

# SITE DEVELOPMENT PLAN A COMPREHENSIVE PERMIT M.G.L. c. 40B "THE RESIDENCES AT BURNS AVENUE" WALPOLE, MASSACHUSETTS

DATE: FEBRUARY 7, 2019

REVISED: MAY 29, 2019

JULY 11, 2019

SEPTEMBER 4, 2019

SEPTEMBER 25, 2019

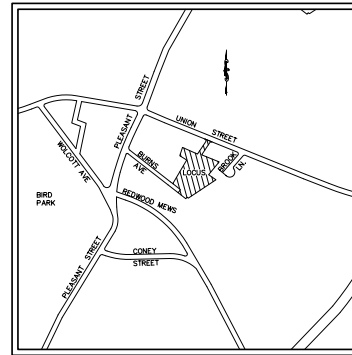
**ASSESSOR'S REFERENCE:**  
MAP 20, PARCEL 119  
MAP 20, PARCEL 136  
MAP 20, PARCEL 137

**PLAN REFERENCE:**  
PLAN No. 959 OF 1980, Bk. 5808, Pg. 530  
PLAN No. 1520 OF 1987, Bk. 382  
PLAN No. 990 OF 1954, Bk. 3279, Pg. 340

**ZONING CLASSIFICATION:**  
GENERAL RESIDENCE - GR  
FRONTAGE: 100 FT.  
SETBACKS:  
FRONT: 30'  
SIDE: 10'  
REAR: 30'

**OWNERS OF RECORD:**

1. MAP 20, PARCEL 119  
DEED REF: Bk. 34158, PG. 536  
WALL STREET DEV. CORP.  
P.O. BOX 272  
WESTWOOD, MA 02090
2. MAP 20, PARCEL 136  
DEED REF: Bk. 5808, PG. 530  
Bk. 30892, PG. 364  
WILLIAM & SUSAN FELTON  
48 BURNS AVE.  
WALPOLE, MA 02081
3. MAP 20, PARCEL 137  
DEED REF: Bk. 35653, PG. 276  
BURNS AVENUE DEVELOPMENT LLC  
2 WARTHIN CIRCLE  
NORWOOD, MA 02062



LOCUS MAP  
1"=600'

ZONING TABLE:		
	REQUIRED	PROPOSED
LOT AREA:	140,000 S.F.	140,836 S.F.
UPLAND AREA:	84,000 SF(60%)	139,606 SF(99.1%)
LOT FRONTAGE:	100 FT.	100.00 FT. (Burns Ave.)
<b>YARD SETBACKS:</b>		
FRONT:	30 FT.	25.0 FT.
SIDE:	10 FT.	14.0 FT.
REAR:	30 FT.	40.2 FT.
LOT COVERAGE:	30 %	15.8 %
STRUCTURES:	(42,000 sf)	(22,175 sf)
LOT COVERAGE:	50 %	34.5 %
IMPERVIOUS:	(70,000 sf)	(48,852 sf)
MAX BLDG HEIGHT:	35 FT.	35 FT.
MAX STOREYS:	2.5	2.5

**DWELLING UNITS ALLOWED:**  
Zoning: 30,000 sf (Three Family; 10,000 sf. each additional unit)  
140,836 s.f.: 14 UNITS  
PROPOSED UNITS: 32 UNITS

Prepared By:  
**GLM ENGINEERING**  
CONSULTANTS, INC.  
19 EXCHANGE STREET  
HOLLISTON, MASSACHUSETTS 01746  
(508)429-1100 fax:(508)429-7160

**Applicant:**  
WALL STREET DEVELOPMENT CORP.  
P.O. BOX 272  
WESTWOOD, MASSACHUSETTS 02090

JOYCE E. HASTINGS, P.L.S. \_\_\_\_\_ DATE \_\_\_\_\_

PAUL E. TRIAX, P.E. \_\_\_\_\_ DATE \_\_\_\_\_

SHEET INDEX

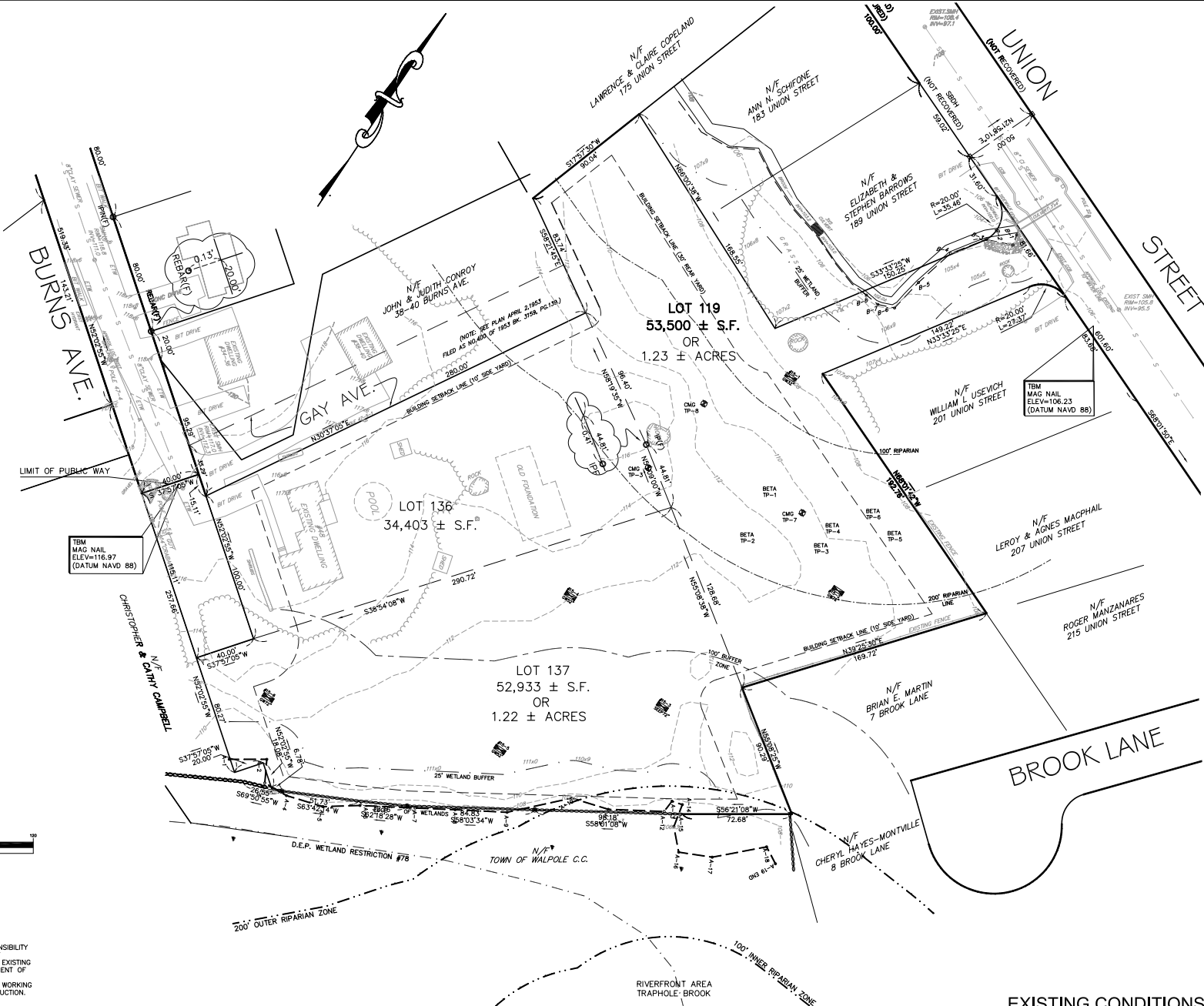
- 1 COVER
- 2 EXISTING CONDITIONS
- 3 LAYOUT PLAN
- 4 GRADING, DRAINAGE & UTILITIES
- 5 PROFILES
- 6 EROSION CONTROL PLAN
- 8-12 DETAILS
- SUP-A RIVERFRONT EXISTING CONDITIONS
- SUP-B RIVERFRONT AREA DISTURBANCE
- SUP-C RESTORATION AND PLANTING DETAILS

JOB No.	15588
SCALE:	AS NOTED
DATE:	FEBRUARY 7, 2019
SHEET No.	1 of 12

ASSESSOR'S REFERENCE:  
 MAP 20, PARCEL 119  
 MAP 20, PARCEL 136  
 MAP 20, PARCEL 137

PLAN REFERENCE:  
 PLAN No. 559 OF 1980, BK. 5808, PG. 530  
 PLAN No. 1520 OF 1987, BK. 362  
 PLAN No. 990 OF 1954, BK. 3279, PG. 340

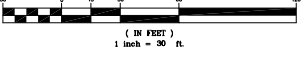
ZONING CLASSIFICATION:  
 GENERAL RESIDENCE - GR  
 FRONTAGE: 100 FT.  
 SETBACKS:  
 FRONT: 30'  
 SIDE: 10'  
 REAR: 30'



**LEGEND:**

- 186 --- EXISTING CONTOUR
- 16.3x2 EXISTING SPOT ELEVATION
- EXISTING WATER GATE
- EXISTING TREE LINE
- A-1 EXISTING WETLAND FLAG
- TP 1 EXISTING TEST PIT LOCATION
- PROPOSED CONTOUR
- 109.2 PROPOSED SPOT ELEVATION
- PROPOSED HYDRANT
- PROPOSED DRAIN MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED DOUBLE CATCHBASIN
- PROPOSED SEWER LINE
- PROPOSED SEWER MANHOLE
- PROPOSED WATER LINE
- PROPOSED STREET TREE
- PROPOSED CAPE COD BERM

**GRAPHIC SCALE**



NOTE: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. DIGSAFE IS TO BE NOTIFIED 72 WORKING HOURS IN ADVANCE OF CONSTRUCTION. DIGSAFE 1-888-344-7233

