NOT MORE THAN 90% SHALL BE RETAINED ON THE #50 SIEVE.

**BASIN CORE MATERIAL:**  
May use one of the following:  
1. Material consisting of less than 10% (4) on/fin permeability.  
2. Solid clay material approved by the Municipality.  
3. Mass Highway Specs M1.08.0, Impervious Soil Borrow.

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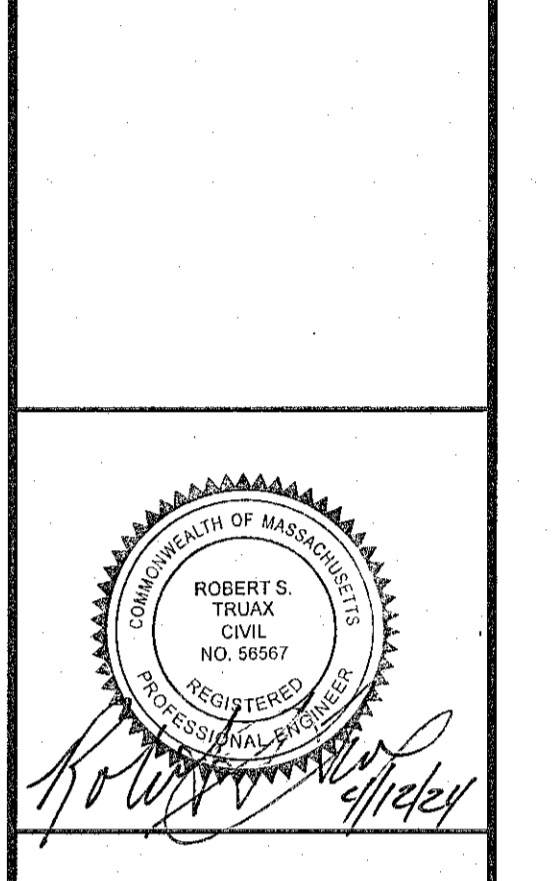
APPROVED BY  
ZONING BOARD OF APPEALS

DATE APPROVED: \_\_\_\_\_  
DATE ENDORSED: \_\_\_\_\_

TOWN CLERK OF THE TOWN OF WALPOLE RECEIVED & RECORDED FROM THE ZONING BOARD OF APPEALS, APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

REVISIONS	DATE	DESCRIPTION
No. 1	4/12/2024	ENGINEERING COMMENTS



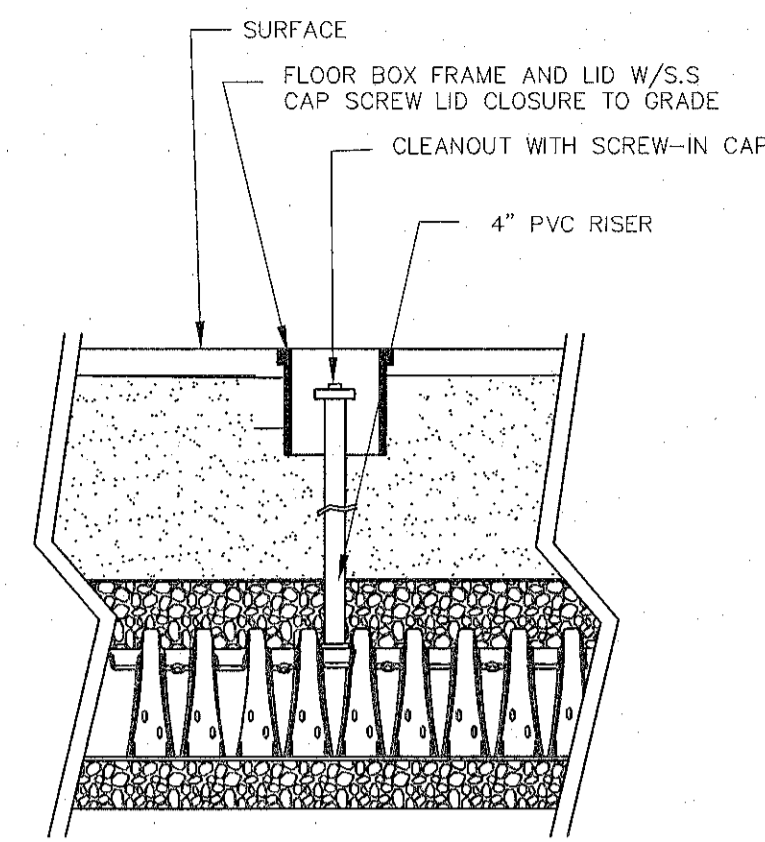
**SPECIAL PERMIT & SITE DEVELOPMENT PLAN**  
"UNION SQUARE VILLAGE"  
WALPOLE, MASSACHUSETTS

APPLICANT:  
WALL STREET DEVELOPMENT CORP.  
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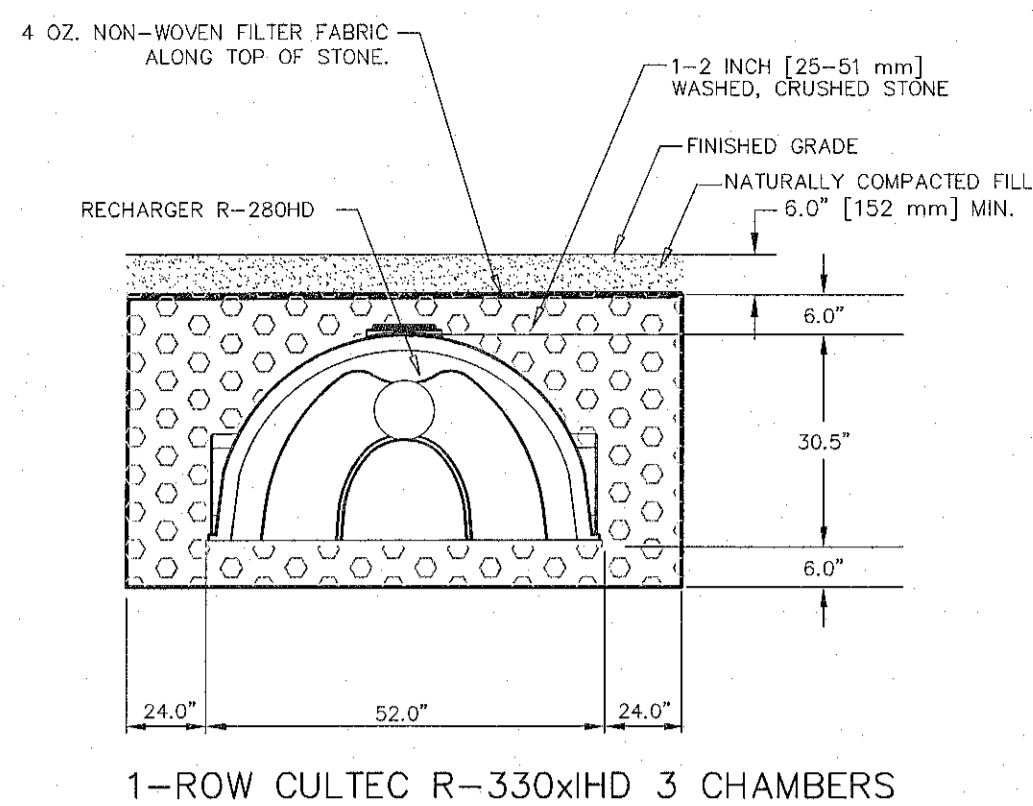
GLM Engineering Consultants, Inc.  
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JOB No. 15,588  
DATE: JAN. 24, 2024  
SCALE: 1" = 30'  
SHEET: 7 of 12  
PLAN #: 27,096

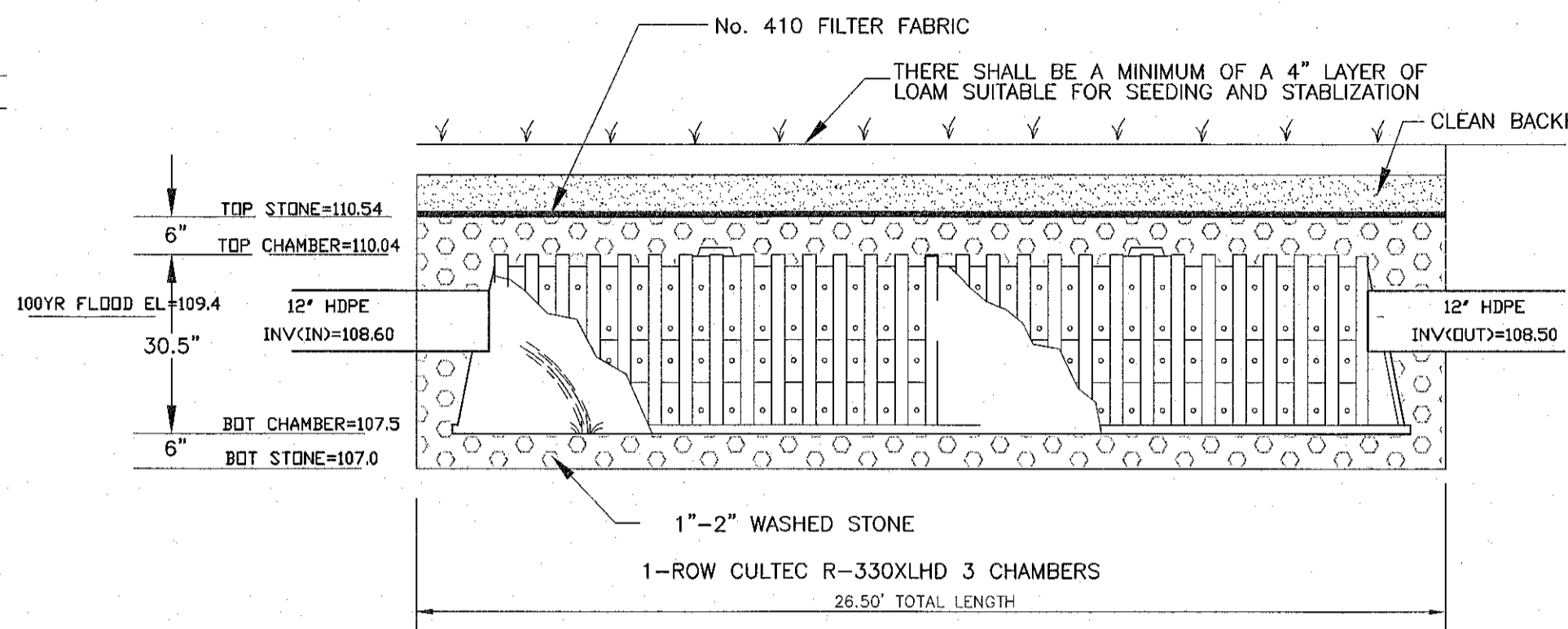
**DETAILS**



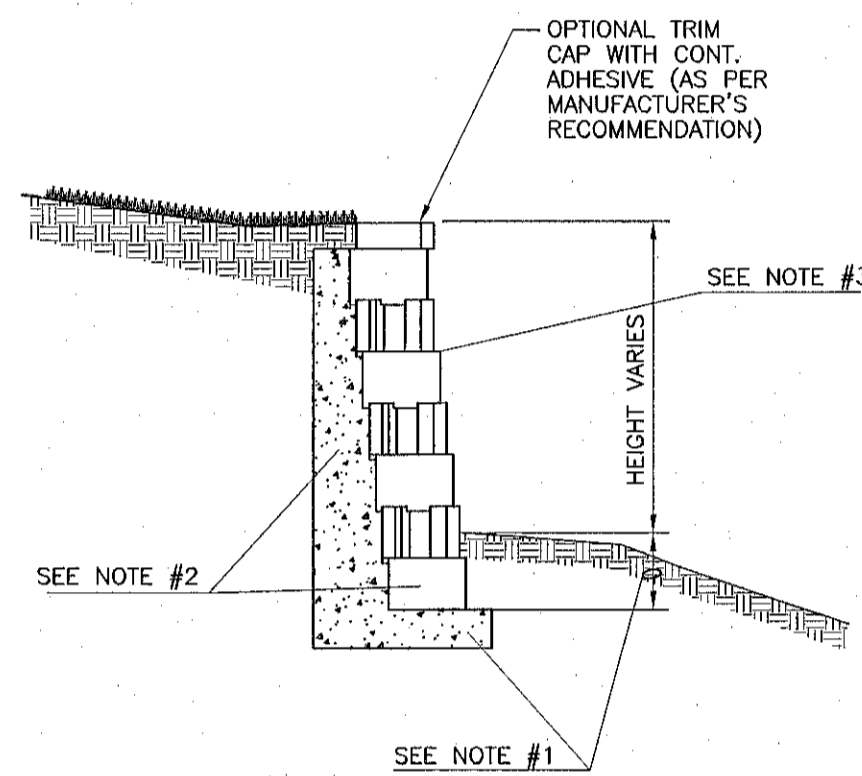
INSPECTION PORT DETAIL  
NOT TO SCALE



1-ROW CULTEC R-330XLHD 3 CHAMBERS



INFILTRATION CHAMBER SYSTEM #3R (CULTEC R-330XLHD)  
NOT TO SCALE



TYPICAL CROSS SECTION  
SCALE: NONE

AB STONES  
-DIMENSIONS: 8" H x 12" W x 18" L  
-12" SETBACK FROM VERTICAL  
-TYPICAL WEIGHT = 75 lbs.

**RETAINING WALL NOTES:**

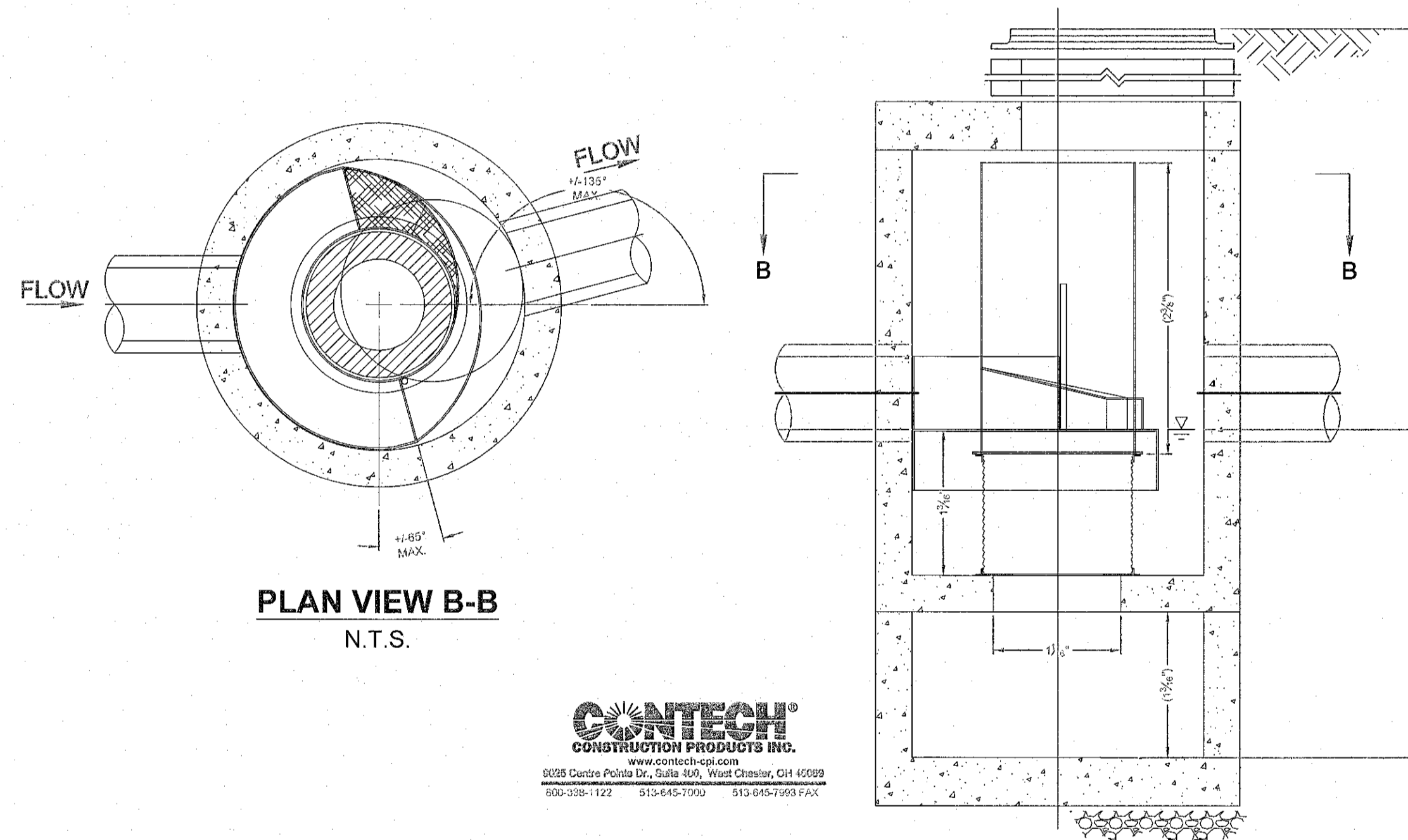
#1 - BASE TRENCH & BASE MATERIAL  
TRENCH TO BE 18" WIDE AND MUST INCLUDE THE REMOVAL OF ANY ORGANIC/FILL MATERIAL. BASE MATERIAL IS ANY CLEAN, COMPACTIBLE GRANULAR MATERIAL 1/4"-3/4" DIAMETER. PLACE AT LEAST 12" OF BASE MATERIAL IN THE TRENCH AND COMPACT WITH A MECHANICAL PLATE COMPACTOR. BASE MUST BE LEVEL. A THIN LAYER OF SAND MAY BE USED TO MAKE LEVELING EASIER. A CONCRETE LEVELING PAD MAY BE USED INSTEAD OF USING BASE MATERIAL.

#2 - BASE COARSE AND DRAINAGE MATERIAL  
LAY BASE COARSE BLOCKS CHECKING FOR STRAIGHTNESS AND LEVEL. FILL THE BLOCK HOLLOW CORES AND 6"-8" BEHIND BLOCKS WITH DRAINAGE MATERIAL (SAME AS BASE MATERIAL). USE A PLATE COMPACTOR TO COMPACT THE AGGREGATE IN THE BLOCKS AND BEHIND THE WALL. RUN COMPACTOR OVER TOP OF BLOCKS FIRST, AND THEN OVER DRAINAGE MATERIAL.

#3 - SECOND COARSE AND ADDITIONAL COARSE  
STACK NEXT ROW OF BLOCKS, AND EACH ADDITIONAL ROW, WITH SEAMS OFFSET FROM THE BLOCKS BELOW. CHECK FOR STRAIGHTNESS & LEVEL. FILL HOLLOW CORES AND 6"-8" BEHIND BLOCKS WITH DRAINAGE MATERIAL AND COMPACT.