REV. NO.	DATE	DESCRIPTION
1	5/29/19	Can Com Review Comments
2	7/11/19	Can Com Review Comments
3	9/04/19	Can Com Riverfront Area
4	9/25/19	Can Com Riverfront Area (2 Linfs)

NO.	DATE	DESCRIPTION
1	5/29/19	Can Com Review Comments
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4	9/25/19	Can Com Riverfront Area (2 Linfs)

**SITE DEVELOPMENT PLAN**  
**A COMPREHENSIVE PERMIT M.G.L.C. 40B**  
**"THE RESIDENCES AT BURNS AVENUE"**  
**WALPOLE, MASSACHUSETTS**

APPLICANT:  
 WALL STREET DEVELOPMENT CORP.  
 100 DODD ST., SUITE 200  
 WESTWOOD, MA 02090

**GLM** Engineering Consultants, Inc.  
 19 EXCHANGE STREET  
 HOLLISTON, MA 01746  
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 F: 508-429-7160  
 www.GLMengineering.com

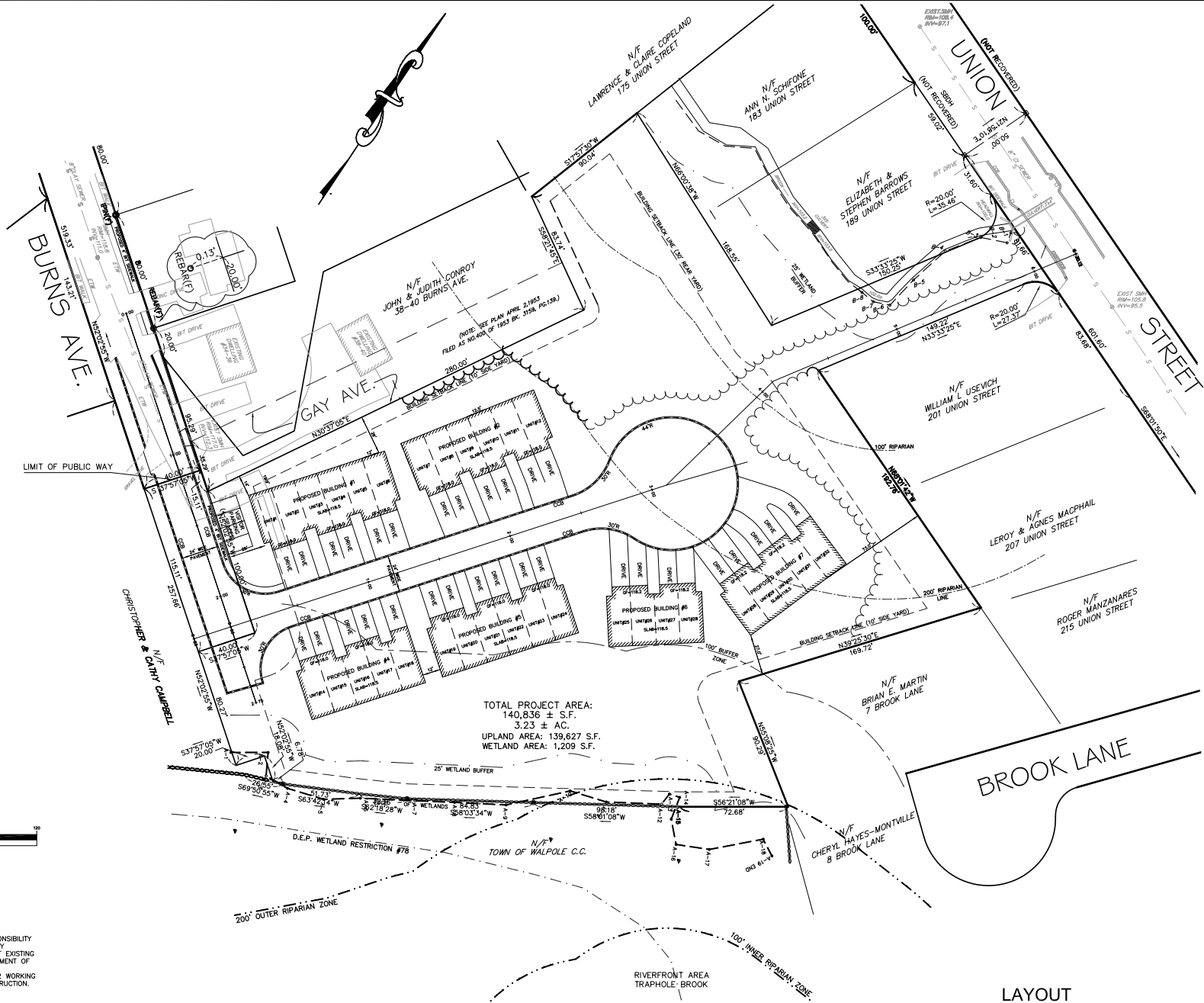
DRW: RST
JOB No. 15.588
DATE: FEB. 7, 2019
SCALE: 1" = 30'
SHEET: 2 of 12
PLAN #: 27,096

ASSESSOR'S REFERENCE:  
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 MAP 20, PARCEL 137

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 PLAN No. 990 OF 1984, Bk. 3279, Pg. 340

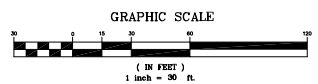
ZONING CLASSIFICATION:  
 GENERAL RESIDENCE - OR

FRONTAGE: 100 FT.  
 SETBACKS:  
 FRONT: 30'  
 SIDE: 10'  
 REAR: 30'



TOTAL PROJECT AREA:  
 140,836 ± S.F.  
 3.23 ± AC.  
 UPLAND AREA: 139,627 S.F.  
 WETLAND AREA: 1,209 S.F.

- LEGEND:**
- 186 --- EXISTING CONTOUR
  - 16.3x2 EXISTING SPOT ELEVATION
  - EXISTING WATER GATE
  - EXISTING TREE LINE
  - A-1 EXISTING WETLAND FLAG
  - TP 1 EXISTING TEST PIT LOCATION
  - PROPOSED CONTOUR
  - 159x2 PROPOSED SPOT ELEVATION
  - PROPOSED HYDRANT
  - PROPOSED DRAIN MANHOLE
  - PROPOSED CATCH BASIN
  - PROPOSED DOUBLE CATCHBASIN
  - PROPOSED SEWER LINE
  - PROPOSED SEWER MANHOLE
  - PROPOSED WATER LINE
  - PROPOSED STREET TREE
  - PROPOSED CAPE COD BERM



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4	9/25/19	Con Com Riverfront Area (2 Units)

NO.	DATE	DESCRIPTION

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PLAN #: 27,096

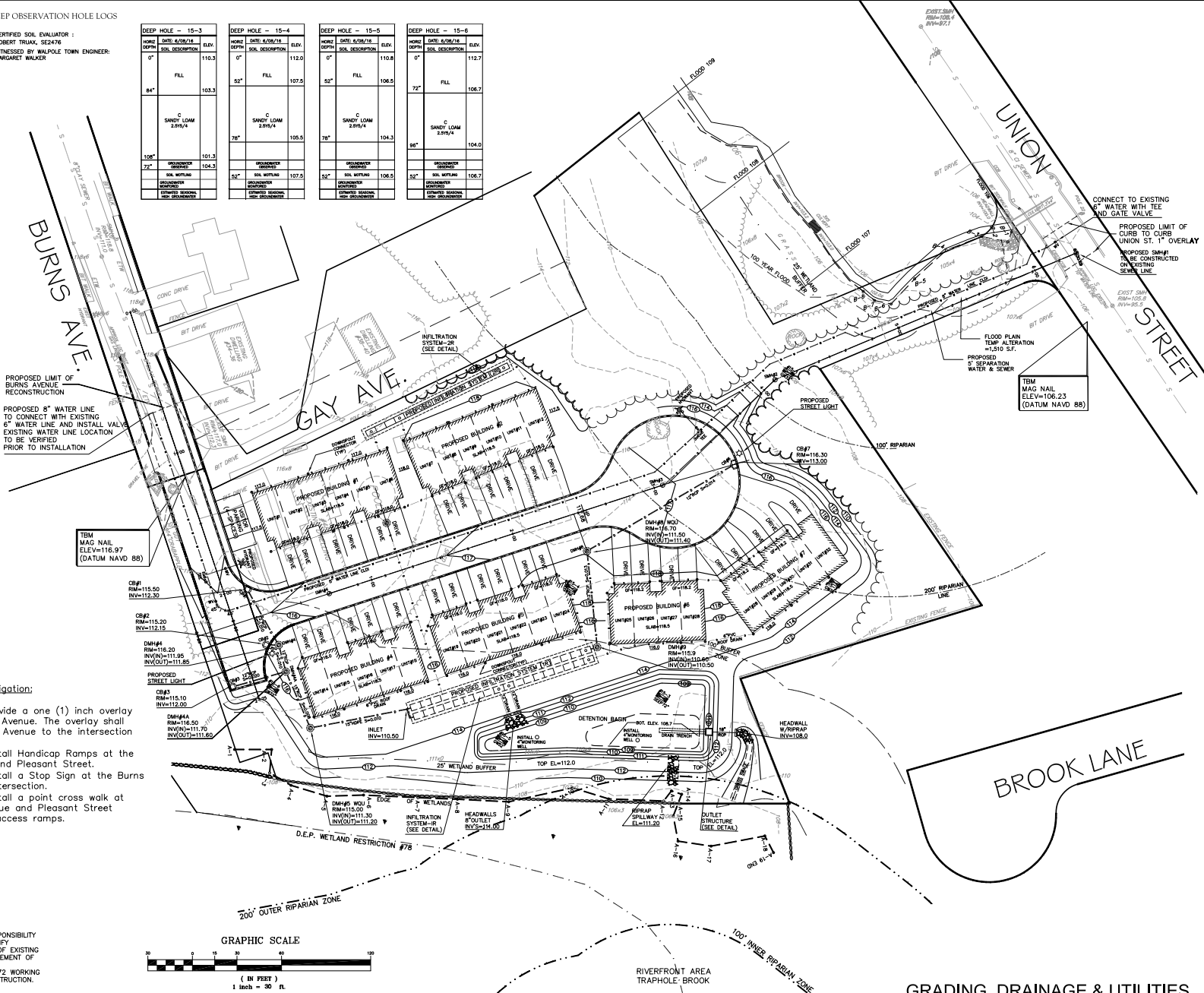
LAYOUT

DEEP HOLE - 15-1			DEEP HOLE - 15-2		
HORIZ. DEPTH	DATE 6/09/18	ELEV.	HORIZ. DEPTH	DATE 6/09/18	ELEV.
0"		108.0	0"		111.0
4"			4"		
34"		105.1	72"		105.0
74"		101.8			
34"		105.1	72"		105.0
34"		105.1	72"		105.0