ALLAN BLOCK RETAINING WALL

NOT TO SCALE



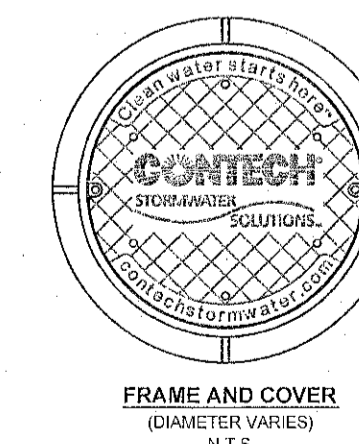
PLAN VIEW B-B  
N.T.S.

ELEVATION A-A  
N.T.S.



- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
  - DIMENSIONS MARKED WITH ( ) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
  - FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH CONSTRUCTION PRODUCTS REPRESENTATIVE. [www.contech-cpi.com](http://www.contech-cpi.com)
  - CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
  - STRUCTURE SHALL MEET AASHTO HS20 AND CASTINGS SHALL MEET AASHTO M306 LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
  - PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
  - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
  - CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
  - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
  - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

WATER QUALITY UNIT DETAIL  
CDS1515-3-C CDS INLINE STANDARD DETAIL  
NOT TO SCALE



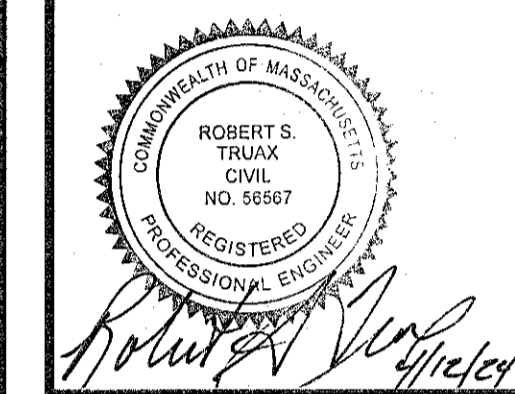
APPROVED BY  
ZONING BOARD OF APPEALS

DATE APPROVED: \_\_\_\_\_  
DATE ENDORSED: \_\_\_\_\_

I TOWN CLERK OF THE TOWN OF WALPOLE  
RECEIVED & RECORDED FROM THE ZONING  
BOARD OF APPEALS, APPROVAL OF THIS PLAN  
AND NO APPEAL HAS BEEN TAKEN FOR TWENTY  
DAYS NEXT AFTER RECEIPT AND RECORDING OF  
SAME.

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

REVISIONS	DATE	DESCRIPTION
No. 1	4/12/2024	ENGINEERING COMMENTS



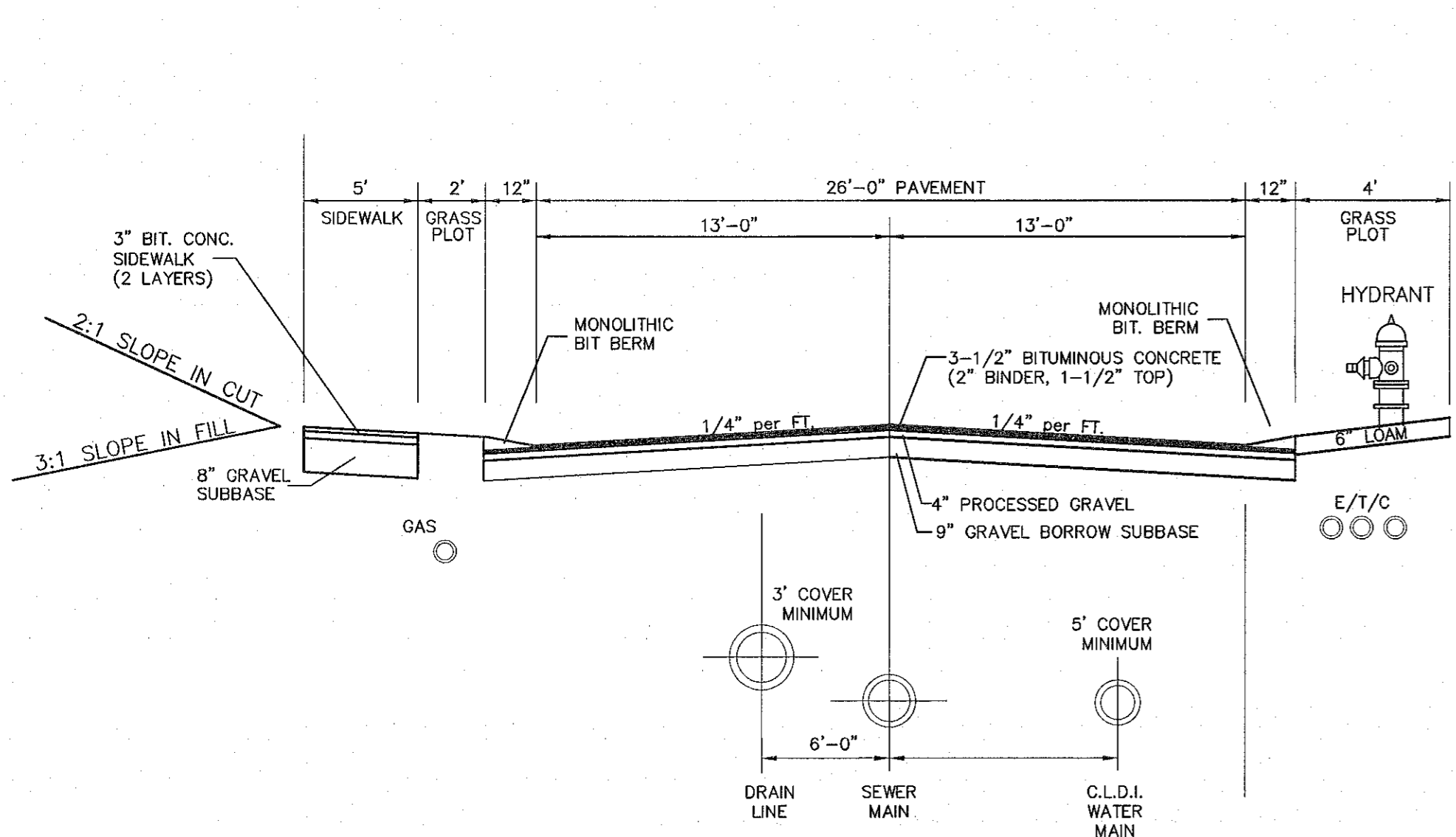
SPECIAL PERMIT & SITE DEVELOPMENT PLAN  
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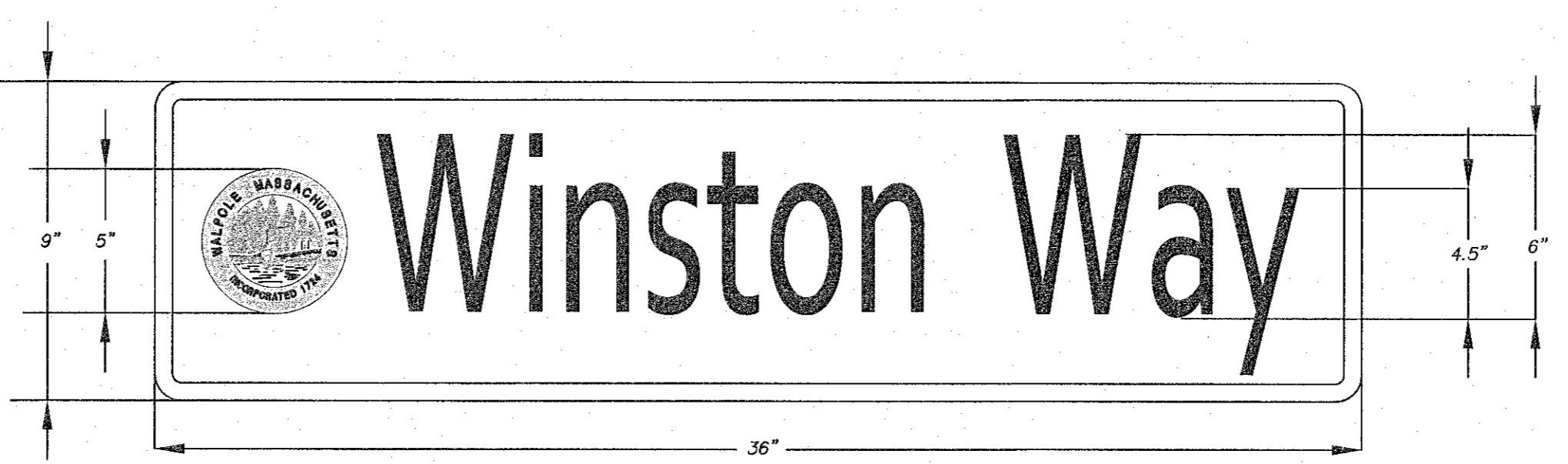
JOB No. 15,588  
DATE: JAN. 24, 2024  
SCALE: 1" = 30'  
SHEET: 8 of 13  
PLAN #: 27,096





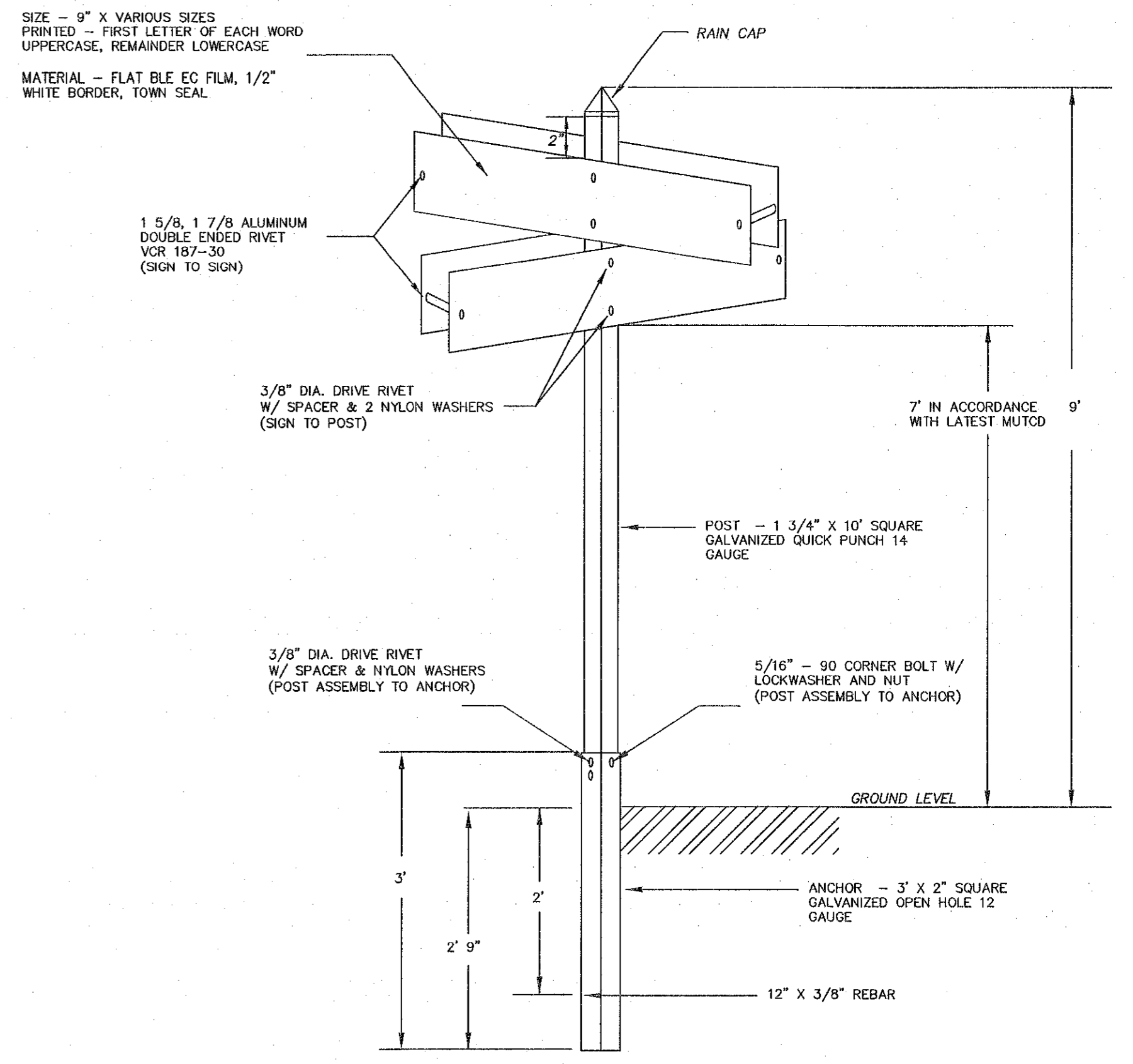
**TYPICAL CROSS SECTION**  
(NO SCALE)

- NOTES:
- GRAVEL BORROW SUBBASE SHALL CONFORM TO SECTION M1.03.0 TYPE B, THREE INCHES LARGEST DIMENSION OF THE LATEST EDITION OF THE MASSACHUSETTS HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES (STANDARD SPECIFICATIONS).
  - GRAVEL BORROW SUBBASE SHALL BE COMPACTED TO NOT LESS THAN 95 PERCENT OF MAXIMUM DRY DENSITY OF THE MATERIAL AS DETERMINED BY THE STANDARD AASHTO TEST DESIGNATION T99 COMPACTION TEST METHOD C AT OPTIMUM MOISTURE CONTENT AS DETERMINED BY THE ENGINEER.
  - "TAC COAT" AS SPECIFIED IN SECTION 486.61 OF THE STANDARD SPECIFICATIONS SHALL BE APPLIED BY "TAC TRUCK" BETWEEN ASPHALT LAYERS OR AS DETERMINED BY THE ENGINEER.
  - SOILS TESTING INCLUDING SIEVE ANALYSIS, PROCTOR TESTING AND COMPACTION TESTING SHALL BE PERFORMED ONCE EVERY 100 FEET OF PAVED ROADWAY ALONG THE CENTERLINE OF THE ROADWAY OR AS DIRECTED BY THE ENGINEER.
  - SIDEWALK RAMPS MUST MEET CURRENT APPLICABLE ADA / AAB STANDARDS.

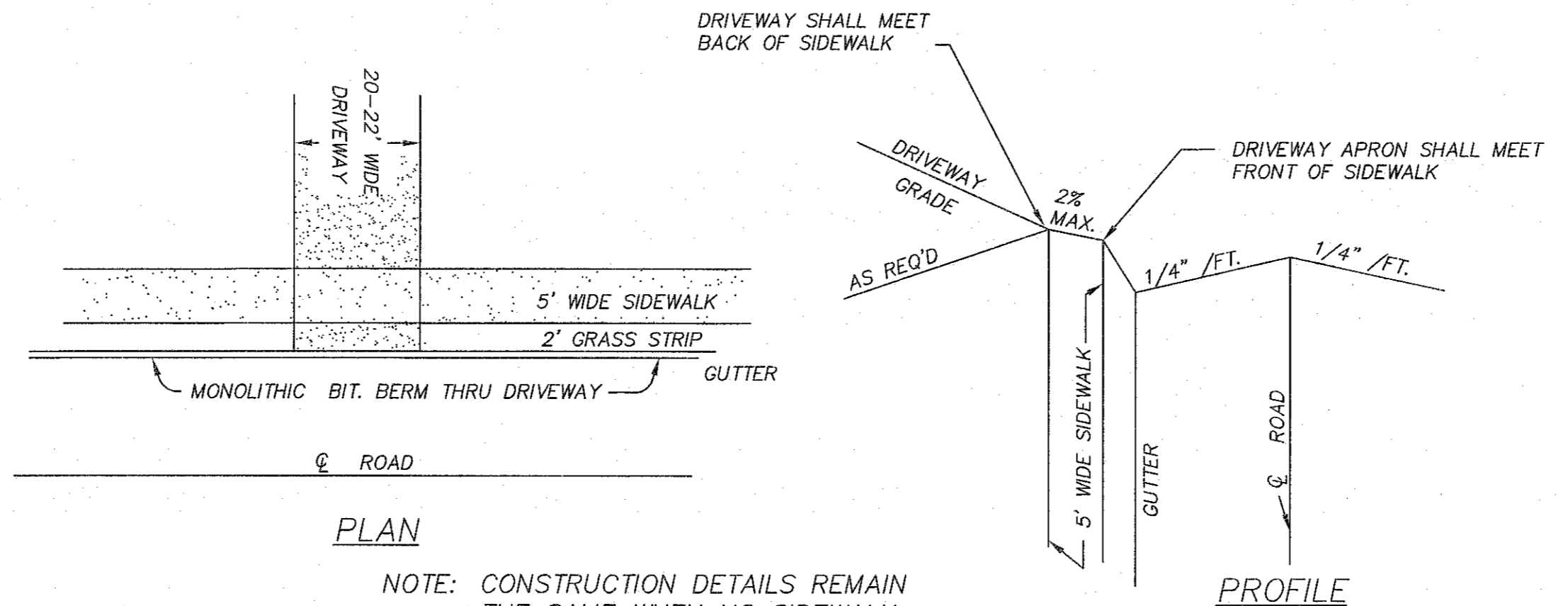


- SIGN NOTES:
- MINIMUM SIZE 9"
  - SIGN MATERIAL SHALL BE 3M VP DIA. GRADE WHITE WITH BLUE TRANSLUCENT 3M-ELECTRO-CUT FILM OR APPROVED EQUAL
  - SIGN MATERIAL MUST MEET THE LATEST FHWA RULES FOR RETROREFLECTIVITY.
  - FONT = HIGHWAY SERIES B
  - FIRST LETTER OF EACH WORD IS TO BE UPPERCASE.
  - UPPERCASE, 4 1/2" LOWERCASE
  - VERY DENNISON PRISMATIC LETTERS