DEEP OBSERVATION HOLE LOGS

CERTIFIED SOIL EVALUATOR :  
ROBERT TRUAX, SE2476  
WITNESSED BY WALPOLE TOWN ENGINEER:  
MARGARET WALKER

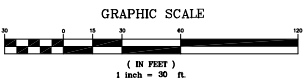
DEEP HOLE - 15-3			DEEP HOLE - 15-4			DEEP HOLE - 15-5			DEEP HOLE - 15-6		
HORIZ. DEPTH	DATE 6/09/18	ELEV.	HORIZ. DEPTH	DATE 6/09/18	ELEV.	HORIZ. DEPTH	DATE 6/09/18	ELEV.	HORIZ. DEPTH	DATE 6/09/18	ELEV.
0"		110.3	0"		112.0	0"		110.8	0"		112.7
84"		103.3	52"		107.5	52"		106.5	72"		106.7
108"		101.3							98"		104.0
88"		103.0									
72"		104.5									
52"		107.5	52"		106.5	52"		106.7	52"		106.7



LEGEND:

- 1.66 -- EXISTING CONTOUR
- 16.5/2 EXISTING SPOT ELEVATION
- EXISTING WATER GATE
- EXISTING TREE LINE
- A-1 EXISTING WETLAND FLAG
- TP 1 EXISTING TEST PIT LOCATION
- PROPOSED CONTOUR
- 109x2 PROPOSED SPOT ELEVATION
- PROPOSED HYDRANT
- PROPOSED DRAIN MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED DOUBLE CATCH BASIN
- S PROPOSED SEWER LINE
- PROPOSED SEWER MANHOLE
- W PROPOSED WATER LINE
- PROPOSED STREET TREE
- PROPOSED CAPE COD BERM
- SS PROPOSED SEWER SERVICE
- WS PROPOSED WATER SERVICE

- Proposed offsite Burn's Avenue mitigation:
- The developer/owner shall provide a one (1) inch overlay for the entire length of Burn's Avenue. The overlay shall extend from the end of Burn's Avenue to the intersection of Pleasant Street.
  - The developer/owner shall install Handicap Ramps at the intersection of Burn's Avenue and Pleasant Street.
  - The developer/owner shall install a Stop Sign at the Burn's Avenue and Pleasant Street intersection.
  - The developer/owner shall install a point cross walk at the intersection of Burn's Avenue and Pleasant Street connecting the new handicap access ramps.



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1	5/29/19	Con Com Review Comments
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4	9/25/19	Con Com Riverfront Area (32 Units)

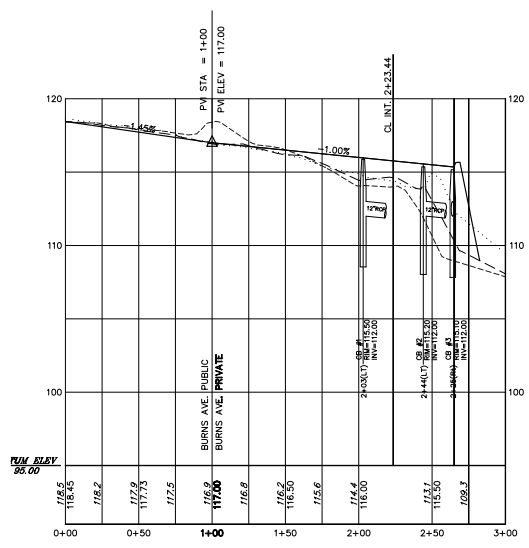
CONNECT TO EXISTING 8" WATER WITH REE AND GATE VALVE.  
PROPOSED LIMIT OF CURB TO CURB UNION ST. 1" OVERLAY  
PROPOSED SIGN TO BE CONSTRUCTED ON EXISTING SEWER LINE.  
EXIST. SIGN RM=105.4 INV=85.5  
FLOOD PLAN TEMP ALTERATION +1.00 S.F.  
PROPOSED 4" SEPARATION WATER & SEWER  
TBM MAG NAIL ELEV=106.23 (DATUM NAVD 88)

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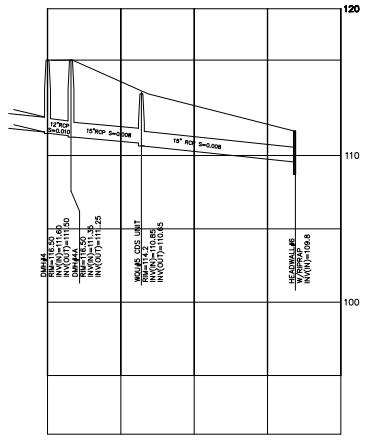
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DRW.:	rst
JOB No.:	15.588
DATE:	FEB. 7, 2019
SCALE:	1" = 30'
SHEET:	4 of 12
PLAN #:	27,096

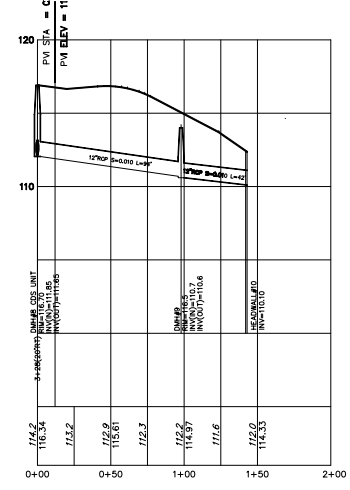
GRADING, DRAINAGE & UTILITIES



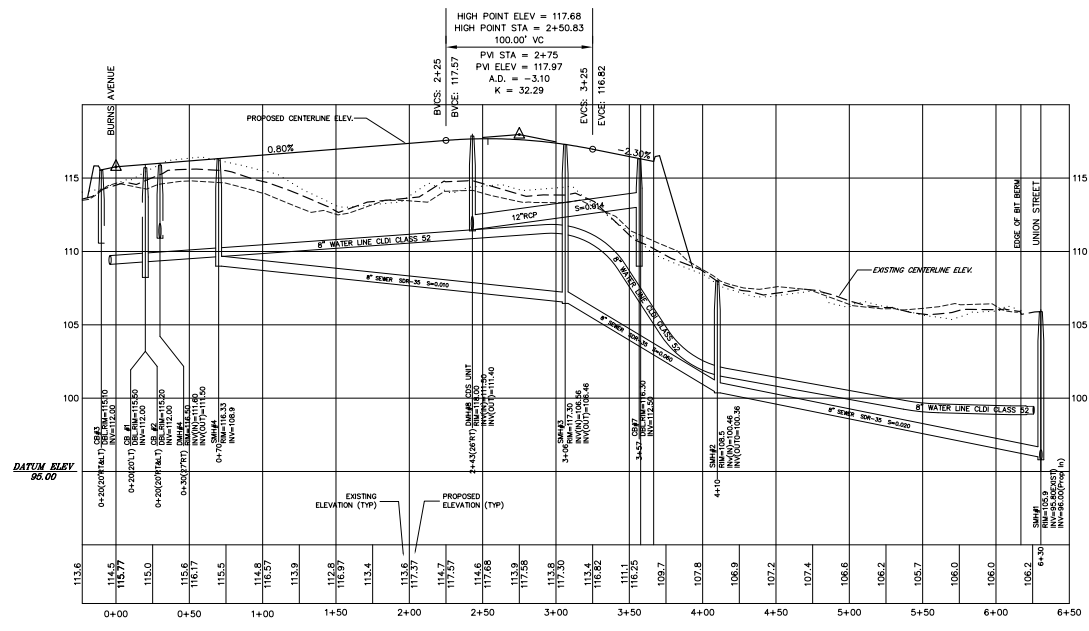
PROFILE BURNS AVE.  
SCALE: Horiz: 1"=40'; Vert: 1"=4'



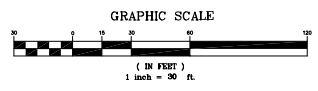
PROFILE DRAIN LINE  
DMH#4 TO HEADWALL#6  
SCALE: Horiz: 1"=40'; Vert: 1"=4'



PROFILE DRAIN LINE  
DMH#8 TO HEADWALL#10  
SCALE: Horiz: 1"=40'; Vert: 1"=4'



PROFILE DRIVE 'A'  
SCALE: Horiz: 1"=40'; Vert: 1"=4'



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1	5/29/19	Con Com Review Comments
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3	9/04/19	Con Com Review Area
4	9/25/19	Con Com Review Area (32 Units)

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DRW: rst
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DATE: FEB. 7, 2019
SCALE: 1" = 30'
SHEET: 5 of 12
PLAN #: 27,096

PROFILE PLAN

**EROSION CONTROL MAINTENANCE:**

THE CONTRACTOR SHALL HAVE ON THE SITE AN ADEQUATE QUANTITY OF SUPPLEMENTAL HAYBALES, SILT FENCE AND STAKES TO BE USED FOR CONTROL OF EMERGENCY EROSION PROBLEMS. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER A STORM EVENT OF 1" INCH OR GREATER.