**TYPICAL STREET SIGN NAME PLATE DETAIL**  
N.T.S.

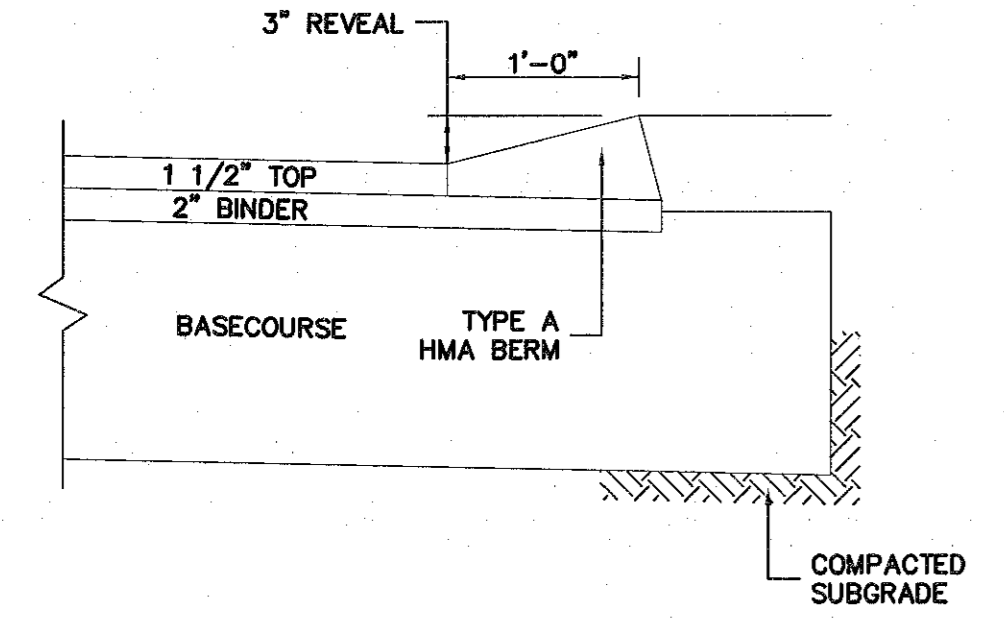


**TYPICAL STREET SIGN DETAIL**  
(NO SCALE)

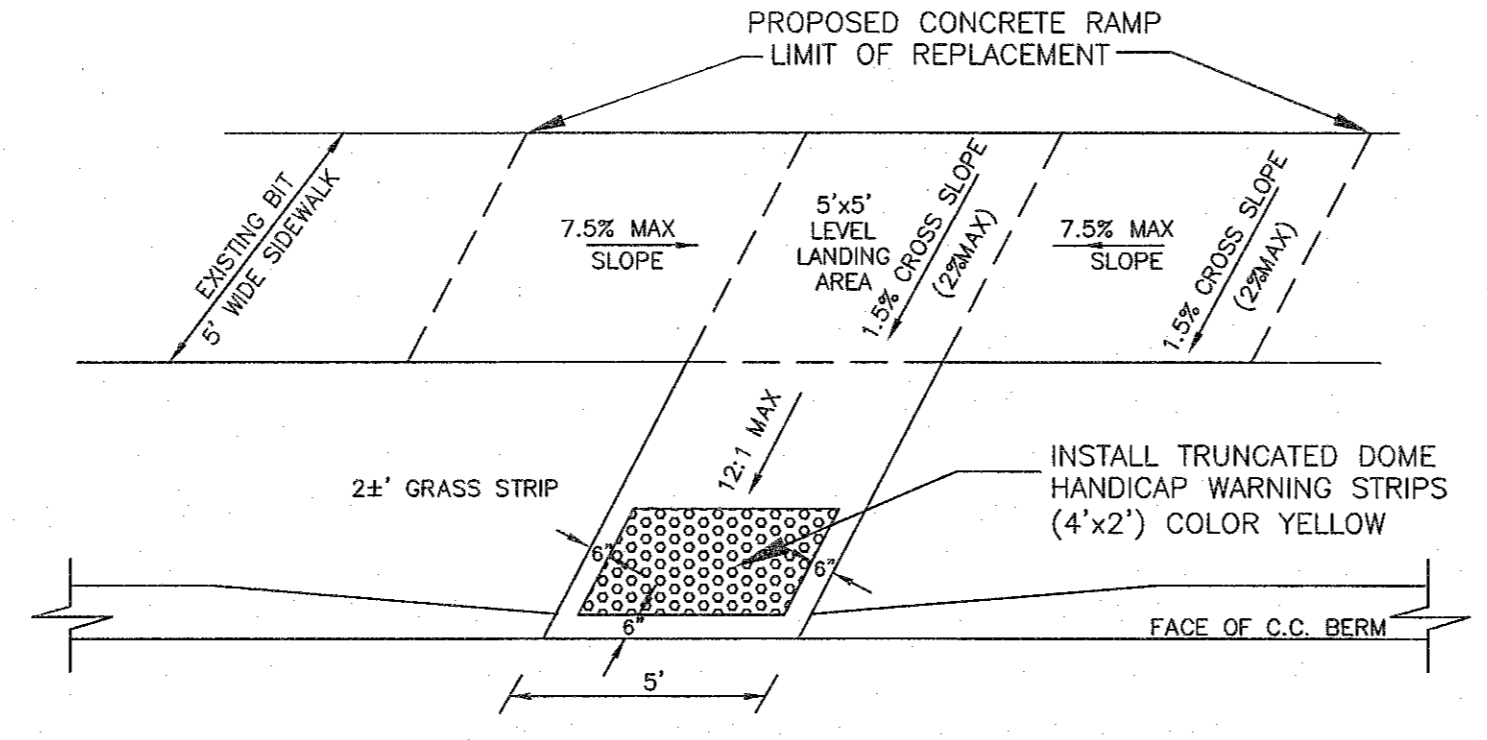


**TYPICAL MINOR DRIVEWAY DETAIL**  
(NO SCALE)

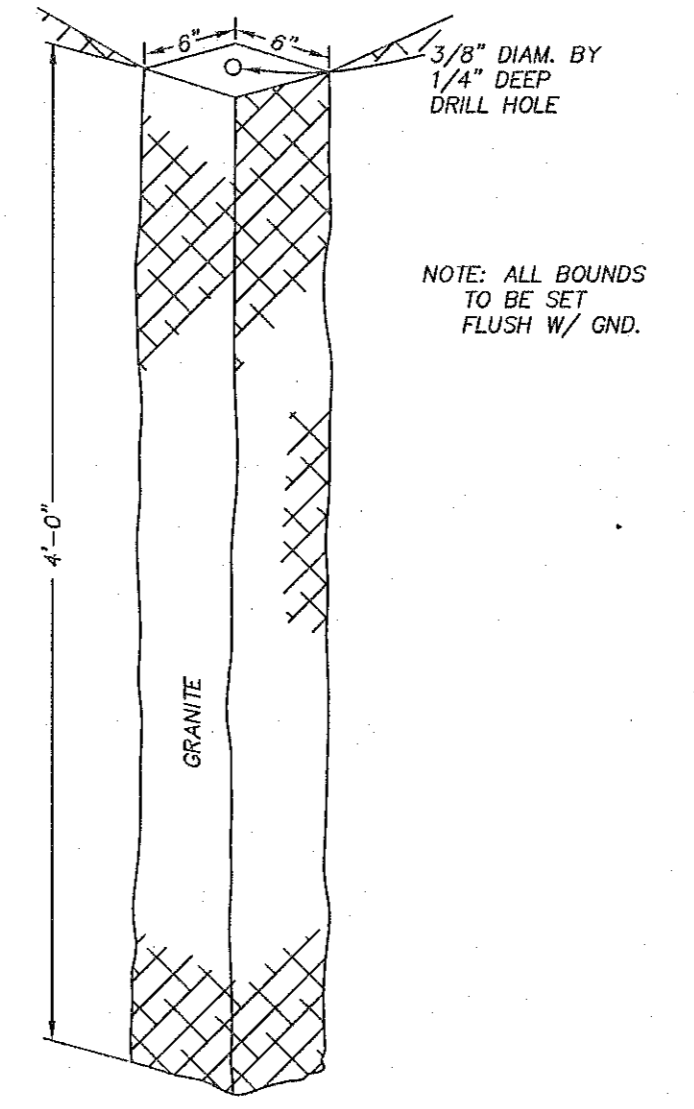
NOTE: CONSTRUCTION DETAILS REMAIN THE SAME WHEN NO SIDEWALK IS TO BE CONSTRUCTED.  
ALL DRIVEWAY APRONS TO BE PAVED WITH 3" BITUMINOUS CONCRETE



**MONOLITHIC BIT BERM DETAIL**  
NOT TO SCALE



**HANDICAP SIDEWALK RAMP DETAIL**  
(NO SCALE)



**GRANITE MONUMENT DETAIL**  
(NO SCALE)

I, TOWN CLERK OF THE TOWN OF WALPOLE RECEIVED & RECORDED FROM THE ZONING BOARD OF APPEALS, APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY ZONING BOARD OF APPEALS

DATE APPROVED: \_\_\_\_\_  
DATE ENDORSED: \_\_\_\_\_

REV. #	DESCRIPTION	DATE	BY

**TOWN OF WALPOLE, MASSACHUSETTS  
DEPARTMENT OF PUBLIC WORKS  
PLAN SHOWING TYPICAL  
ROADWAY DETAILS**

DETAIL SHEET NOTE:  
1. ALL DETAILS ARE SUBJECT TO CHANGE WITHOUT NOTICE. CHECK WITH THE TOWN OF WALPOLE PRIOR TO USING THESE DETAILS FOR THE MOST UP TO DATE REVISIONS.  
2. IT IS THE DESIGNERS SOLE RESPONSIBILITY TO DETERMINE THE SUITABILITY OF A PARTICULAR DETAIL.

**SPECIAL PERMIT & SITE DEVELOPMENT PLAN  
"UNION SQUARE VILLAGE"  
WALPOLE, MASSACHUSETTS**

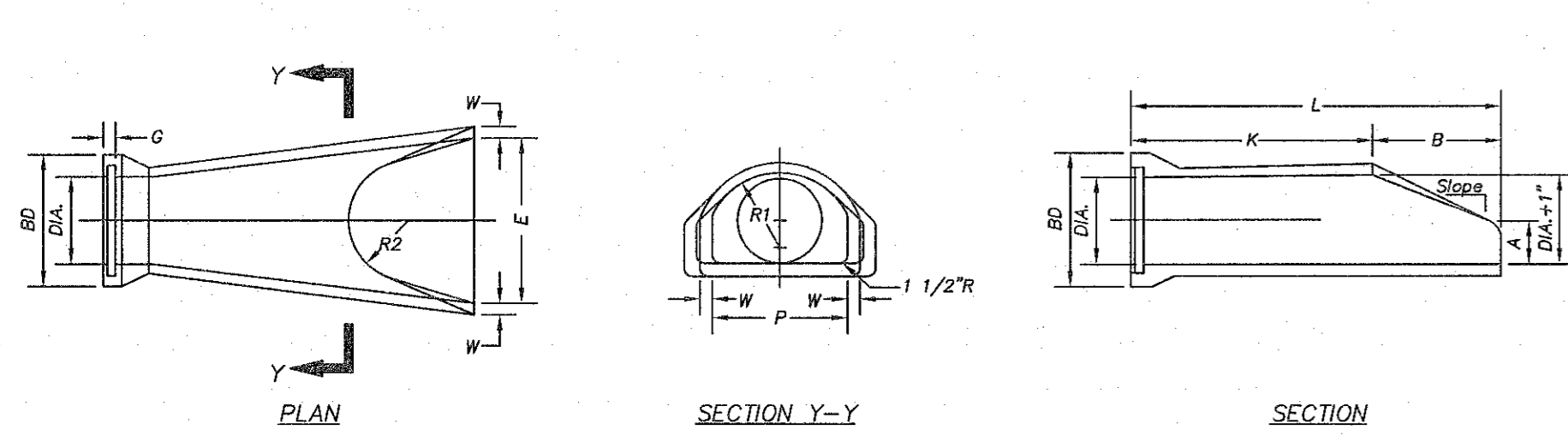
APPLICANT:  
WALL STREET DEVELOPMENT CORP.  
P.O. BOX 272  
WESTWOOD, MA 02090



Town of Walpole

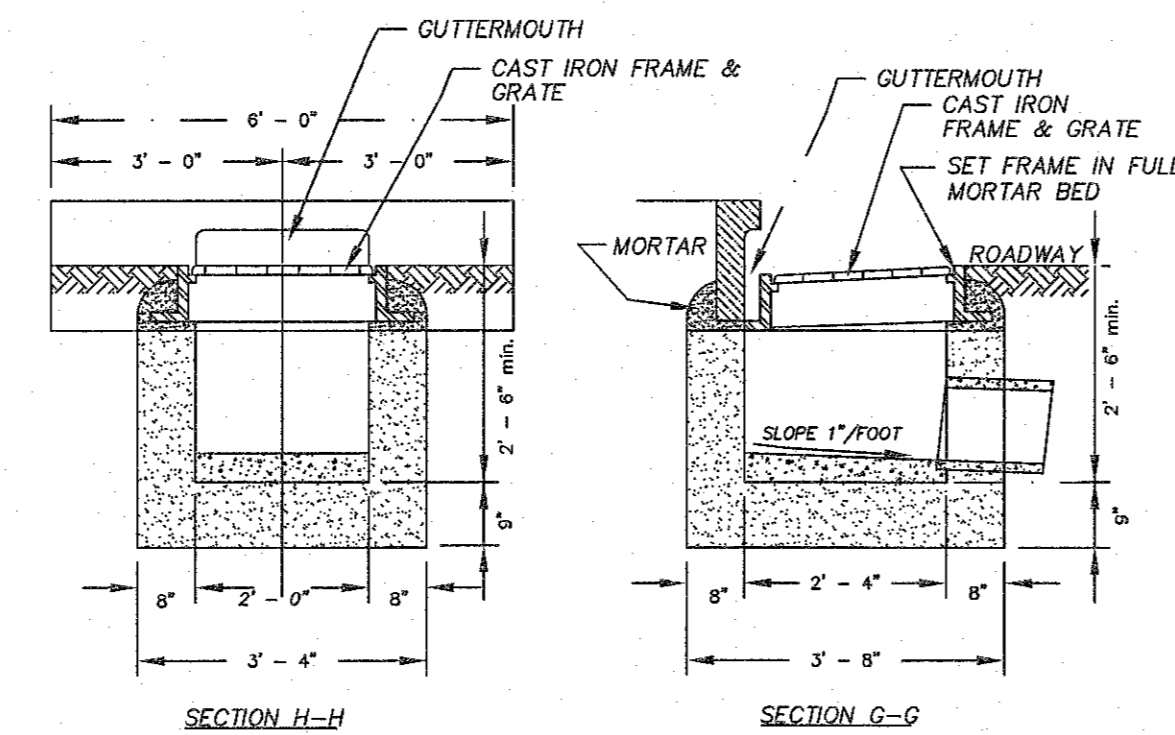
Date: 3-28-19  
Scale: AS SHOWN  
Drawn By: R. ROSA  
Checked By: C. JOHNSON  
Appr. By: M. WALKER





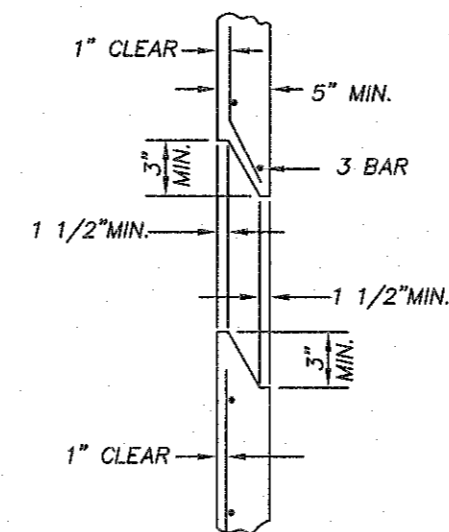
DIA.	W	A	B	C	D	E	BD	K	L	P	DIA. ±1"	R1	R2	S	Q	Slope
12"	2"	4"	2'-0"	4'-0 1/8"	6'-1 3/8"	2'-0"	20"	4'-8 1/8"	6'-4 1/8"	9 15/16"	13"	10 1/8"	9"	4"	2 1/2"	3:1
15"	2 1/4"	6"	2'-3"	3'-10"	6'-1 1/2"	2'-6"	24"	4'-11 1/8"	6'-4 1/8"	24 5/8"	16"	12 1/2"	11"	4"	2 1/2"	3:1
18"	2 1/2"	9"	2'-3"	3'-10"	6'-1 1/2"	3'-0"	28"	4'-3 1/8"	6'-4 1/8"	29"	19"	15 1/2"	12"	4"	2 3/4"	3:1
21"	2 3/4"	9"	2'-11"	3'-2"	6'-1 1/2"	3'-6"	32"	4'-4 5/8"	6'-4 1/8"	31 5/8"	22"	16 1/8"	13"	4"	2 3/4"	3:1
24"	3"	9 1/2"	2'-7 1/2"	2'-6"	6'-1 1/2"	4'-0"	36"	4'-0 1/2"	6'-8"	33 3/8"	25"	18 1/4"	14"	4"	3"	3:1

R.C.P. FLARED END SECTION DETAILS  
E206.8.0 NOT TO SCALE

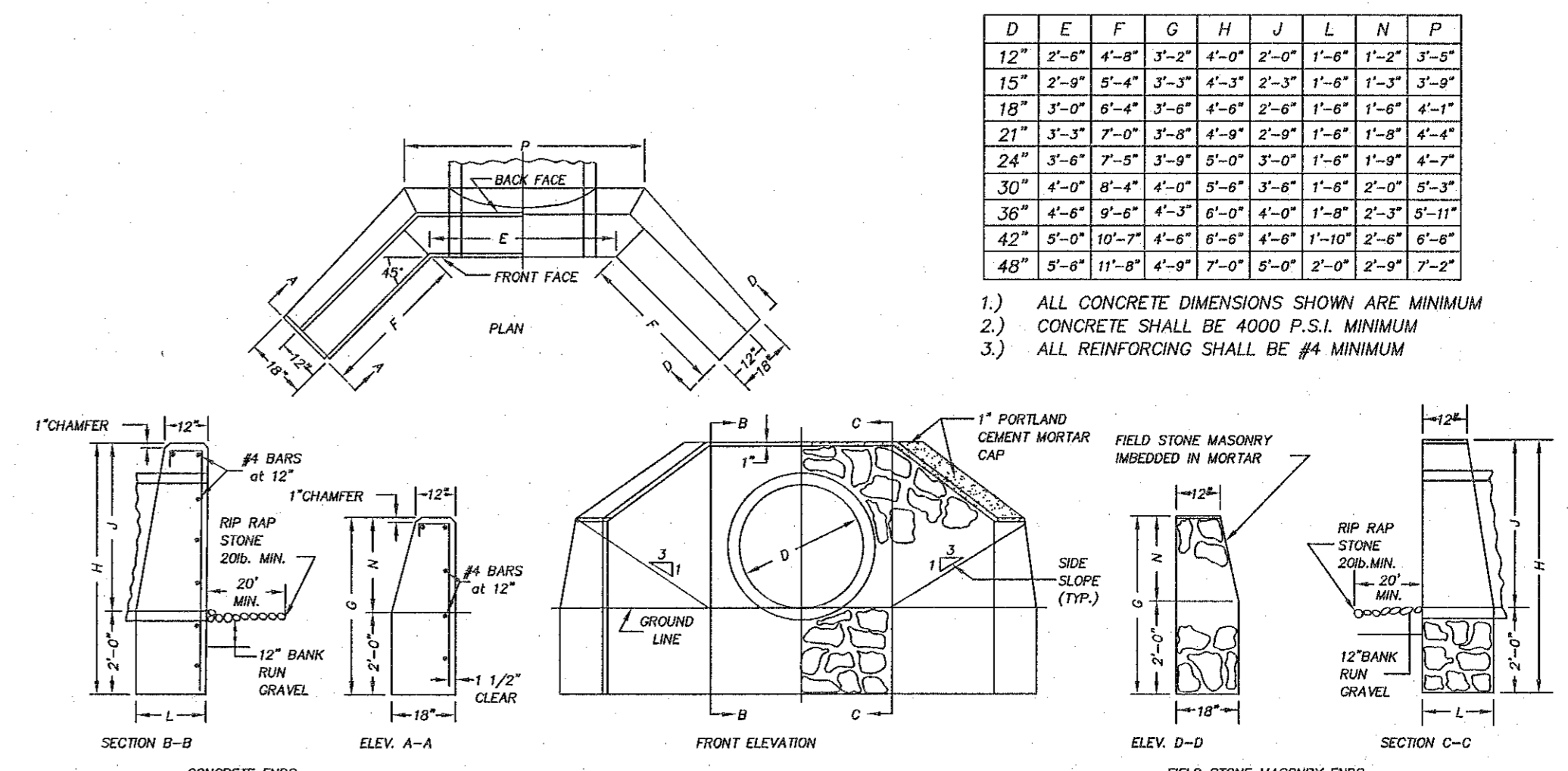


GUTTER INLET DETAIL  
NOT TO SCALE

NOTE: GUTTER INLET MAY BE PRECAST CONCRETE, OR CONSTRUCTED OF CONCRETE BLOCK MASONRY WITH CAST IN PLACE CONCRETE BASE.