**DEWATERING:**

PUMPING AND DEWATERING SHALL BE DONE IN A MANNER WHICH WILL NOT DISCHARGE ANY SILT AND SEDIMENT INTO A RESOURCE AREA, DISCHARGES FROM A DEWATERING CONSTRUCTION PROCEDURE WILL BE FILTERED THROUGH A SILTATION BASIN CONSTRUCTED UPSTREAM FROM THE WORK SITE. THE SILTATION BASIN SHALL BE A DEPRESSION SURROUNDED BY A HAYBALE DIKE OR SILT FENCE. OVERFLOW FROM THE BASIN SHALL BE PLANNED TO BE LOCATED OVER THICKLY AND NATURALLY MULCHED UPLAND AREA. ALL BASINS SHALL BE LOCATED AT LEAST 100 FEET UPSLOPE FROM ANY WETLAND RESOURCE AREA.

**STOCKPILING:**

STOCKPILE MATERIAL SHALL STORED IN THE AREAS DESIGNATED. ALL STOCKPILES AREAS SHALL BE SECURED AROUND THE PERIMETER WITH HAYBALE DIKE OR SILT FENCE.

**EROSION CONTROL NOTES**

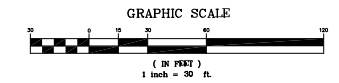
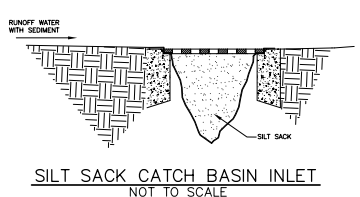
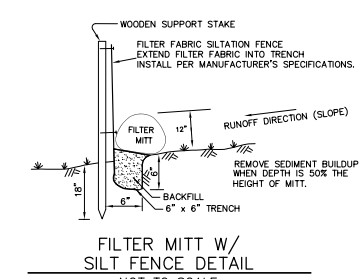
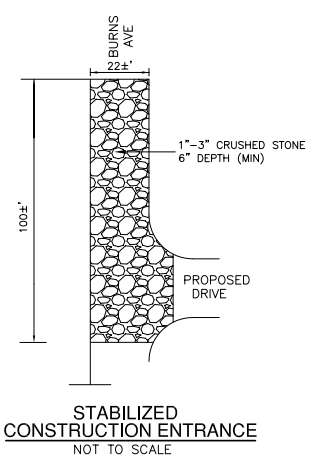
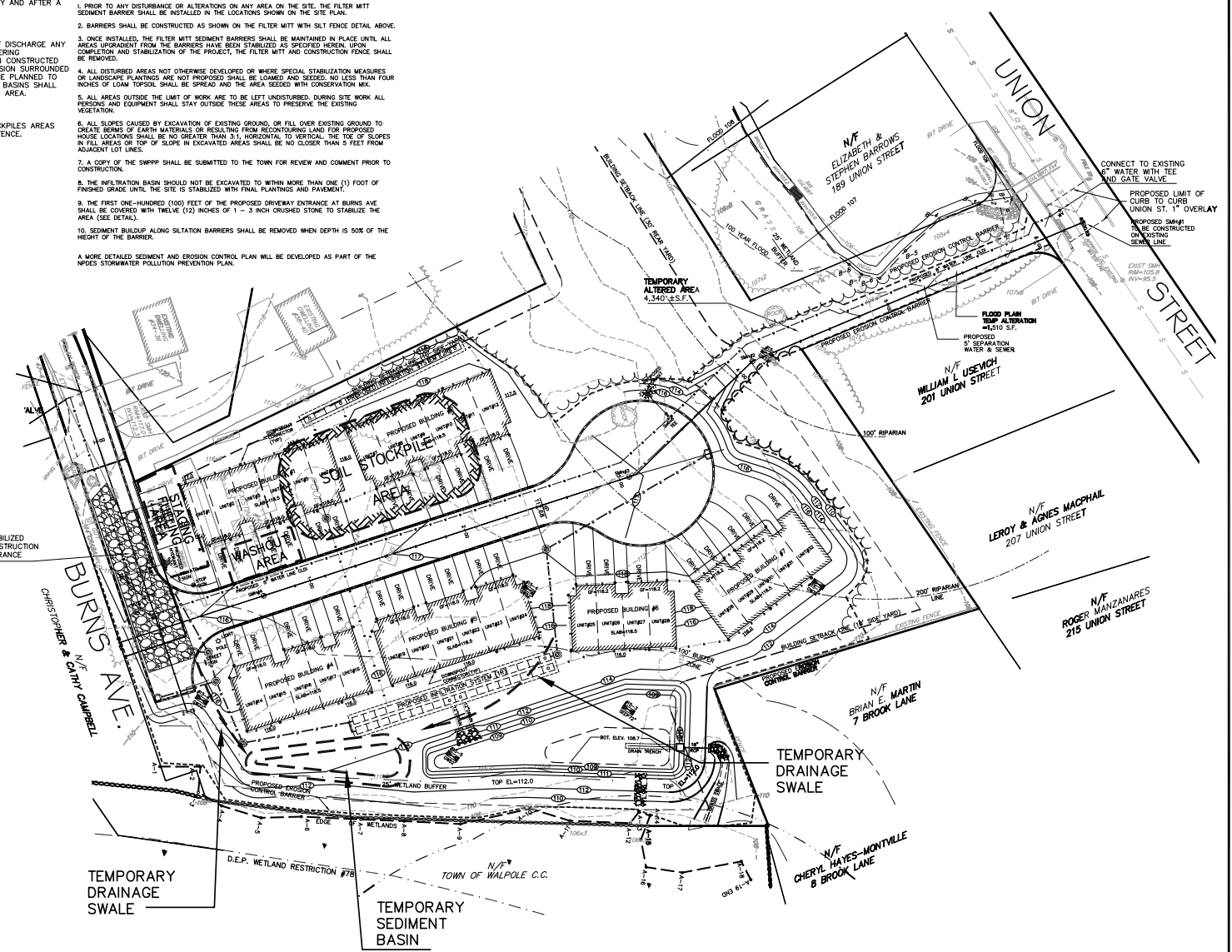
THE FOLLOWING EROSION CONTROL SPECIFICATIONS ARE IN EFFECT WHEN SITE ALTERATION WORK IS CONTEMPLATED TO PREVENT DOWN GRADIENT OR ADJACENT AREAS FROM BEING ADVERSELY IMPACTED.

1. PRIOR TO ANY DISTURBANCE OR ALTERATIONS ON ANY AREA ON THE SITE, THE FILTER MITT SEDIMENT BARRIER SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE SITE PLAN.
2. BARRIERS SHALL BE CONSTRUCTED AS SHOWN ON THE FILTER MITT WITH SILT FENCE DETAIL ABOVE.
3. ONCE INSTALLED, THE FILTER MITT SEDIMENT BARRIERS SHALL BE MAINTAINED IN PLACE UNTIL ALL AREAS UPSTREAM FROM THE BARRIERS HAVE BEEN STABILIZED AS SPECIFIED HEREIN. UPON COMPLETION AND STABILIZATION OF THE PROJECT, THE FILTER MITT AND CONSTRUCTION FENCE SHALL BE REMOVED.
4. ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED OR WHERE SPECIAL STABILIZATION MEASURES OR LANDSCAPE PLANTINGS ARE NOT PROVIDED SHALL BE LOAMED AND SEEDED. NO MORE THAN FOUR INCHES OF LOAM TOPSOIL SHALL BE SPREAD AND THE AREA SEEDED WITH CONSERVATION MIX.
5. ALL AREAS OUTSIDE THE LIMIT OF WORK ARE TO BE LEFT UNDISTURBED. DURING SITE WORK ALL PERSONS AND EQUIPMENT SHALL STAY OUTSIDE THESE AREAS TO PRESERVE THE EXISTING VEGETATION.
6. ALL SLOPES CAUSED BY EXCAVATION OF EXISTING GROUND, OR FILL OVER EXISTING GROUND TO CREATE BERMS OF EARTH MATERIALS OR RESULTING FROM RECONSTRUCTING LAND FOR PROPOSED HOUSE LOCATIONS SHALL BE NO GREATER THAN 3:1 HORIZONTAL TO VERTICAL. THE TOE OF SLOPES IN FILL AREAS OR TOP OF SLOPE IN EXCAVATED AREAS SHALL BE NO CLOSER THAN 5 FEET FROM ADJACENT LOT LINES.
7. A COPY OF THE SHPPP SHALL BE SUBMITTED TO THE TOWN FOR REVIEW AND COMMENT PRIOR TO CONSTRUCTION.
8. THE INFILTRATION BASIN SHOULD NOT BE EXCAVATED TO WITHIN MORE THAN ONE (1) FOOT OF FINISHED GRADE UNTIL THE SITE IS STABILIZED WITH FINAL PLANTINGS AND PAYMENT.
9. THE FIRST ONE-HUNDRED (100) FEET OF THE PROPOSED DRIVEWAY ENTRANCE AT BURNS AVE SHALL BE COVERED WITH TWELVE (12) INCHES OF 1 - 3 INCH CRUSHED STONE TO STABILIZE THE AREA (SEE DETAIL).
10. SEDIMENT BUILDUP ALONG SILTATION BARRIERS SHALL BE REMOVED WHEN DEPTH IS 50% OF THE HEIGHT OF THE BARRIER.

A MORE DETAILED SEDIMENT AND EROSION CONTROL PLAN WILL BE DEVELOPED AS PART OF THE WPOES STORMWATER POLLUTION PREVENTION PLAN.