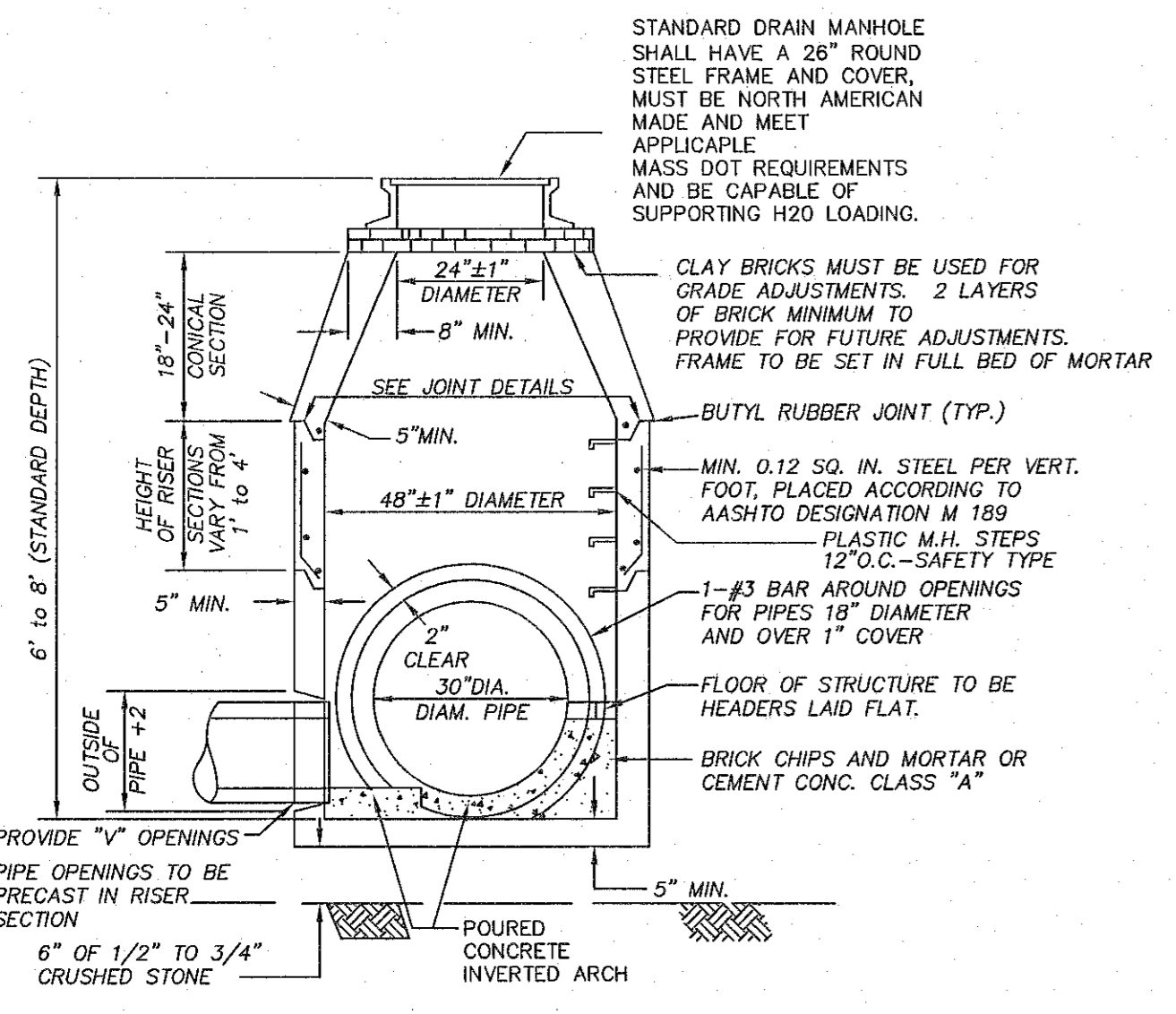
PRECAST STRUCTURE JOINT DETAILS  
NOT TO SCALE



CONCRETE AND FIELD STONE MASONRY HEADWALL / WINGWALL DETAILS  
E206.5.0 E206.6.0 NOT TO SCALE

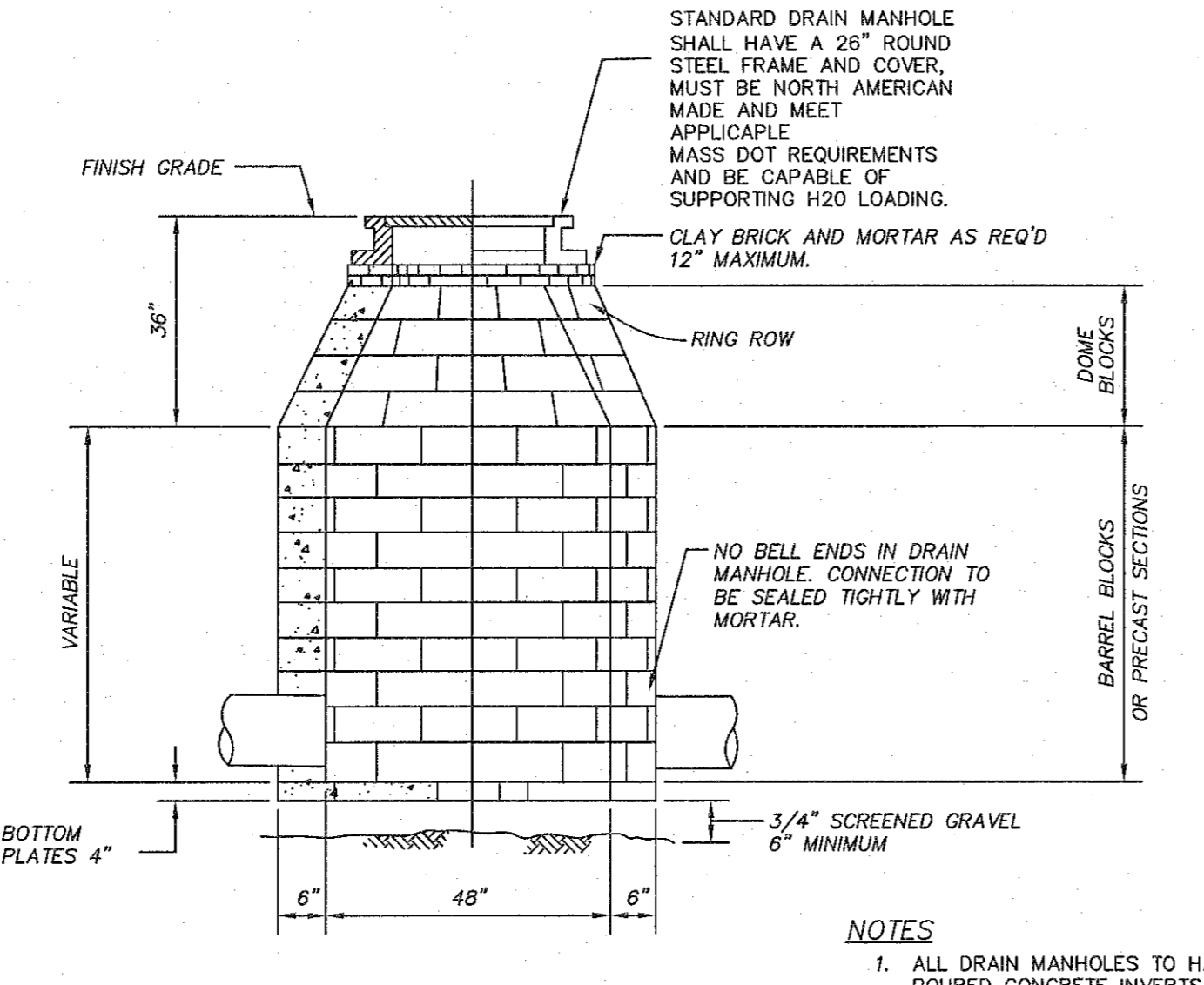
D	E	F	G	H	J	L	N	P
12"	2'-6"	4'-8"	3'-2"	4'-0"	2'-0"	1'-6"	1'-2"	3'-2"
15"	2'-9"	5'-4"	3'-3"	4'-3"	2'-3"	1'-8"	1'-3"	3'-5"
18"	3'-0"	6'-4"	3'-6"	4'-6"	2'-6"	1'-8"	1'-5"	4'-1"
21"	3'-3"	7'-0"	3'-8"	4'-8"	2'-9"	1'-8"	1'-8"	4'-4"
24"	3'-6"	7'-5"	3'-9"	5'-0"	3'-0"	1'-8"	1'-9"	4'-7"
30"	4'-0"	8'-4"	4'-0"	5'-8"	3'-6"	1'-8"	2'-0"	5'-3"
36"	4'-6"	9'-6"	4'-3"	6'-0"	4'-0"	1'-8"	2'-3"	5'-11"
42"	5'-0"	10'-7"	4'-6"	6'-8"	4'-8"	1'-10"	2'-6"	6'-8"
48"	5'-6"	11'-8"	4'-9"	7'-0"	5'-0"	2'-0"	2'-9"	7'-2"

1.) ALL CONCRETE DIMENSIONS SHOWN ARE MINIMUM  
2.) CONCRETE SHALL BE 4000 P.S.I. MINIMUM  
3.) ALL REINFORCING SHALL BE #4 MINIMUM



PRECAST CONCRETE MANHOLE DETAILS  
E202.4.0 NOT TO SCALE

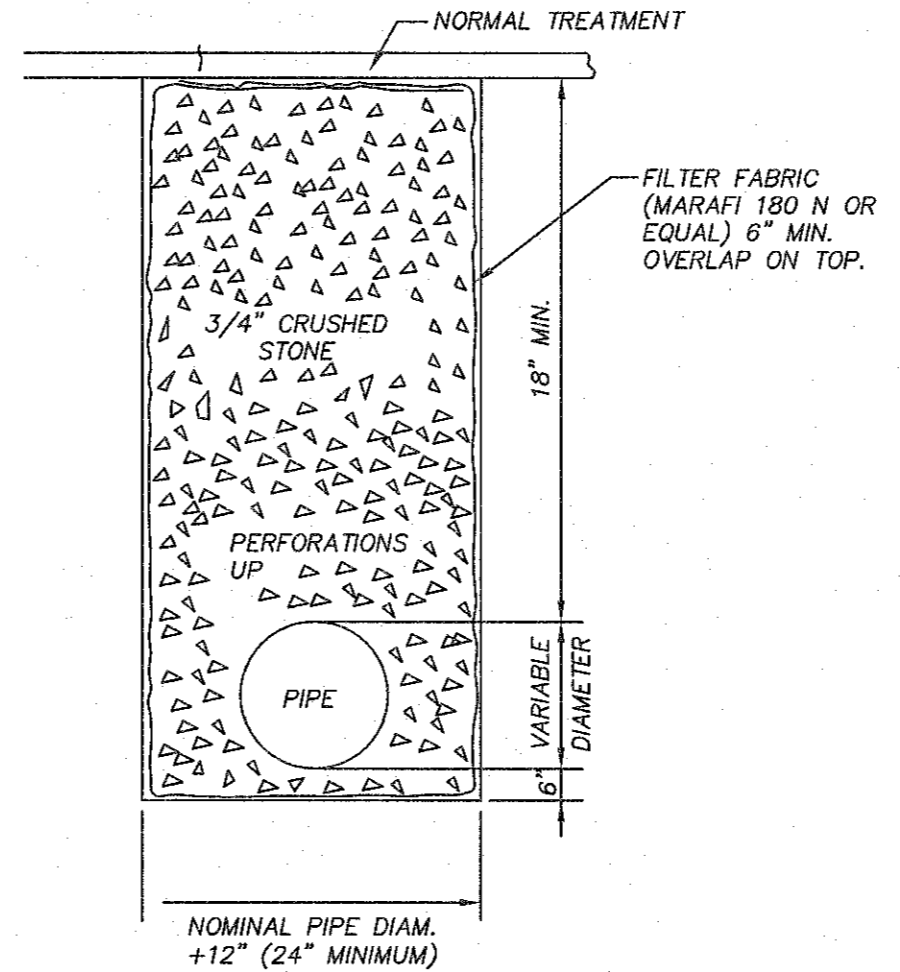
STANDARD DRAIN MANHOLE SHALL HAVE A 26" ROUND STEEL FRAME AND COVER, MUST BE NORTH AMERICAN MADE AND MEET APPLICABLE MASS DOT REQUIREMENTS AND BE CAPABLE OF SUPPORTING H20 LOADING.



BLOCK DRAIN MANHOLE DETAILS  
NOT TO SCALE

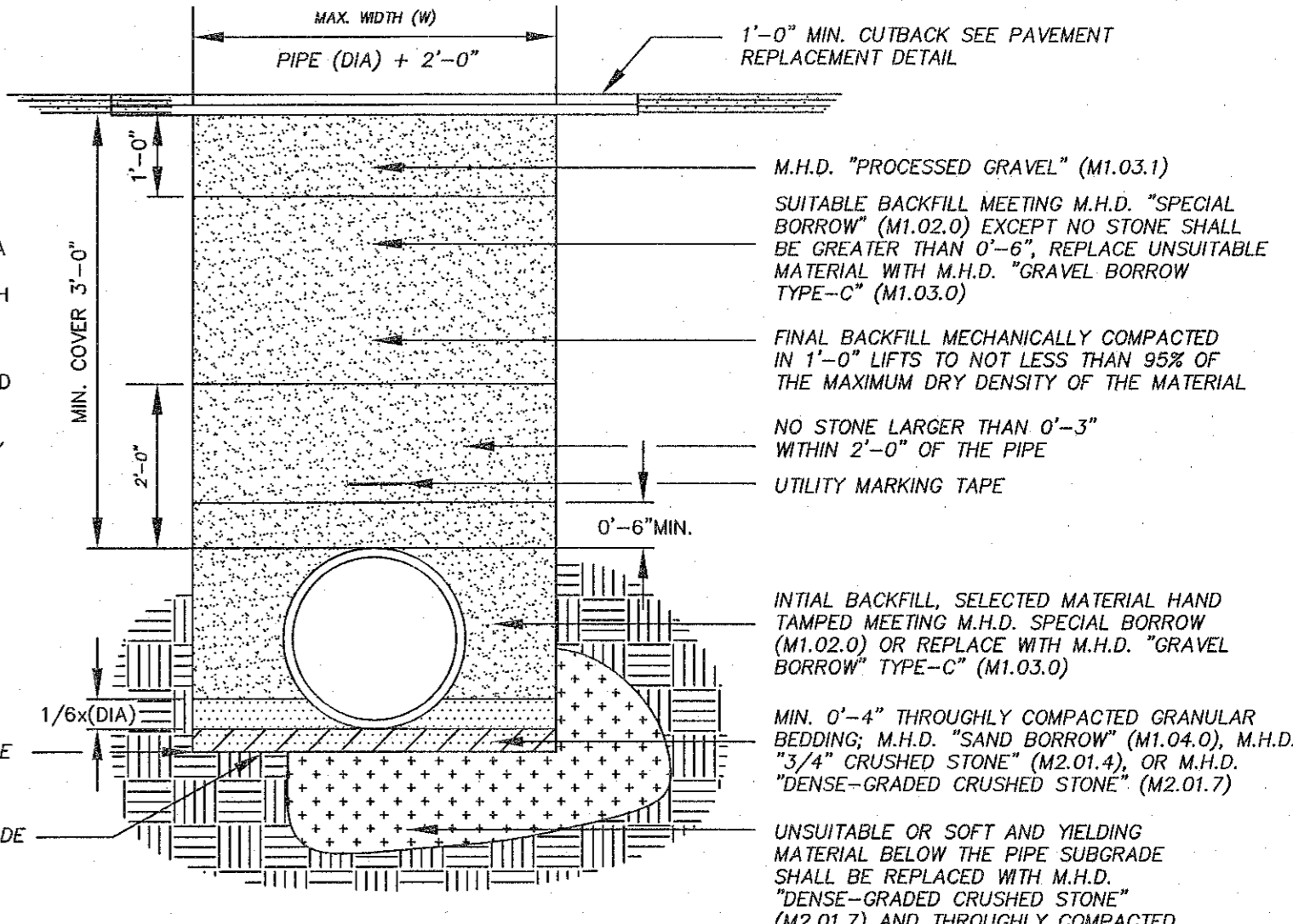
STANDARD DRAIN MANHOLE SHALL HAVE A 26" ROUND STEEL FRAME AND COVER, MUST BE NORTH AMERICAN MADE AND MEET APPLICABLE MASS DOT REQUIREMENTS AND BE CAPABLE OF SUPPORTING H20 LOADING.

NOTES:  
1. ALL DRAIN MANHOLES TO HAVE POURED CONCRETE INVERTS. SEE PRECAST MANHOLE DETAILS.  
2. MANHOLE BLOCKS MORE THAN 9" IN DEPTH TO BE 8" BLOCK.