**GENERAL NOTES:**

1. THERE SHALL BE NO STORAGE OF SALT OR DEICING MATERIALS ON SITE.



REVISIONS		DESCRIPTION
NO.	DATE	
1	5/29/19	Con Com Review Comments
2	7/11/19	Con Com Review Comments
3	9/04/19	Con Com Review from Area
4	9/25/19	Con Com Review from Area (2 Jtts)

CONNECT TO EXISTING 6" WATER WITH REE AND GATE VALVE.  
 PROPOSED LIMIT OF CURB TO CURB UNION ST. 1" OVERLAY  
 PROPOSED SHAIR TO BE CONSTRUCTED ON EXISTING SEWER LINE.  
 EXIST. SHIR: 20W-1025, 20W-85.3

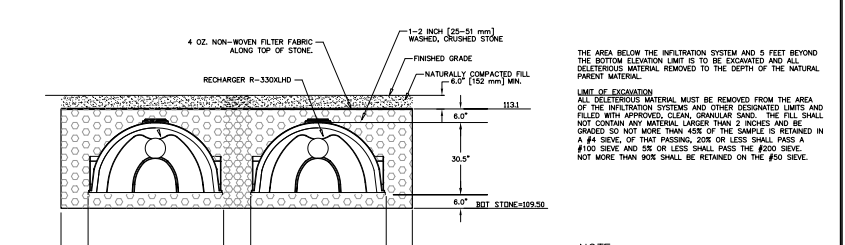
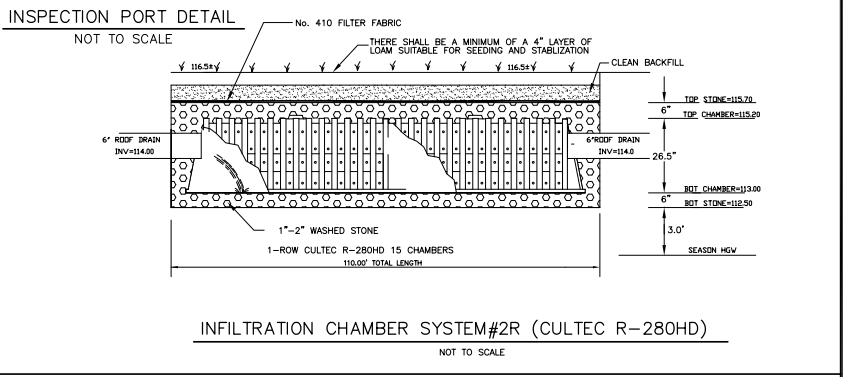
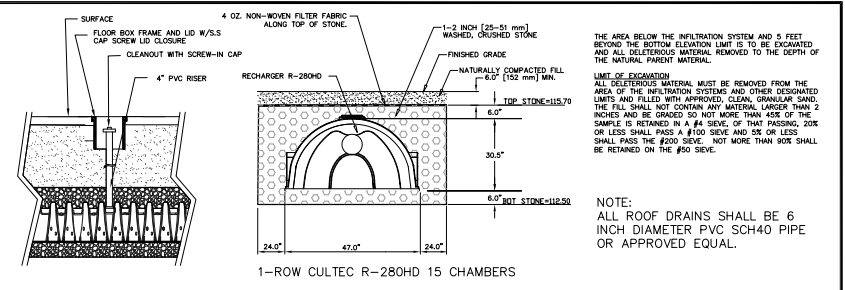
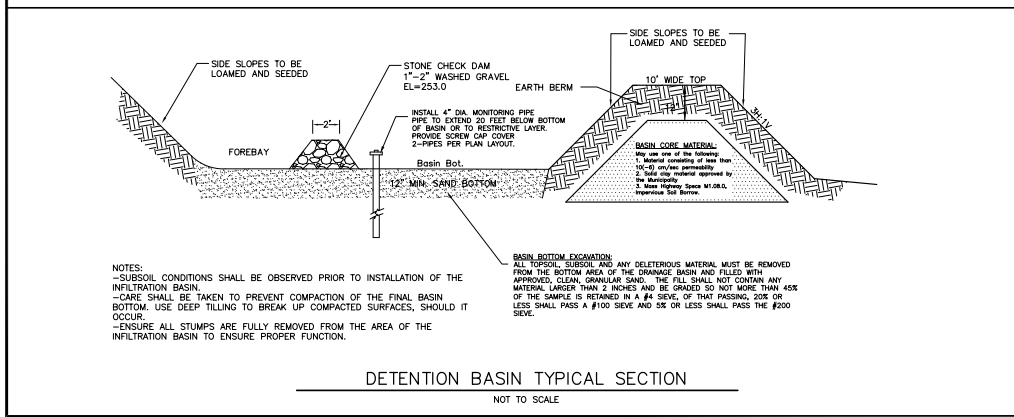
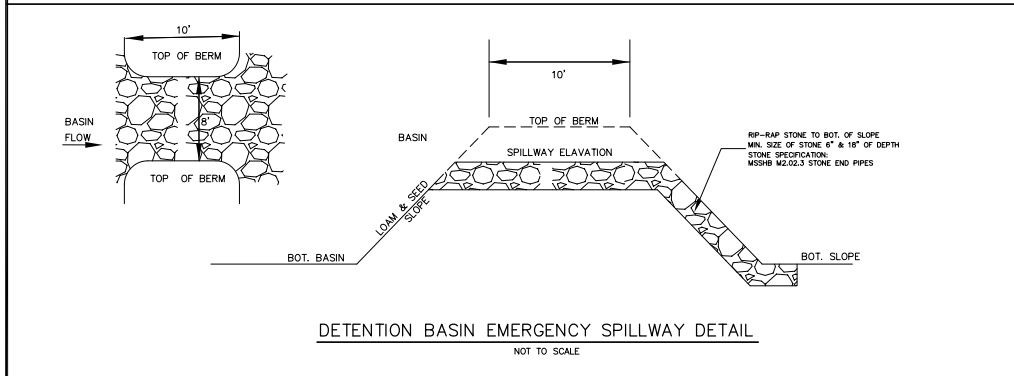
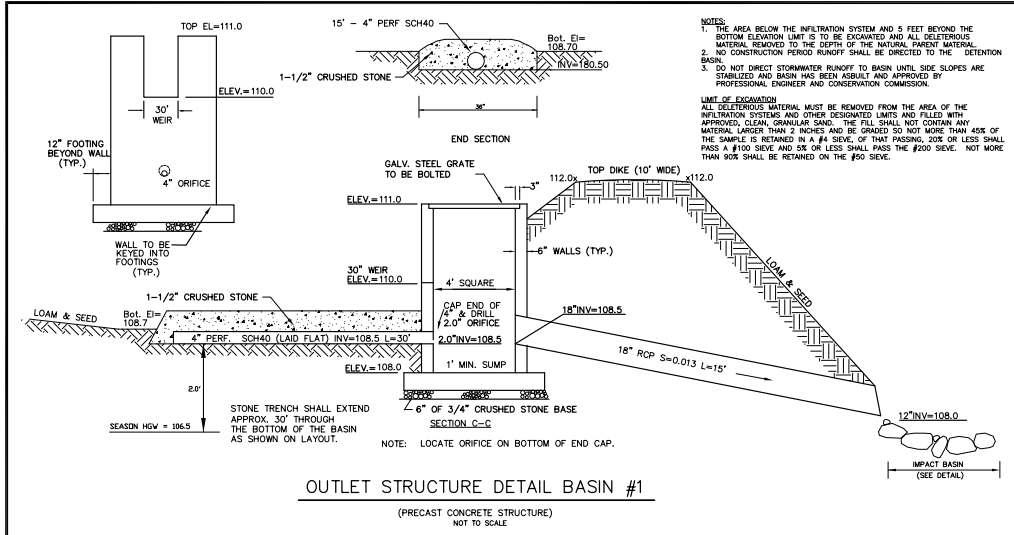
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 DATE: FEB. 7, 2019  
 SCALE: 1" = 30'  
 SHEET: 6 of 12  
 PLAN #: 27,096

**EROSION CONTROL**



**NOTES:**  
1. THE AREA BELOW THE INFILTRATION SYSTEM AND 5 FEET BEYOND THE BOTTOM ELEVATION LIMIT IS TO BE EXCAVATED AND ALL DELETERIOUS MATERIAL REMOVED TO THE DEPTH OF THE NATURAL PARENT MATERIAL.  
2. NO CONSTRUCTION PERIOD RUNOFF SHALL BE DIRECTED TO THE DETENTION BASIN.  
3. DO NOT DIRECT STORMWATER RUNOFF TO BASIN UNTIL SIDE SLOPES ARE STABILIZED AND BASIN HAS BEEN ASBUILT AND APPROVED BY PROFESSIONAL ENGINEER AND CONSERVATION COMMISSION.

**LIMIT OF EXCAVATION:**  
ALL DELETERIOUS MATERIAL MUST BE REMOVED FROM THE AREA OF THE INFILTRATION SYSTEMS AND OTHER DESIGNATED LIMITS AND FILLED WITH APPROVED, CLEAN, GRANULAR SAND. THE FILL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN 2 INCHES AND BE GRADED SO NOT MORE THAN 45% OF THE SAMPLE IS RETAINED IN A #4 SIEVE, OF THAT PASSING, 20% OR LESS SHALL PASS A #100 SIEVE AND 5% OR LESS SHALL PASS THE #200 SIEVE. NOT MORE THAN 90% SHALL BE RETAINED ON THE #50 SIEVE.

**LIMIT OF EXCAVATION:**  
ALL DELETERIOUS MATERIAL MUST BE REMOVED FROM THE AREA OF THE INFILTRATION SYSTEMS AND OTHER DESIGNATED LIMITS AND FILLED WITH APPROVED, CLEAN, GRANULAR SAND. THE FILL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN 2 INCHES AND BE GRADED SO NOT MORE THAN 45% OF THE SAMPLE IS RETAINED IN A #4 SIEVE, OF THAT PASSING, 20% OR LESS SHALL PASS A #100 SIEVE AND 5% OR LESS SHALL PASS THE #200 SIEVE. NOT MORE THAN 90% SHALL BE RETAINED ON THE #50 SIEVE.

**NOTE:**  
ALL ROOF DRAINS SHALL BE 6 INCH DIAMETER PVC SCH40 PIPE OR APPROVED EQUAL.

**LIMIT OF EXCAVATION:**  
ALL DELETERIOUS MATERIAL MUST BE REMOVED FROM THE AREA OF THE INFILTRATION SYSTEMS AND OTHER DESIGNATED LIMITS AND FILLED WITH APPROVED, CLEAN, GRANULAR SAND. THE FILL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN 2 INCHES AND BE GRADED SO NOT MORE THAN 45% OF THE SAMPLE IS RETAINED IN A #4 SIEVE, OF THAT PASSING, 20% OR LESS SHALL PASS A #100 SIEVE AND 5% OR LESS SHALL PASS THE #200 SIEVE. NOT MORE THAN 90% SHALL BE RETAINED ON THE #50 SIEVE.

**NOTE:**  
ALL ROOF DRAINS SHALL BE 6 INCH DIAMETER PVC SCH40 PIPE OR APPROVED EQUAL.

NO.	DATE	DESCRIPTION
1	5/29/19	Con Com Review Comments
2	7/11/19	Con Com Review Comments
3	9/04/19	Con Com Riverfront Area
4	9/25/19	Con Com Riverfront Area (32 Units)

NO.	DATE	DESCRIPTION

**SITE DEVELOPMENT PLAN**  
**A COMPREHENSIVE PERMIT M.G.L.C. 40B**  
**"THE RESIDENCES AT BURNS AVENUE"**  
**WALPOLE, MASSACHUSETTS**  
APPLICANT:  
WEST STREET DEVELOPMENT CORP.  
100 W. MAIN ST., SUITE 200  
WESTWOOD, MA 02090

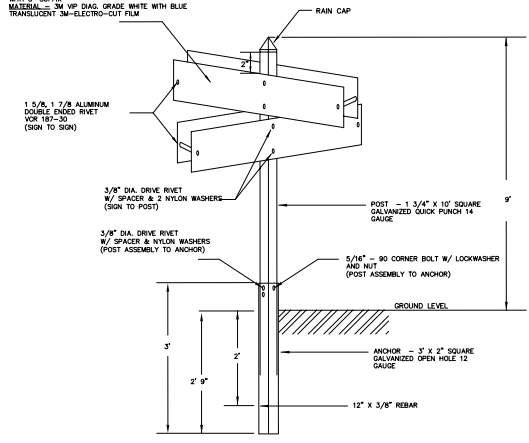
GLM Engineering Consultants, Inc.	19 EXCHANGE STREET HOLLISTON, MA 01746 P: 508-429-1100 F: 508-429-7160 www.GLMengineering.com
DRW: rst	JOB No. 15.588
DATE: FEB. 7, 2019	SCALE: 1" = 30'
SHEET: 7 of 12	PLANNING: 27,096

**DETAILS**

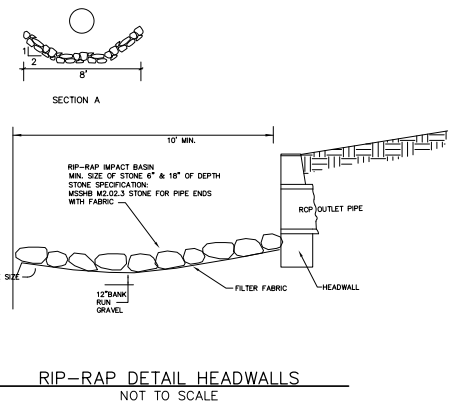
**NOTES**

- A) Gravel borrow subbase shall conform to section M1.03.0 type b, three inches largest dimension of the latest edition of the Massachusetts Highway Department Standard Specifications for Highways and Bridges (Standard Specifications).
- B) Gravel borrow subbase shall be compacted to not less than 95 percent of maximum dry density of the material as determined by the Standard SASHITO Test Designation 199 compaction test method C at optimum moisture content as determined by the engineer.
- C) "Tac Coat" as specified in Section 486.61 of the Standard Specifications shall be applied by "tac truck" between asphalt layers or as determined by the engineer.
- D) Soils testing including sieve analysis, proctor testing and compaction testing shall be performed once every 100 feet of paved roadway along the centerline of the roadway or as directed by the engineer.
- E) Sidewalk ramps must meet current applicable ADA / AAB standards.

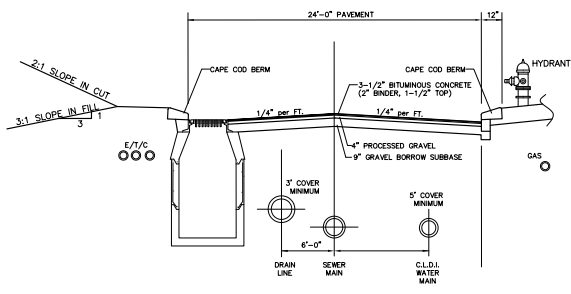
SIZE - 8" X VARIOUS SIZES  
 FINISH - UPPER CASE AND LOWER CASE LETTERS WITH 3" SPITH  
 MATERIAL - 3/8" VP DIAS. GRADE WHITE WITH BLUE TRANSLUCENT 3M-ELECTRO-CUT FILM



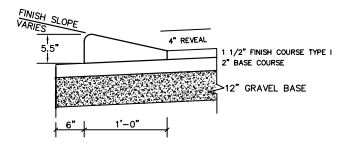
**TYPICAL STREET SIGN DETAIL**  
 (NOT TO SCALE)



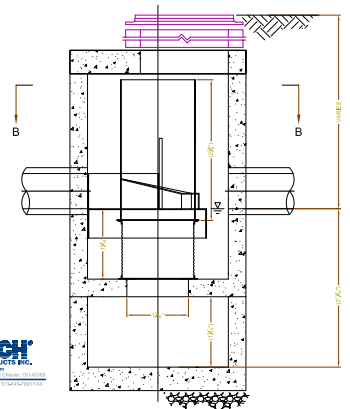
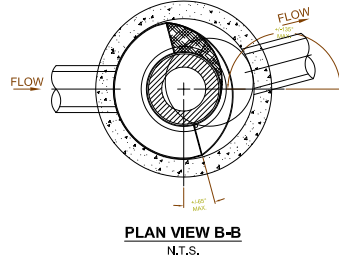
**RIP-RAP DETAIL HEADWALLS**  
 NOT TO SCALE



**TYPICAL DRIVE CROSS SECTION**  
 NOT TO SCALE



**CAPE COD BERM DETAIL**  
 NOT TO SCALE



- GENERAL NOTES**
- CONTRACTOR TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
  - DIMENSIONS SHOWN WITH (1) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
  - FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH CONSTRUCTION PRODUCTS REPRESENTATIVE.
  - CONTECH WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
  - STRUCTURE SHALL MEET MASH2 MESH AND CASTINGS SHALL MEET MASH20 MESH LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
  - PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SOREX CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
  - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLIPPERS PROVIDED).
  - CONTRACTOR TO RAMP LIGHT SIGHTANT THROUGH ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
  - CONTRACTOR TO PROVIDE, INSTALL AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
  - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO INSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

**WATER QUALITY UNIT DETAIL**  
**CDS1515-3-C CDS INLINE STANDARD DETAIL**  
 NOT TO SCALE

**Note:**  
 1) All details are subject to change without notice. Check with the Town of Walpole prior to using these details for the most up to date revisions.

**TOWN OF WALPOLE, MASSACHUSETTS**  
**DEPARTMENT OF PUBLIC WORKS**  
**PLAN SHOWING TYPICAL**  
**ROADWAY DETAILS**

- |   |          |                               |     |
|---|----------|-------------------------------|-----|
| 1 | 7-11-00  | DRAWN TO AUTOCAD FILE         | MAJ |
| 2 | 10-9-00  | ADDED SLIPPED GRANITE DETAILS | MAJ |
| 3 | 11-00-00 | MANY MEAS. CHANGES            | MAJ |

REVISIONS		DESCRIPTION
NO.	DATE	
1	5/29/19	Can Com Review Comments
2	7/11/19	Can Com Review Comments
3	9/04/19	Can Com Riverfront Area
4	9/25/19	Can Com Riverfront Area (32 Units)

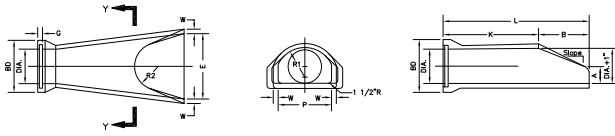
**SITE DEVELOPMENT PLAN**  
**A COMPREHENSIVE PERMIT M.G.L.C. 40B**  
**"THE RESIDENCES AT BURNS AVENUE"**  
**WALPOLE, MASSACHUSETTS**

APPLICANT:  
 WALL STREET DEVELOPMENT CORP.  
 100 WOOD ST., SUITE 200  
 WESTWOOD, MA 02090

**GLM** Engineering  
 Consultants, Inc.  
 19 EXCHANGE STREET  
 HOLLISTON, MA 01746  
 P: 508-429-1100  
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DRW.: rst
JOB No. 15.588
DATE: FEB. 7, 2019
SCALE: 1" = 30'
SHEET: 8 of 12
PLAN #: 27,096

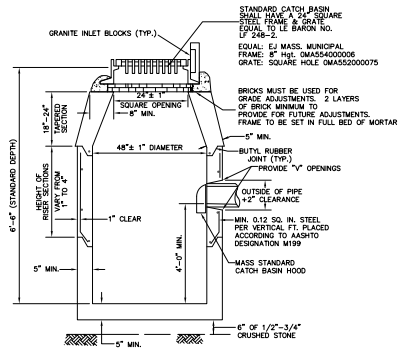




SECTION Y-Y

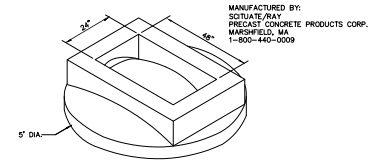
DIA.	W	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W	X	Y	Z	Slope		
12"	2"	4"	2'-0"	4'-0"	4'-0"	2'-0"	20"	4'-0"	4'-0"	4'-0"	10'-0"	15"	10'-0"	5"	4"	2'-0"	3:1													
15"	2 1/4"	6"	2'-3"	3'-10"	4'-10"	2'-6"	24"	4'-3"	4'-10"	4'-10"	10'-0"	15"	12 1/2"	11"	4"	2'-0"	3:1													
18"	2 1/2"	8"	2'-3"	3'-10"	4'-10"	2'-6"	28"	4'-3"	4'-10"	4'-10"	10'-0"	15"	15 1/2"	12"	4"	2'-0"	3:1													
21"	2 3/4"	8"	2'-11"	3'-2"	4'-1"	2'-6"	32"	4'-3"	4'-10"	4'-10"	10'-0"	15"	14'-0"	13"	4"	2'-0"	3:1													
24"	3"	9 1/2"	2'-10"	2'-6"	4'-1"	2'-6"	36"	4'-0"	4'-10"	4'-10"	10'-0"	15"	14'-0"	14"	4"	2'-0"	3:1													

R.C.P. FLARED END SECTION DETAILS  
NOT TO SCALE



NOTE: NO BELL ENDS IN CATCH BASIN. CONNECTIONS TO BE TIGHTLY SEALED WITH MORTAR.