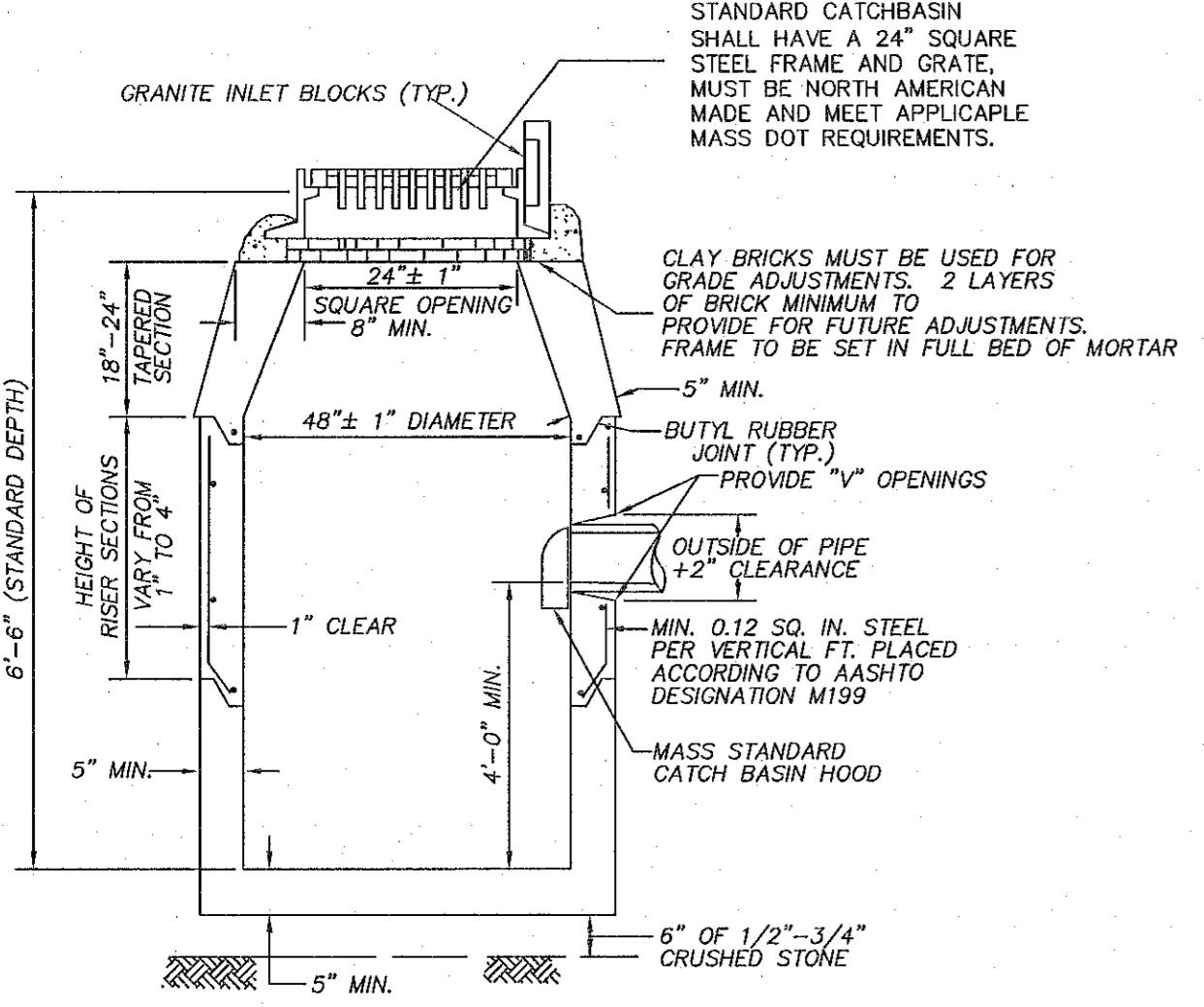


SUBDRAIN DETAIL  
NOT TO SCALE

NOTES:  
NO BACKFILL WHATEVER SHALL BE PLACED UNTIL PERMITTED BY THE TOWN ENGINEER OR HIS/HER AGENT.  
LEDGE, ROCK, BOULDERS, AND LARGE STONES SHALL BE REMOVED TO PROVIDE A MINIMUM CLEARANCE OF 0'-6" BELOW AND ON EACH SIDE OF THE PIPE.  
BACKFILL SHALL BE FORMED OF SUCCESSIVE LAYERS NOT MORE THAN ONE (1) FOOT IN DEPTH, UNIFORMLY DISTRIBUTED AND EACH LAYER THOROUGHLY COMPACTED TO NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY OF THE MATERIAL.  
NO PULLING OR JETTING IS ALLOWED WITHOUT WRITTEN PERMISSION OF THE TOWN ENGINEER.

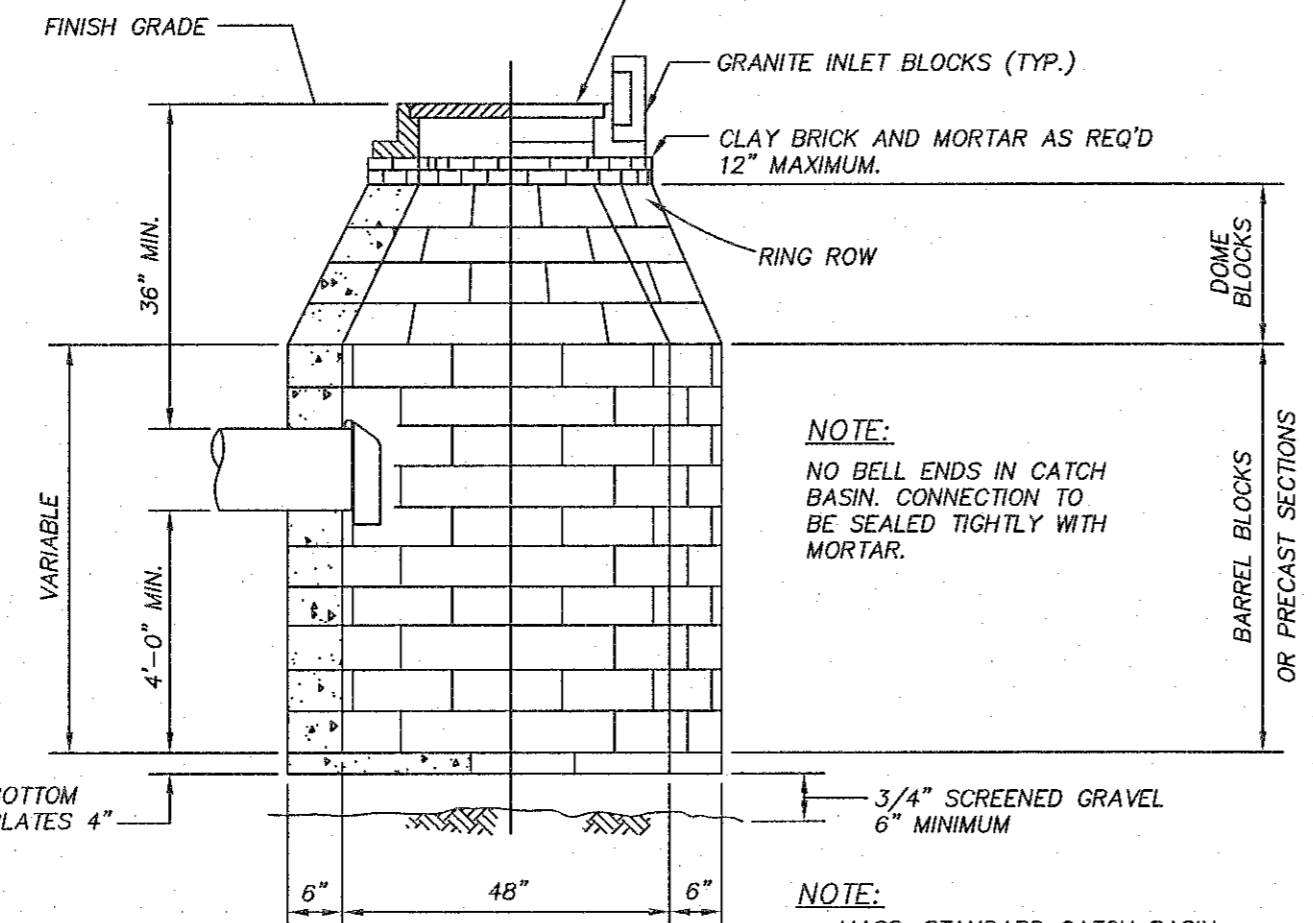


TYPICAL DRAIN TRENCH DETAIL  
NOT TO SCALE



PRECAST CONCRETE CATCH BASIN DETAILS  
NOT TO SCALE

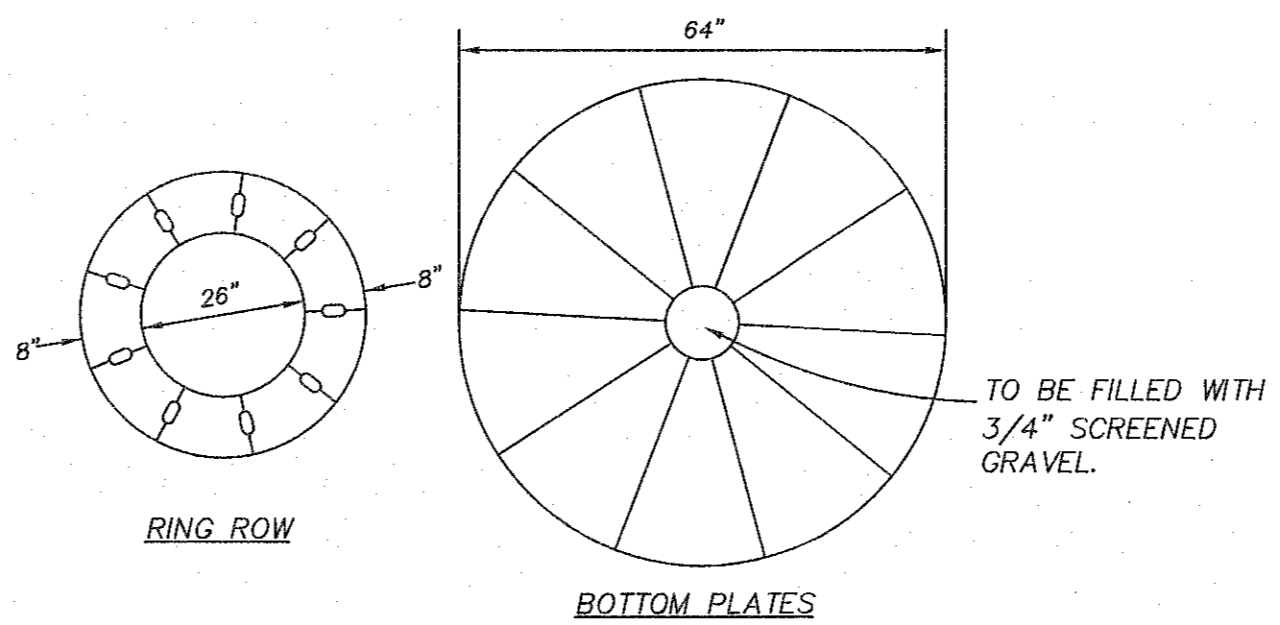
STANDARD CATCHBASIN SHALL HAVE A 24" SQUARE STEEL FRAME AND GRATE, MUST BE NORTH AMERICAN MADE AND MEET APPLICABLE MASS DOT REQUIREMENTS.



BLOCK CATCH BASIN DETAILS  
NOT TO SCALE

STANDARD CATCHBASIN SHALL HAVE A 24" SQUARE STEEL FRAME AND GRATE, MUST BE NORTH AMERICAN MADE AND MEET APPLICABLE MASS DOT REQUIREMENTS.

NOTE: MASS STANDARD CATCH BASIN HOOD SHALL BE INSTALLED ON OUTLET PIPE.



BLOCK CATCH BASIN & MANHOLE BOTTOM DETAILS  
NOT TO SCALE

SPECIAL PERMIT & SITE DEVELOPMENT PLAN  
"UNION SQUARE VILLAGE"  
WALPOLE, MASSACHUSETTS

APPLICANT:  
WALL STREET DEVELOPMENT CORP.  
P.O. BOX 272  
WESTWOOD, MA 02090



SHEET: 10 of 12

Town of Walpole  
Date: 3-28-19  
Scale: AS SHOWN  
Drawn By: R. ROSA  
Checked By: C. JOHNSON  
Appr. By: M. WALKER

TOWN OF WALPOLE, MASSACHUSETTS  
DEPARTMENT OF PUBLIC WORKS  
PLAN SHOWING TYPICAL  
DRAINAGE CONSTRUCTION DETAILS

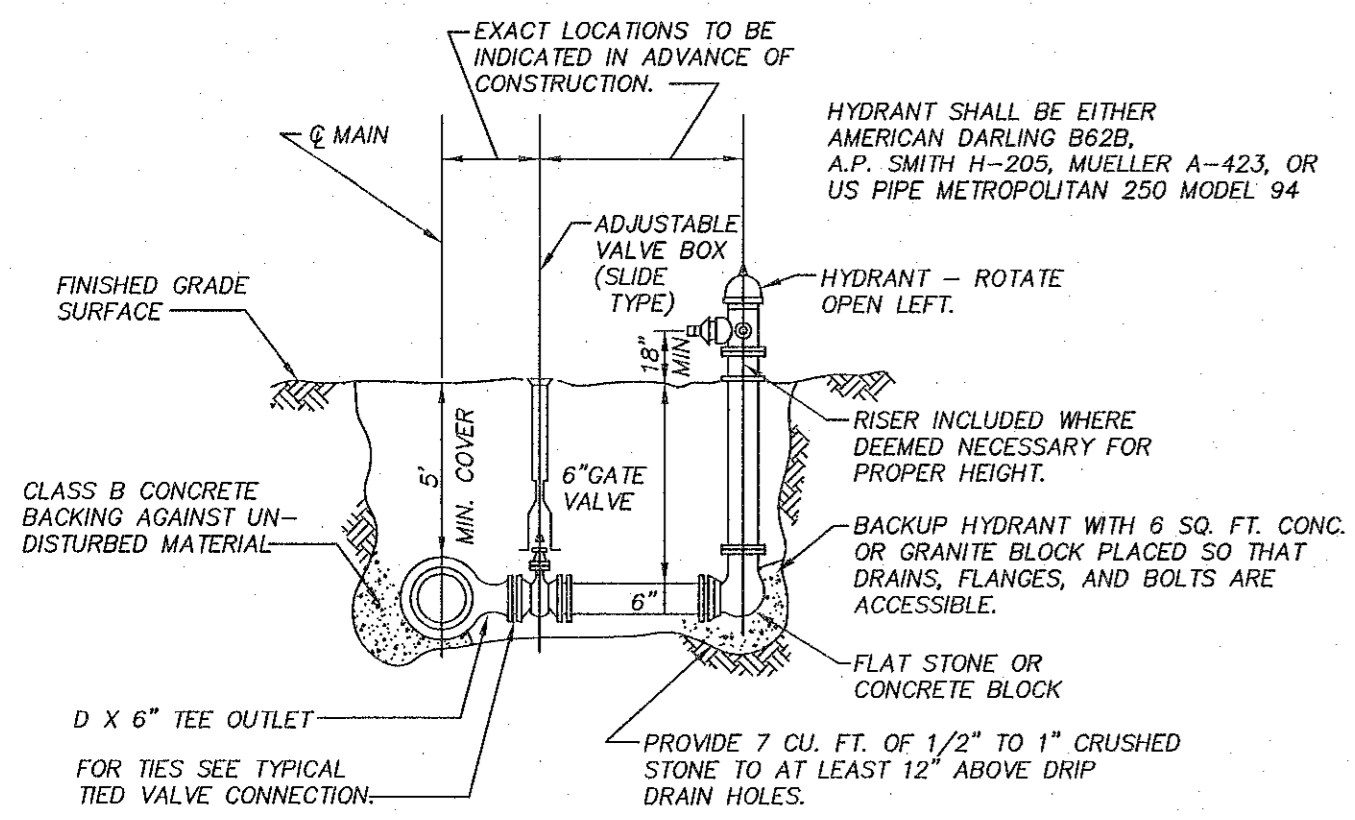
DETAIL SHEET NOTE:  
1. ALL DETAILS ARE SUBJECT TO CHANGE WITHOUT NOTICE. CHECK WITH THE TOWN OF WALPOLE PRIOR TO USING THESE DETAILS FOR THE MOST UP TO DATE REVISIONS.  
2. IT IS THE DESIGNERS SOLE RESPONSIBILITY TO DETERMINE THE SUITABILITY OF A PARTICULAR DETAIL.