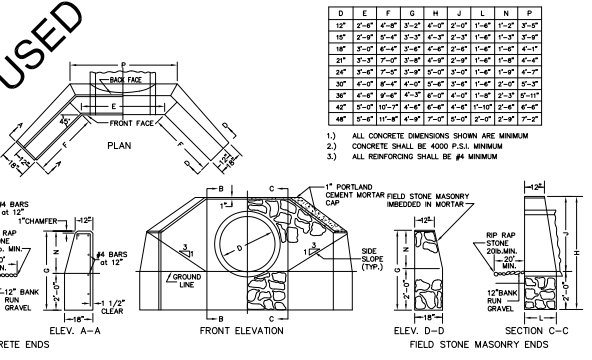
PRECAST CONCRETE CATCH BASIN DETAILS  
NOT TO SCALE



1. MANUFACTURED TO MEET OR EXCEED ASTM C-478 & AASHTO M 199 SPECS.
2. REINFORCING SHALL CONFORM TO ASTM A-190 AND BE PLACED.
3. CONCRETE = 4000 PSI MIN. AND CEMENT PER ASTM-C-478 (6.1) AS PER ASTM C-478 (8.1, 8.3)
4. MANHOLE STEPS - POLYPROPYLENE COATED GRADE 60 R-BAR PER ASTM C-478 & CSA (5.11-19)
5. BUTYL RUBBER JOINT SEALANT PER ASTM C-990 & AASHTO M-198
6. WATERPROOFING PER CONTRACT SPECS. AS REQUIRED.
7. DESIGNED FOR H-20 LOADING.

DOUBLE OPEN CATCH BASIN DOME TOP  
NOT TO SCALE

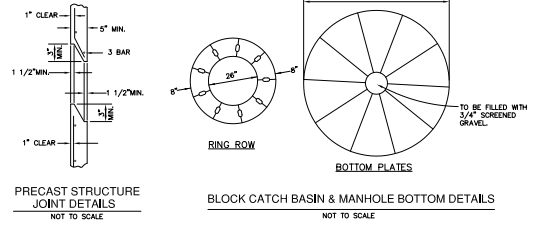
NOT USED



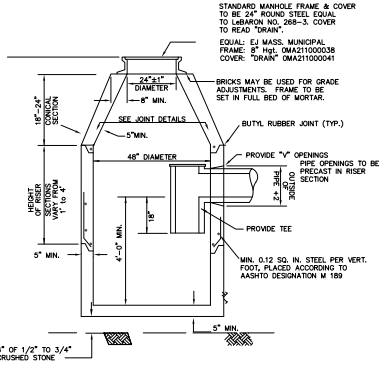
CONCRETE AND FIELD STONE MASONRY HEADWALL/WINGWALL DETAILS  
NOT TO SCALE

D	E	F	G	H	J	L	N	P
12"	2'-4"	4'-0"	3'-0"	3'-0"	2'-0"	1'-4"	1'-2"	3'-0"
15"	2'-8"	3'-4"	3'-0"	3'-0"	1'-4"	1'-2"	3'-0"	
18"	3'-0"	3'-4"	3'-0"	3'-0"	1'-4"	1'-2"	3'-0"	
21"	3'-0"	3'-4"	3'-0"	3'-0"	1'-4"	1'-2"	3'-0"	
24"	3'-0"	3'-4"	3'-0"	3'-0"	1'-4"	1'-2"	3'-0"	
30"	4'-0"	4'-0"	4'-0"	3'-0"	1'-4"	1'-2"	3'-0"	
36"	4'-0"	4'-0"	4'-0"	4'-0"	1'-4"	1'-2"	3'-0"	
42"	4'-0"	4'-0"	4'-0"	4'-0"	1'-4"	1'-2"	3'-0"	
48"	3'-4"	3'-4"	4'-0"	4'-0"	2'-0"	2'-0"	2'-0"	

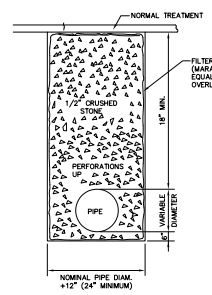
- 1.) ALL CONCRETE DIMENSIONS SHOWN ARE MINIMUM
- 2.) CONCRETE SHALL BE 4000 P.S.I., MINIMUM
- 3.) ALL REINFORCING SHALL BE #4 MINIMUM



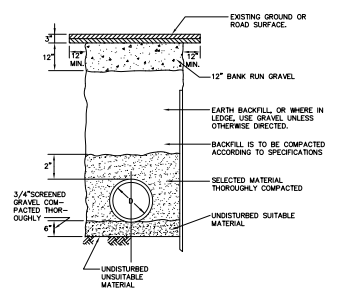
PRECAST STRUCTURE JOINT DETAILS  
BLOCK CATCH BASIN & MANHOLE BOTTOM DETAILS  
NOT TO SCALE



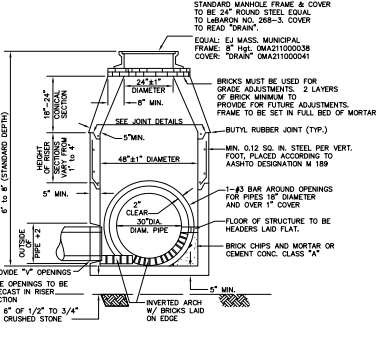
PRECAST 4' SUMP MANHOLE DETAIL  
NOT TO SCALE



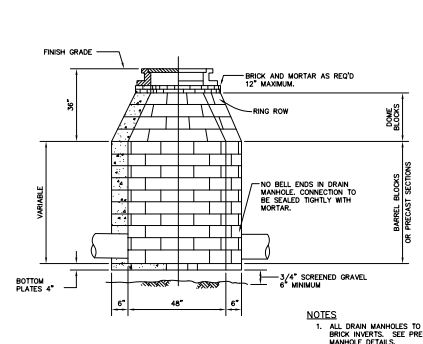
SUBDRAIN DETAILS  
NOT TO SCALE



TYPICAL DRAIN TRENCH DETAILS  
NOT TO SCALE



PRECAST CONCRETE MANHOLE DETAILS  
NOT TO SCALE



BLOCK DRAIN MANHOLE DETAILS  
NOT TO SCALE

- NOTES
1. ALL DRAIN MANHOLES TO HAVE BRICK INVERTS. SEE PRECAST MANHOLE DETAILS.
  2. MANHOLE BLOCKS MORE THAN 4' IN DEPTH TO BE 8\"/>

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## TOWN OF WALPOLE, MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS PLAN SHOWING TYPICAL DRAINAGE CONSTRUCTION DETAILS

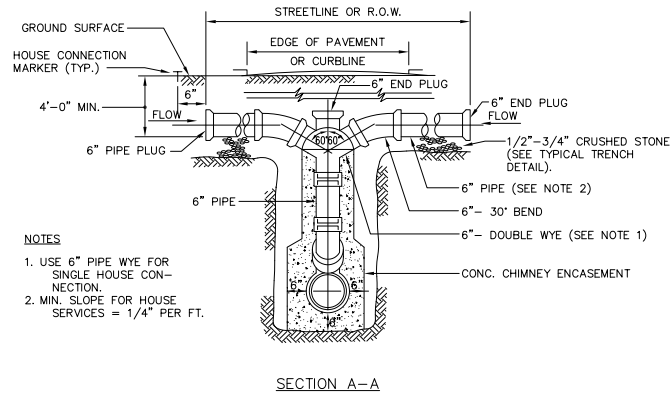
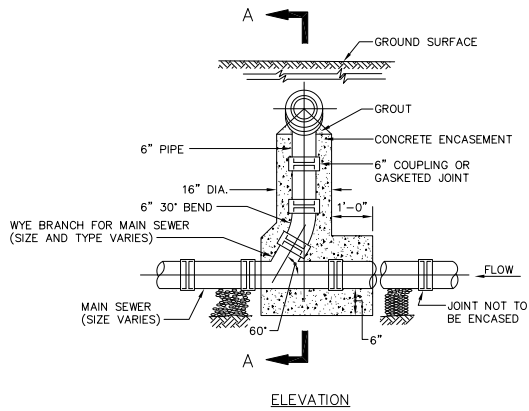
REV. #	DATE	DESCRIPTION	BY
1	7-11-08	DRAWN TO AUTOCAD FILE	SMJ
2	11-28-08	MAINT. REVISIONS	SMJ

NO.	DATE	DESCRIPTION
1	5/29/19	Con Com Review Comments
2	7/11/19	Con Com Review Comments
3	9/04/19	Con Com Review/Item Area
4	9/25/19	Con Com Review/Item Area (32 Units)