REV. #	DESCRIPTION	DATE	BY

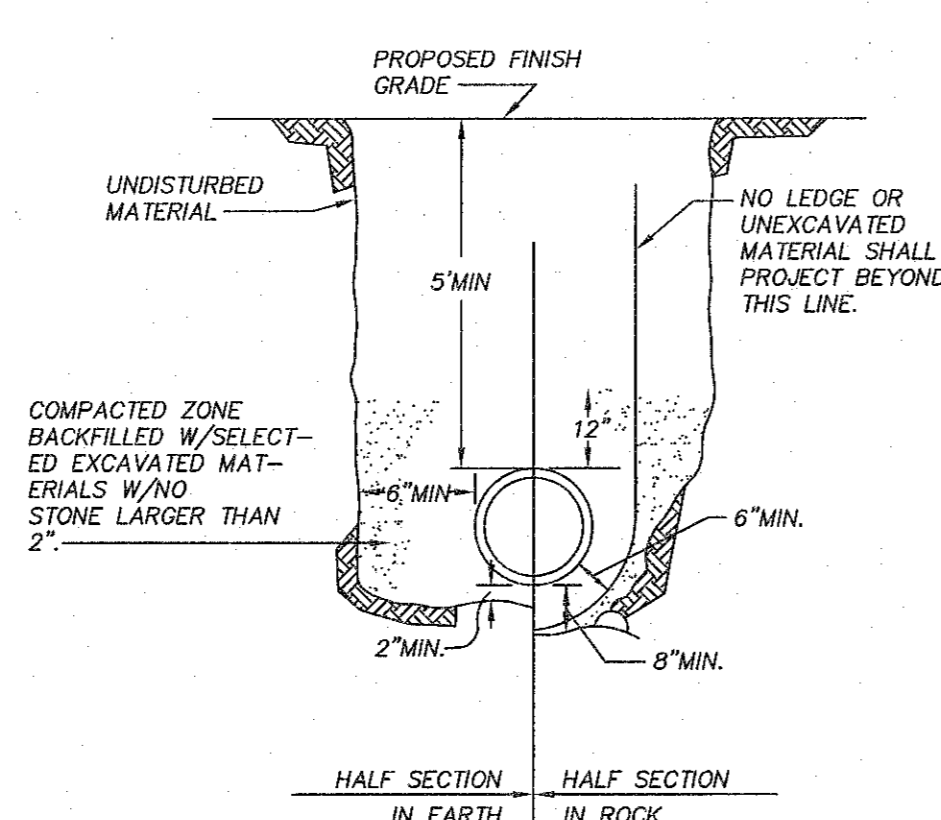




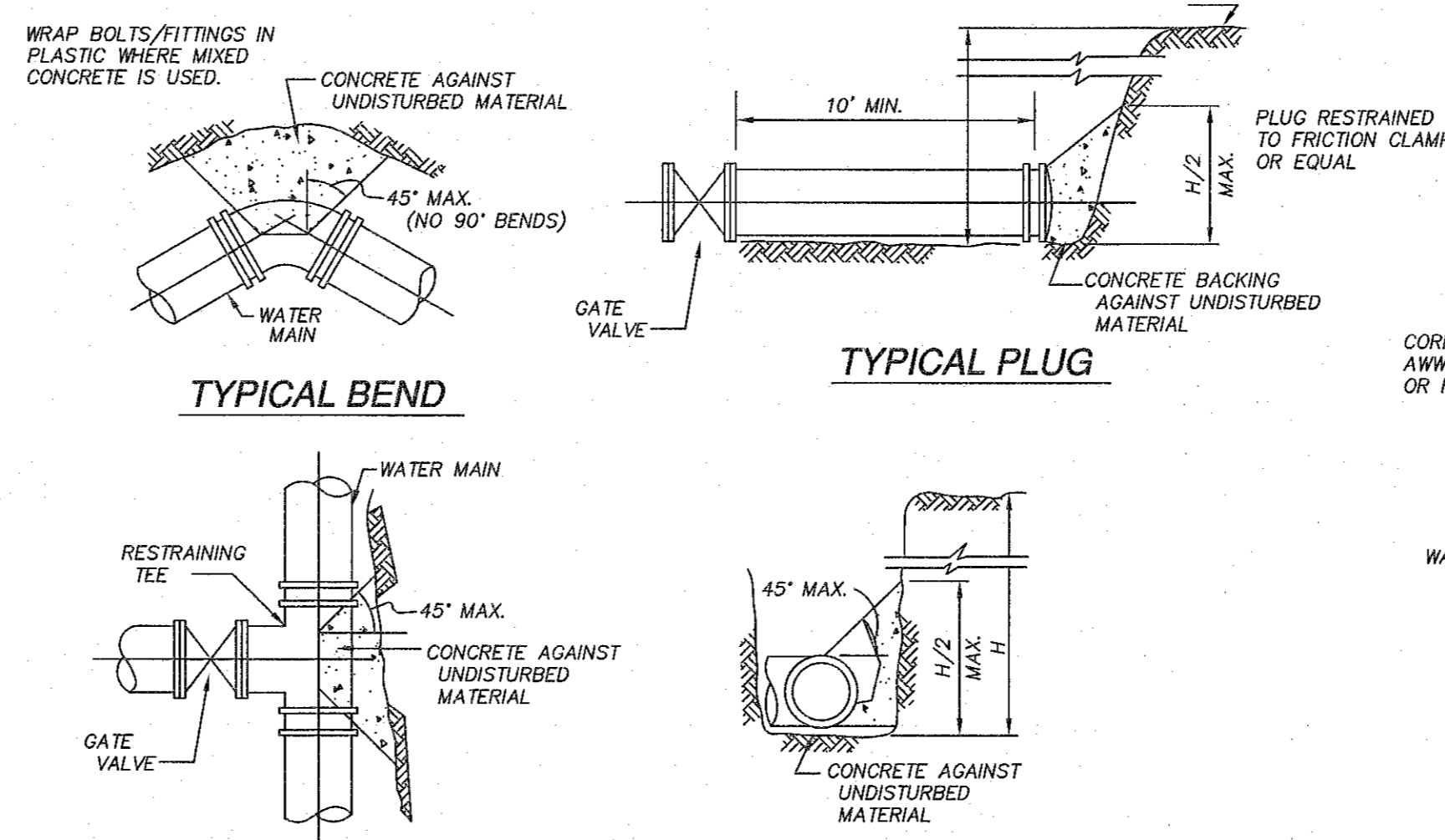




**TYPICAL HYDRANT ASSEMBLY DETAIL**  
NOT TO SCALE

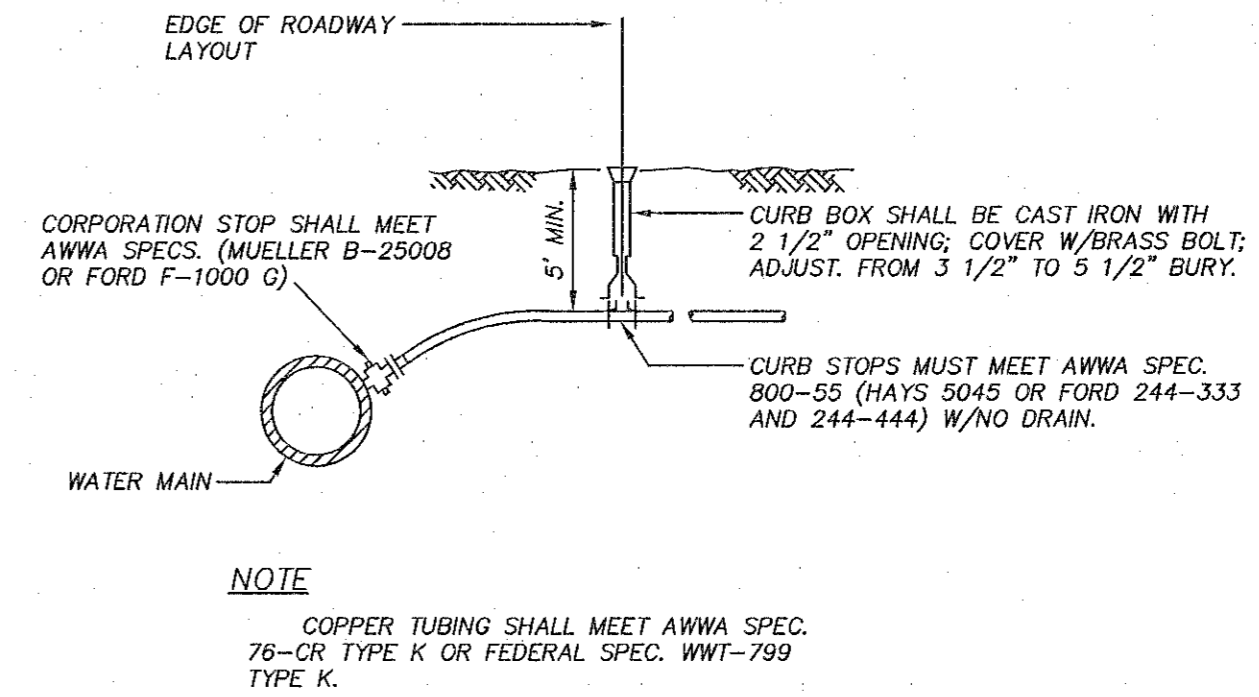


**WATER MAIN TRENCH DETAIL**  
NOT TO SCALE

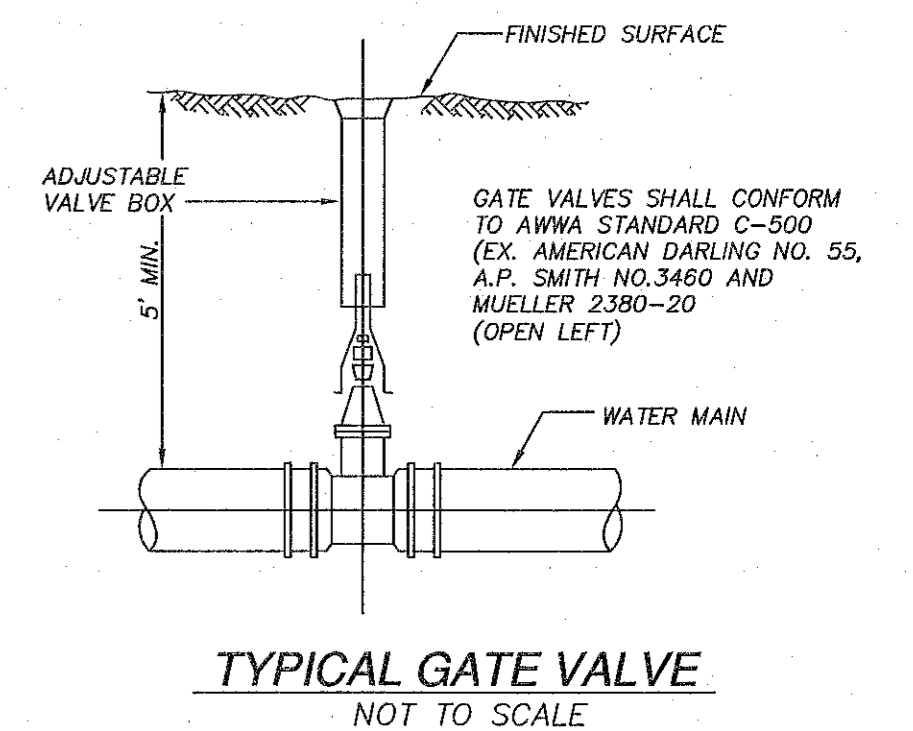


**TYPICAL TEE**

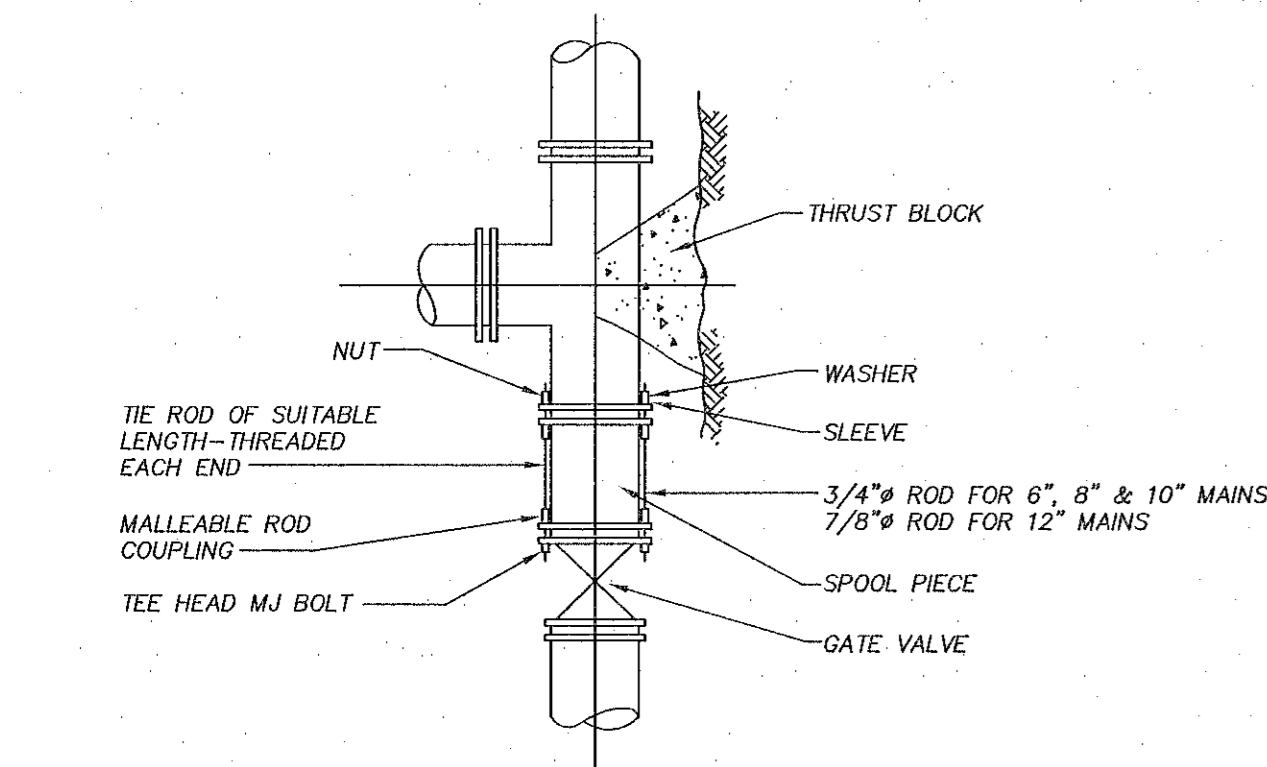
**TYPICAL SECTION**



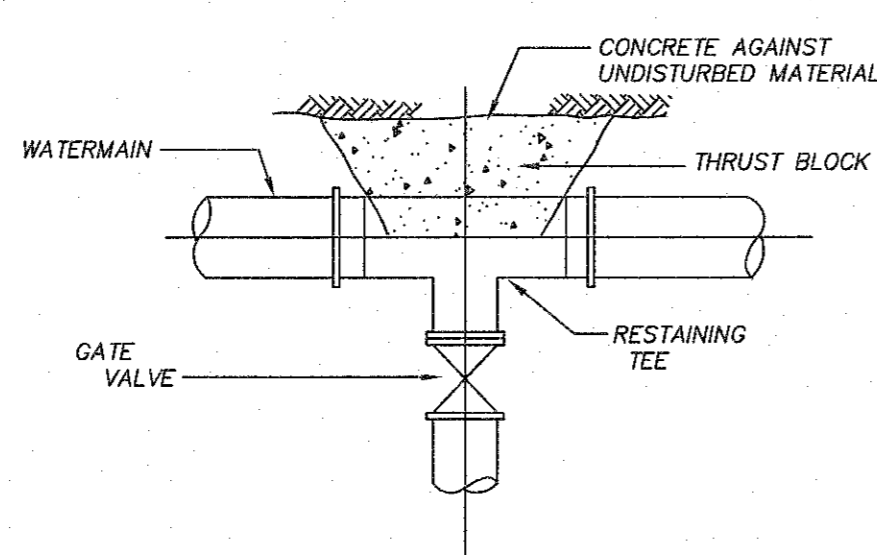
**TYPICAL SERVICE CONNECTION**  
NOT TO SCALE



**TYPICAL GATE VALVE**  
NOT TO SCALE



**TYPICAL TIED MECHANICAL JOINT VALVE CONNECTION DETAILS**  
NOT TO SCALE

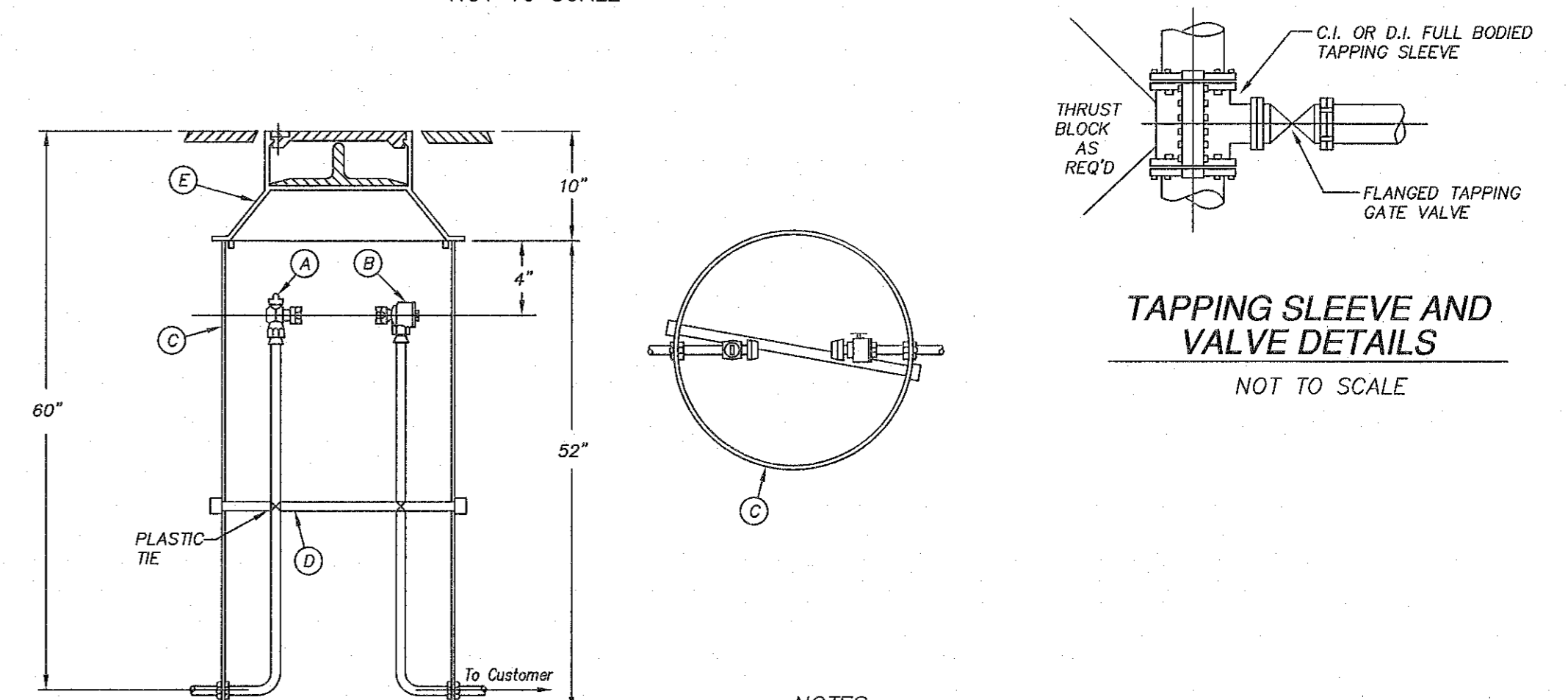


**TYPICAL LATERAL GATE VALVE CONNECTION DETAILS**  
NOT TO SCALE

BEARING AREAS OF THRUST BLOCKS (BEARING AREA IN SQUARE FT.)

PIPE SIZE INCHES	1/4 BEND	1/8 BEND	1/16 BEND OR LESS	PLUG TEES
6 AND 8	8	8	8	8
10 AND 12	22	13	8	16

**TYPICAL THRUST BLOCK DETAIL**  
NOT TO SCALE



**TAPPING SLEEVE AND VALVE DETAILS**  
NOT TO SCALE

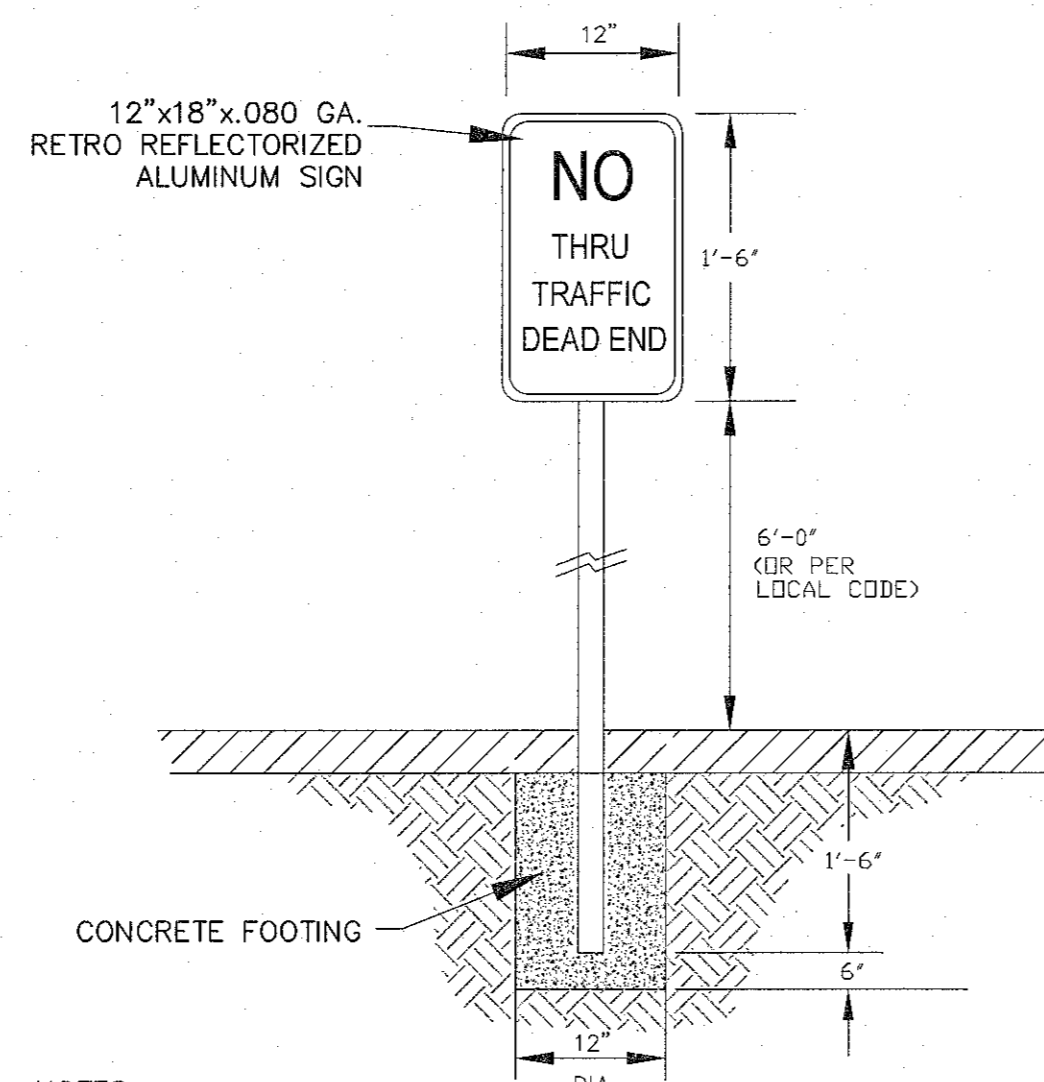
ITEM	DESCRIPTION	CAT No.
A	ANGLE BALL VALVE	BA13-232W
B	DUAL ANGLE CHECK VALVE	BA131-3230
C	20\"/>	
D	1/2\"/>	
E	METER BOX COVER & LID	W-3

\* ORDERED SEPARATELY

- NOTES:
- ALL SERVICE SHALL ENTER THE PIT AT A 90° ANGLE TO THE STREET.
  - TO BE USED FOR DWELLINGS WHICH EXCEED A DISTANCE OF 100' FROM FRONT PROPERTY LINES.
  - PLASTIC SERVICE PIPE MAY ONLY BE USED ON PRIVATE SIDE OF METER PIT.

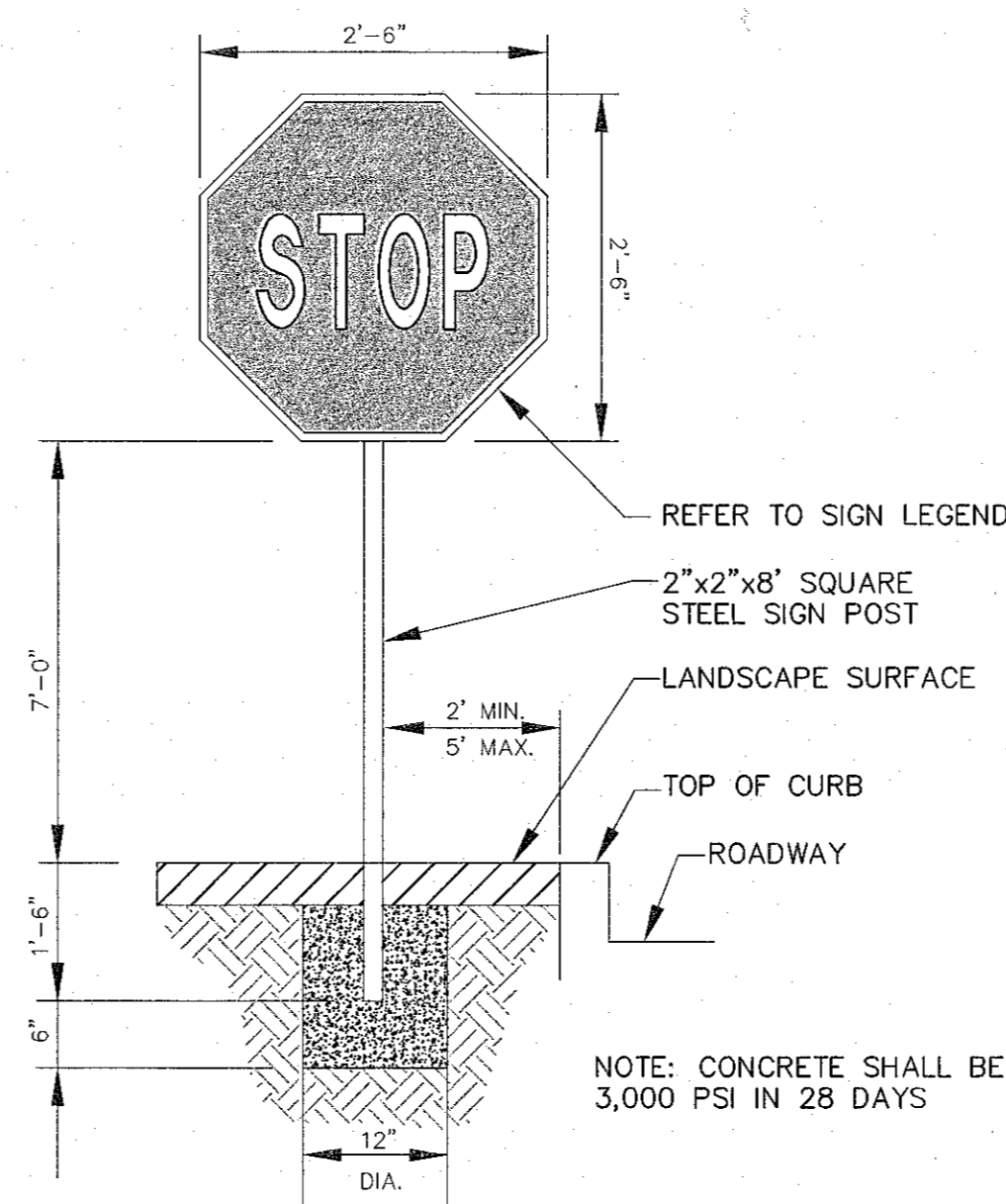
**METER PIT SPECIFICATIONS**  
NOT TO SCALE

- NOTES
- WATER SERVICES SHALL BE LAID AT LEAST 10'-0" HORIZONTALLY FROM SEWER LINES AND SERVICES OR FOLLOW "DEP 2001 GUIDELINES AND POLICIES FOR PUBLIC WATER SYSTEMS" REGARDING VERTICAL SEPARATION. SEWER CROSSINGS MUST PROVIDE A 0'-18" VERTICAL SEPARATION AND FOLLOW "DEP 2001 GUIDELINES AND POLICIES FOR PUBLIC WATER SYSTEMS".
  - WATER SERVICES GREATER THAN ONE HUNDRED (100) FEET IN LENGTH SHALL BE FIRST CONNECTED TO A WATER METER PIT LOCATED AT THE PROPERTY LINE.
  - NO BACKFILL WHATSOEVER SHALL BE PLACED UNTIL PERMITTED BY THE TOWN ENGINEER OR HIS/HER AGENT.
  - LEDGE, ROCK, BOULDERS AND LARGE STONES SHALL BE REMOVED TO PROVIDE A MINIMUM CLEARANCE OF 0'-6" BELOW AND ON EACH SIDE OF THE PIPE.
  - WATER SERVICES SHALL BE BEDDED ON A MINIMUM OF 0'-4" THOROUGHLY COMPACTED GRANULAR BEDDING CONSISTING OF COURSE SAND M.H.D. (M2.01.4). STONE DUST SHALL NOT BE USED AS BEDDING OR BACKFILL.
  - THE INITIAL BACKFILL MATERIAL WITHIN 0'-6" OF THE PIPE SHALL CONSIST OF COURSE SAND M.H.D. (M2.01.4).
  - DEBRIS, FROZEN MATERIAL, LARGE CLODS OR STONES, ORGANIC MATTER, OR OTHER MATERIAL DEEMED UNSUITABLE BY THE ENGINEER SHALL NOT BE USED AS BACKFILL WITHIN TWO (2) FEET OF THE TOP OF THE PIPE.
  - WATER SERVICES SHALL HAVE A MINIMUM COVER OF 5'-0" FROM THE TOP OF THE PIPE. SERVICES UNDER PAVED SURFACES OR SIDEWALKS SHALL BE FORMED OF SUCCESSIVE LAYERS NOT MORE THAN ONE (1) FOOT IN DEPTH, UNIFORMLY DISTRIBUTED AND EACH LAYER THOROUGHLY COMPACTED TO NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY OF THE MATERIAL. JACKING IS NOT ALLOWED.
  - NO PUDDLING OR JETTING IS ALLOWED WITHIN THE PUBLIC LAYOUT WITHOUT WRITTEN PERMISSION OF THE TOWN ENGINEER.



- NOTES:
- SPECIFIC CODE SHALL BE REFERENCED FOR LOCAL AND STATE REQUIREMENTS.
  - PROVIDED (1) SIGN PER HANDICAP SPACE. SEE SITE PLAN FOR EXACT LOCATION.

**NO THRU TRAFFIC SIGN**  
N.T.S.



**STOP SIGN DETAIL**  
(NOT TO SCALE)

- DETAIL SHEET NOTE:
- ALL DETAILS ARE SUBJECT TO CHANGE WITHOUT NOTICE. CHECK WITH THE TOWN OF WALPOLE PRIOR TO USING THESE DETAILS FOR THE MOST UP TO DATE REVISIONS.
  - IT IS THE DESIGNERS SOLE RESPONSIBILITY TO DETERMINE THE SUITABILITY OF A PARTICULAR DETAIL.

I TOWN CLERK OF THE TOWN OF WALPOLE RECEIVED & RECORDED FROM THE ZONING BOARD OF APPEALS, APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY  
ZONING BOARD OF APPEALS

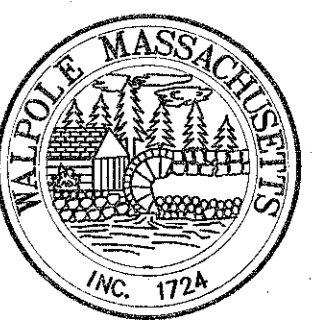
DATE APPROVED: \_\_\_\_\_  
DATE ENDORSED: \_\_\_\_\_

REV. #	DESCRIPTION	DATE	BY

**TOWN OF WALPOLE, MASSACHUSETTS  
DEPARTMENT OF PUBLIC WORKS  
PLAN SHOWING TYPICAL  
WATER MAIN CONSTRUCTION DETAILS**

**SPECIAL PERMIT & SITE DEVELOPMENT PLAN  
"UNION SQUARE VILLAGE"  
WALPOLE, MASSACHUSETTS**

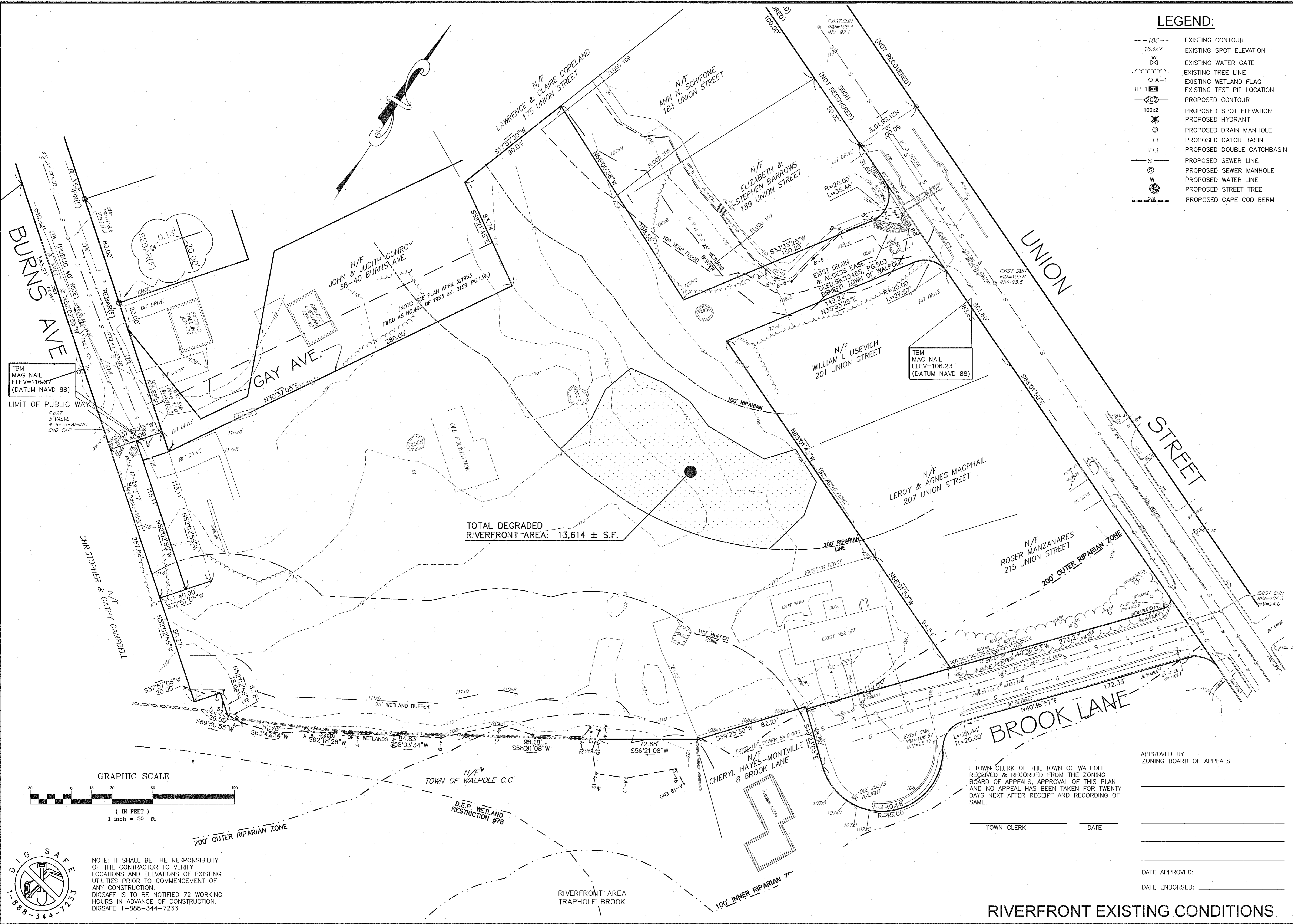
APPLICANT:  
WALL STREET DEVELOPMENT CORP.  
P.O. BOX 272  
WESTWOOD, MA 02090



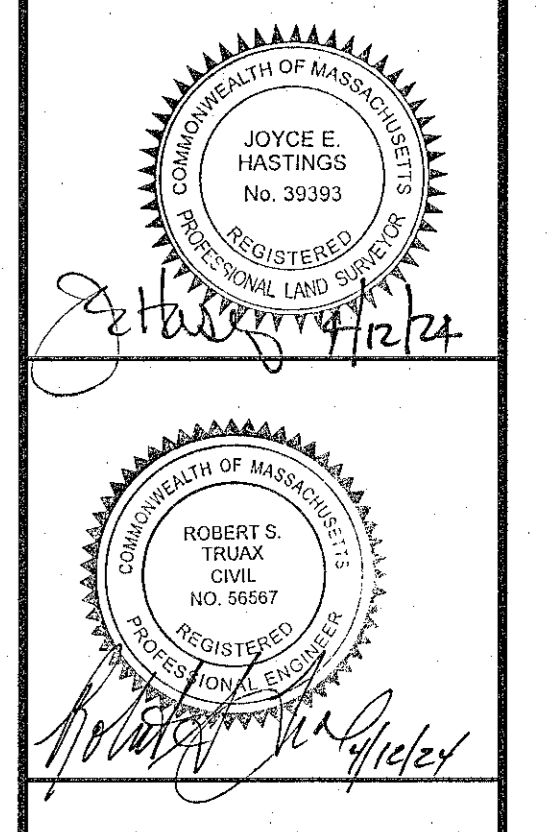
Town of Walpole

Date:	3-28-19
Scale:	AS SHOWN
Drawn By:	R. ROSA
Checked By:	C. JOHNSON
Appr. By:	M. WALKER





REVISIONS	DESCRIPTION	ENGINEERING COMMENTS
No. 1	DATE 4/12/2024	



**SPECIAL PERMIT & SITE DEVELOPMENT PLAN**  
**"UNION SQUARE VILLAGE"**  
**WALPOLE, MASSACHUSETTS**

APPLICANT:  
 WALL STREET DEVELOPMENT CORP.  
 P.O. BOX 272  
 WESTWOOD, MA 02090

**GLM Engineering Consultants, Inc.**  
 19 EXCHANGE STREET  
 HOLLISTON, MA 01746  
 P: 508-429-1100  
 F: 508-429-7160  
 www.GLMengineering.com

JOB No. 15,588  
 DATE: JAN. 24, 2024  
 SCALE: 1" = 30'  
 SHEET: SUP-A  
 PLAN #: 27,096



NORFOLK REGISTRY OF DEEDS

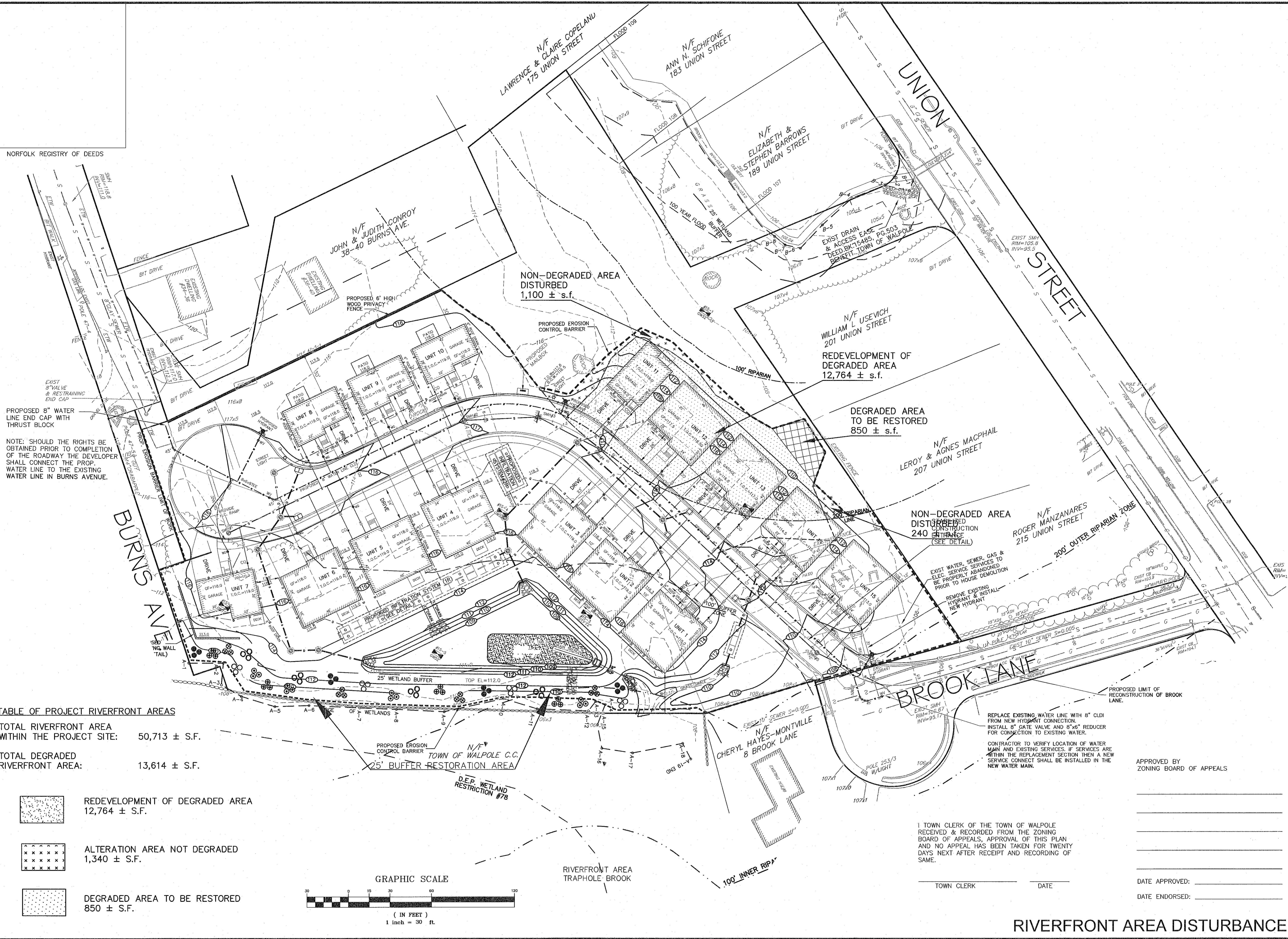
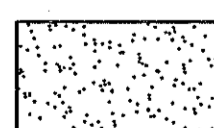
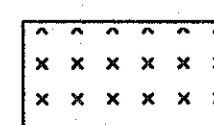
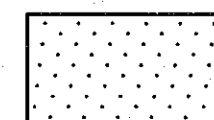
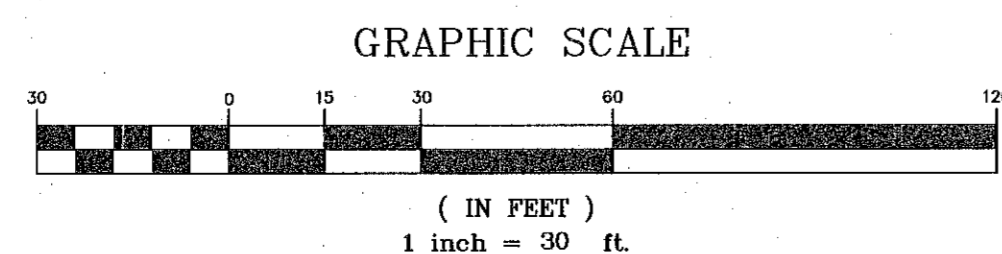


TABLE OF PROJECT RIVERFRONT AREAS

TOTAL RIVERFRONT AREA  
WITHIN THE PROJECT SITE: 50,713 ± S.F.

TOTAL DEGRADED  
RIVERFRONT AREA: 13,614 ± S.F.

-  REDEVELOPMENT OF DEGRADED AREA  
12,764 ± S.F.
-  ALTERATION AREA NOT DEGRADED  
1,340 ± S.F.
-  DEGRADED AREA TO BE RESTORED  
850 ± S.F.



REPLACE EXISTING WATER LINE WITH 8" CDI FROM NEW HYDRANT CONNECTION. INSTALL 8" GATE VALVE AND 8"x6" REDUCER FOR CONNECTION TO EXISTING WATER.

CONTRACTOR TO VERIFY LOCATION OF WATER MAIN AND EXISTING SERVICES. IF SERVICES ARE WITHIN THE REPLACEMENT SECTION THEN A NEW SERVICE CONNECT SHALL BE INSTALLED IN THE NEW WATER MAIN.

1 TOWN CLERK OF THE TOWN OF WALPOLE RECEIVED & RECORDED FROM THE ZONING BOARD OF APPEALS, APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

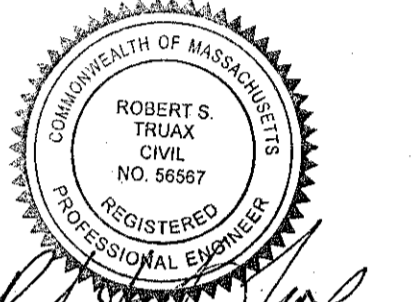
TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY ZONING BOARD OF APPEALS

\_\_\_\_\_  
DATE APPROVED: \_\_\_\_\_  
DATE ENDORSED: \_\_\_\_\_

RIVERFRONT AREA DISTURBANCE

REVISIONS	DESCRIPTION	DATE	ENGINEERING COMMENTS
No. 1		4/12/2024	



**SPECIAL PERMIT & SITE DEVELOPMENT PLAN**  
**"UNION SQUARE VILLAGE"**  
**WALPOLE, MASSACHUSETTS**

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JOB No. 15,588  
 DATE: JAN. 24, 2024  
 SCALE: 1" = 30'  
 SHEET: SUP-B  
 PLAN #: 27,096

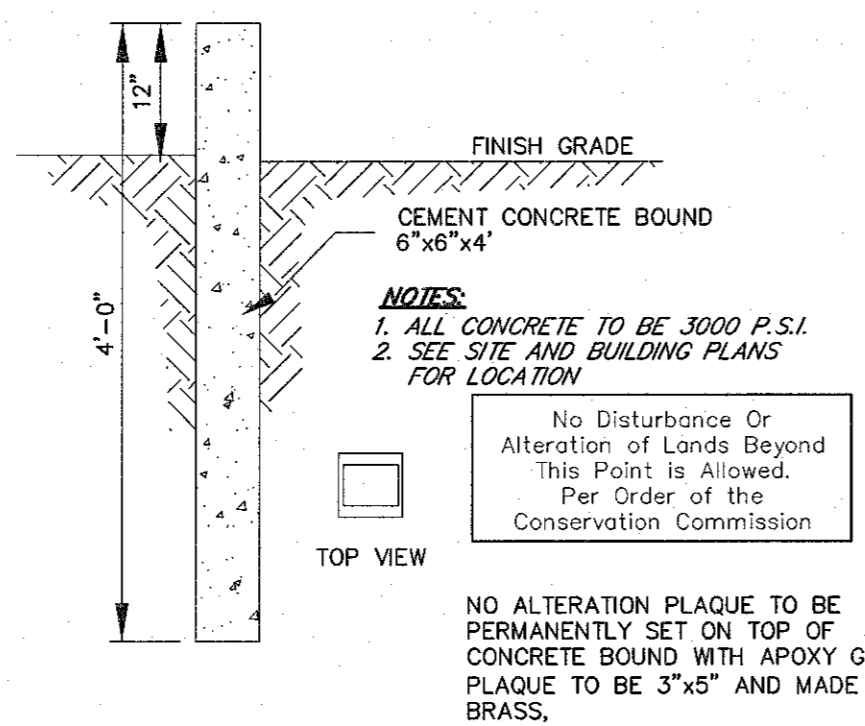


**Proposed 25' Buffer Zone Restoration Area Protocol**  
( 9,200 ± sf)

1. All metal and other solid waste debris will be removed from the area and properly disposed off-site;
2. The area will be graded to a stable slope;
3. The area will be covered with a minimum of 6 inches of high quality topsoil;
4. The area will be planted with native shrubs, minimum 1 gallon, container grown, as shown. Plant species will be from the following list (or other species as approved by WCC Staff prior to installation):
  - Highbush Blueberry *Vaccinium corymbosum*
  - Witch Hazel *Hamamelis virginiana*
  - Hazelnut *Corylus americana*
  - Maple-leaved viburnum *Viburnum acerifolium*
  - Flowering dogwood *Cornus florida*
  - Serviceberry *Amelanchier canadensis*
5. The area will be planted with New England wetland plants conservation/wildlife mix at 1750 sf/lb or approved substitute; and
6. The area will be watered as necessary during the first six weeks after planting.

**Riverfront Restoration Area (RFA) Protocol**

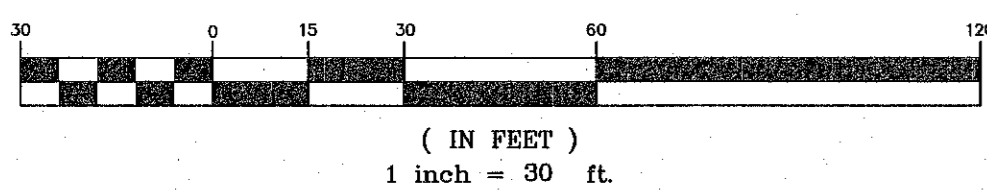
1. Remove and replace surficial degraded soils while retaining the extant trees to the degree feasible.
2. Upon removal of surficial soils, clean topsoil will be placed and spread with maximal care to minimize root damage and compression. A small rubber track vehicle will be used, with hand raking to finish the soil addition.
3. Disperse the area with approximately six (6) inches of clean, native leaf litter, either freshly gathered or moderately composted, to mimic the forest floor cover among the extant trees.



**CONCRETE WETLAND BOUND**  
(NO SCALE)

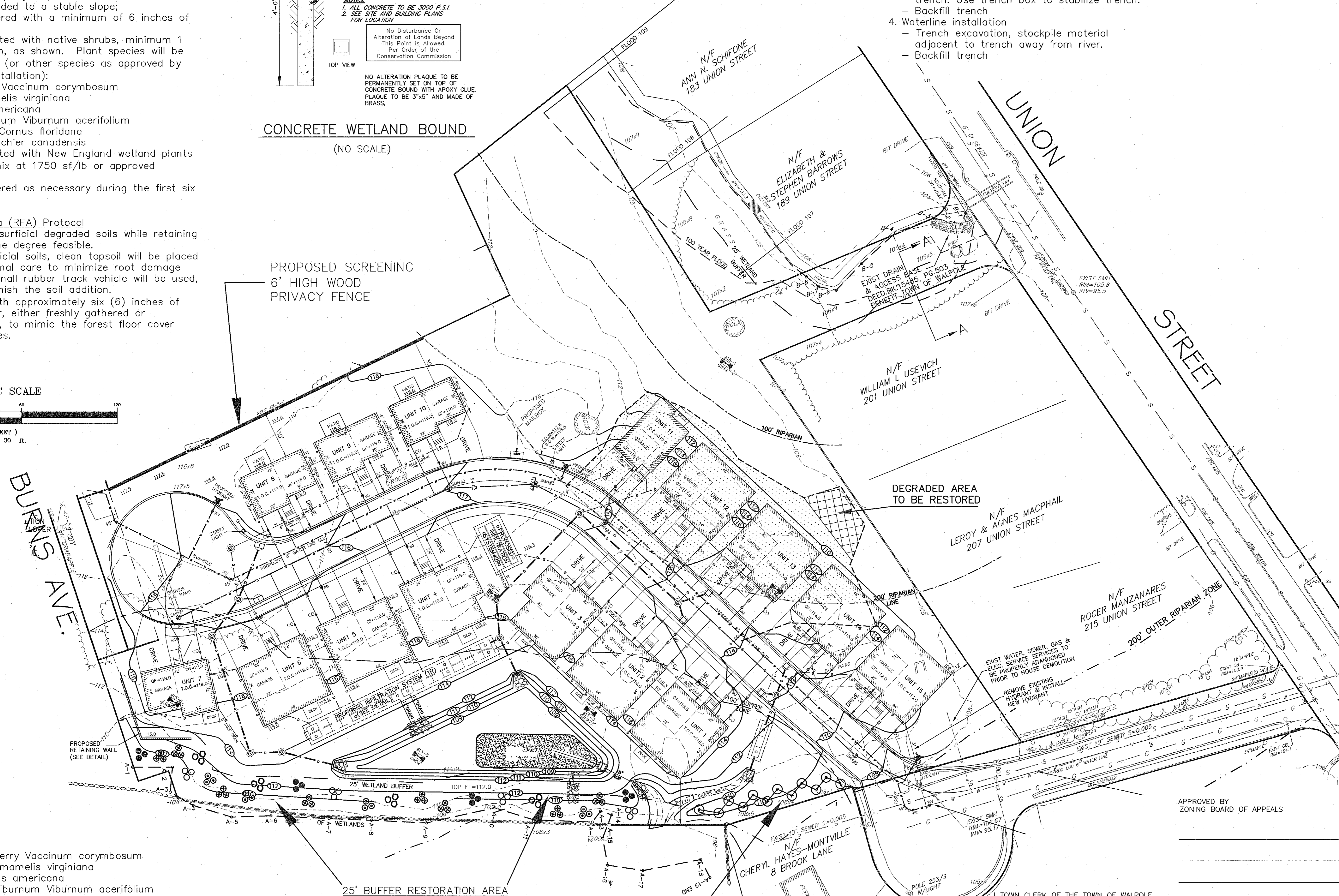
**PROPOSED SCREENING**  
6' HIGH WOOD  
PRIVACY FENCE

**GRAPHIC SCALE**



**CONSTRUCTION SEQUENCE (RIVERFRONT AREA)**

1. Stake limit of work, install erosion control barriers.
2. Cut trees, clear and grub
3. Install sewer line
  - Trench excavation, stockpile material adjacent trench. Use trench box to stabilize trench.
  - Backfill trench
4. Waterline installation
  - Trench excavation, stockpile material adjacent to trench away from river.
  - Backfill trench



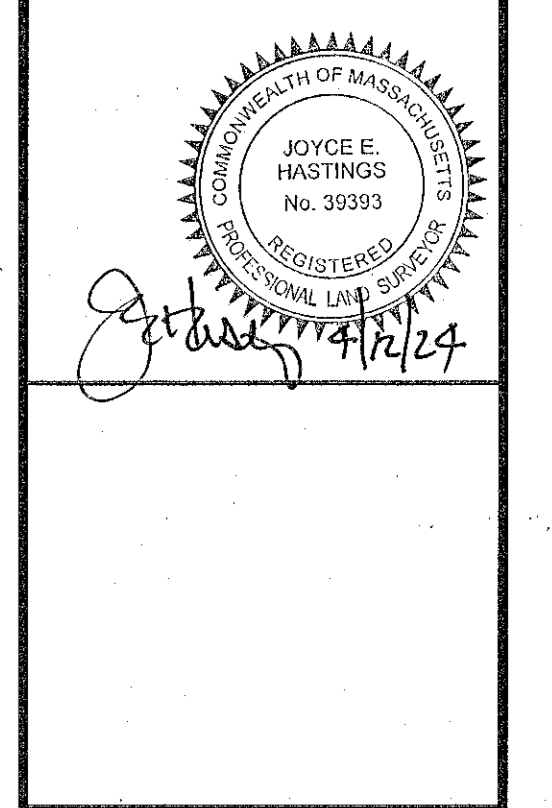
Sym	Qty	Description
⊙	12	- Highbush Blueberry <i>Vaccinium corymbosum</i>
⊙	12	- Witch Hazel <i>Hamamelis virginiana</i>
⊙	12	- Hazelnut <i>Corylus americana</i>
⊙	12	- Maple-leaved viburnum <i>Viburnum acerifolium</i>
⊙	12	- Flowering dogwood <i>Cornus florida</i>
⊙	12	- Serviceberry <i>Amelanchier canadensis</i>

Note:  
Shrubs will be planted in clusters of three (3) specimens of the same species at the locations shown, with minor deviations due to site conditions.

**PROPOSED SCREENING/PLANTING BUFFER PLANTS:**  
6'-8' Hgt. White Pines (*Pinus Stobus*)  
6'-8' Hgt. Norway Spruce (*Picea Abies*)  
Plant 2 Rows staggered at 10' O.C.

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_  
**RESTORATION AND PLANTING DETAILS**

REVISIONS	DATE	DESCRIPTION
No. 1	4/12/2024	ENGINEERING COMMENTS



**SPECIAL PERMIT & SITE DEVELOPMENT PLAN**  
**"UNION SQUARE VILLAGE"**  
**WALPOLE, MASSACHUSETTS**

APPLICANT:  
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JOB No.	15,588
DATE:	JAN. 24, 2024
SCALE:	1"= 30'
SHEET:	SUP-C
PLAN #:	27,096