**SITE DEVELOPMENT PLAN**  
**A COMPREHENSIVE PERMIT M.G.L.C. 40B**  
**"THE RESIDENCES AT BURNS AVENUE"**  
**WALPOLE, MASSACHUSETTS**  
 APPLICANT: WALL STREET DEVELOPMENT CORP.  
 100 WOOD ST., WOODBURY, MA 02090

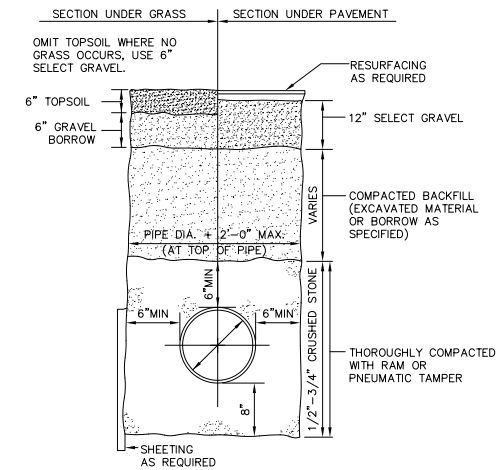
**GLM** Engineering Consultants, Inc.  
 19 EXCHANGE STREET  
 HOLLISTON, MA 01746  
 P: 508-429-1100  
 F: 508-429-7160  
 www.GLMengineering.com

DRW: rst  
 JOB No. 15.588  
 DATE: FEB. 7, 2019  
 SCALE: 1" = 30'  
 SHEET: 9 of 12  
 PLAN #: 27,096



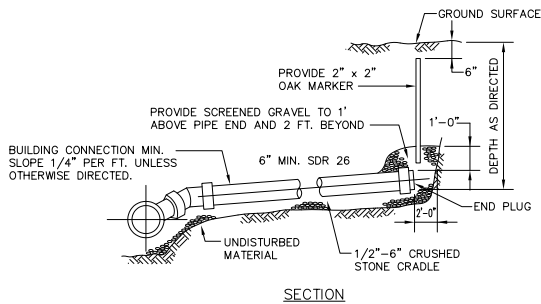
**TYPICAL HOUSE SERVICE CONNECTION & CHIMNEY DETAIL**

(FOR MAIN SEWER OVER 8'-0" DEEP)  
NOT TO SCALE



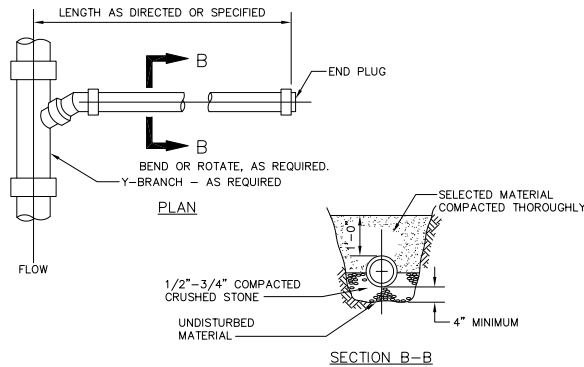
**TYPICAL SEWER TRENCH DETAIL**

NOT TO SCALE



**TYPICAL BUILDING CONNECTION**

NOT TO SCALE



Note:  
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**TOWN OF WALPOLE, MASSACHUSETTS  
DEPARTMENT OF PUBLIC WORKS  
PLAN SHOWING TYPICAL  
SEWAGE CONSTRUCTION DETAILS**

REV. #	DATE	DESCRIPTION	BY
1	7-11-08	DRAWN TO AUTOCAD FILE	MAJ
2	11-08-08	MAINT. REVISIONS	MAJ

NO.	DATE	DESCRIPTION
1	5/29/19	Can Com Review Comments
2	7/11/19	Can Com Review Comments
3	9/04/19	Can Com Review Comments
4	9/25/19	Can Com Review Comments

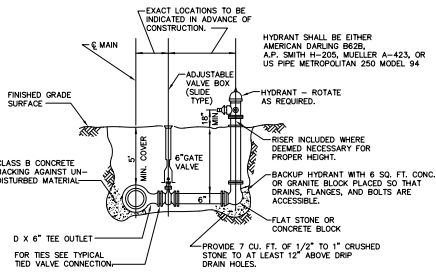
**SITE DEVELOPMENT PLAN  
A COMPREHENSIVE PERMIT M.G.L.C. 40B  
"THE RESIDENCES AT BURNS AVENUE"  
WALPOLE, MASSACHUSETTS**

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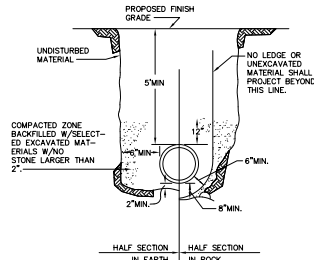
DRW.: rst
JOB No. 15.588
DATE: FEB. 7, 2019
SCALE: 1" = 30'
SHEET: 10 of 12
PLAN #: 27,096

APPLICANT:  
WESTWOOD, MA 02090  
WALL STREET DEVELOPMENT CORP.

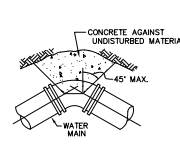




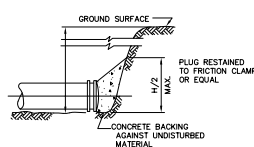
**TYPICAL HYDRANT ASSEMBLY DETAIL**  
NOT TO SCALE



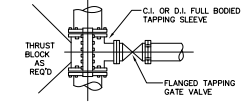
**WATER MAIN TRENCH DETAIL**  
NOT TO SCALE



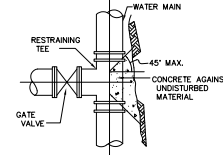
**TYPICAL BEND**



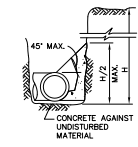
**TYPICAL PLUG**



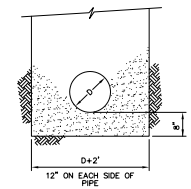
**TAPPING SLEEVE AND VALVE DETAILS**  
NOT TO SCALE



**TYPICAL TEE**



**TYPICAL SECTION**

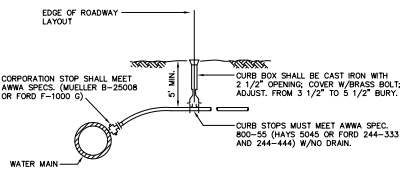


**PAYMENT LIMIT FOR LEDGE EXCAVATION**  
NOT TO SCALE

NOTE: CONCRETE FOR THRUST BLOCKS SHALL BE NO LONGER THAN THE RATIO OF 2 1/2 : 3 1/2 AND SHALL HAVE A MINIMUM COMPRESSION STRENGTH OF 2000 P.S.I. (SO THAT FLANGES AND BOLTS ARE ACCESSIBLE.)

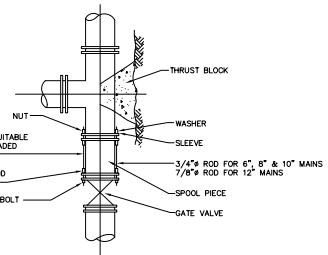
BEARING AREAS OF THRUST BLOCKS (BEARING AREA IN SQUARE FT.)				
PIPE SIZE INCHES	1/4 BEND	1/8 BEND	1/4 BEND OR LESS	PLUG TEES
6 AND 8	8	8	8	8
10 AND 12	22	13	8	16

**TYPICAL THRUST BLOCK DETAIL**  
NOT TO SCALE

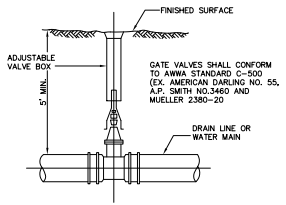


NOTE:  
1" TYPE K SERVICES  
COPPER TUBING SHALL MEET ANWA SPEC. 78-OR TYPE K OR FEDERAL SPEC. WWT-799 TYPE K.

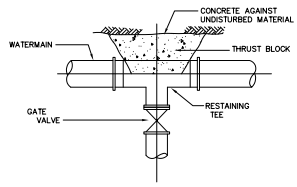
**TYPICAL SERVICE CONNECTION**  
NOT TO SCALE



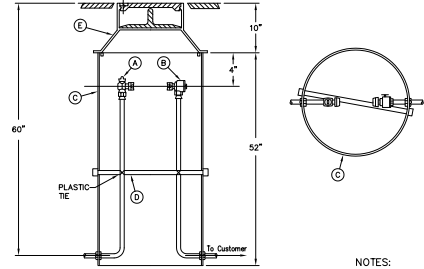
**TYPICAL TIED MECHANICAL JOINT VALVE CONNECTION DETAILS**  
NOT TO SCALE



**TYPICAL GATE VALVE**  
NOT TO SCALE



**TYPICAL LATERAL GATE VALVE CONNECTION DETAILS**  
NOT TO SCALE



ITEM	DESCRIPTION	CAT No.
A	ANGLE BALL VALVE	BA13-2300
B	DUAL ANGLE CHECK VALVE	MA13-3200
C	20\"/>	
D	1/2\"/>	
E	METER BOX COVER & US	M-3

**METER PIT SPECIFICATIONS**  
NOT TO SCALE

- NOTES:
- ALL SERVICE SHALL ENTER THE PIT AT A 90° ANGLE TO THE STREET.
  - TO BE USED FOR DWELLINGS WHICH EXCEED A DISTANCE OF 200' FROM FRONT PROPERTY LINES.

Note:  
1) All details are subject to change without notice. Check with the Town of Walpole prior to using these details for the most up to date revisions.

**TOWN OF WALPOLE, MASSACHUSETTS  
DEPARTMENT OF PUBLIC WORKS  
PLAN SHOWING TYPICAL  
WATER MAIN CONSTRUCTION DETAILS**

REV. #	DATE	DESCRIPTION	BY
1	7-11-06	DRAWN TO AUTOCAD FILE	MMJ
2	11-09-08	UPDATING	MMJ

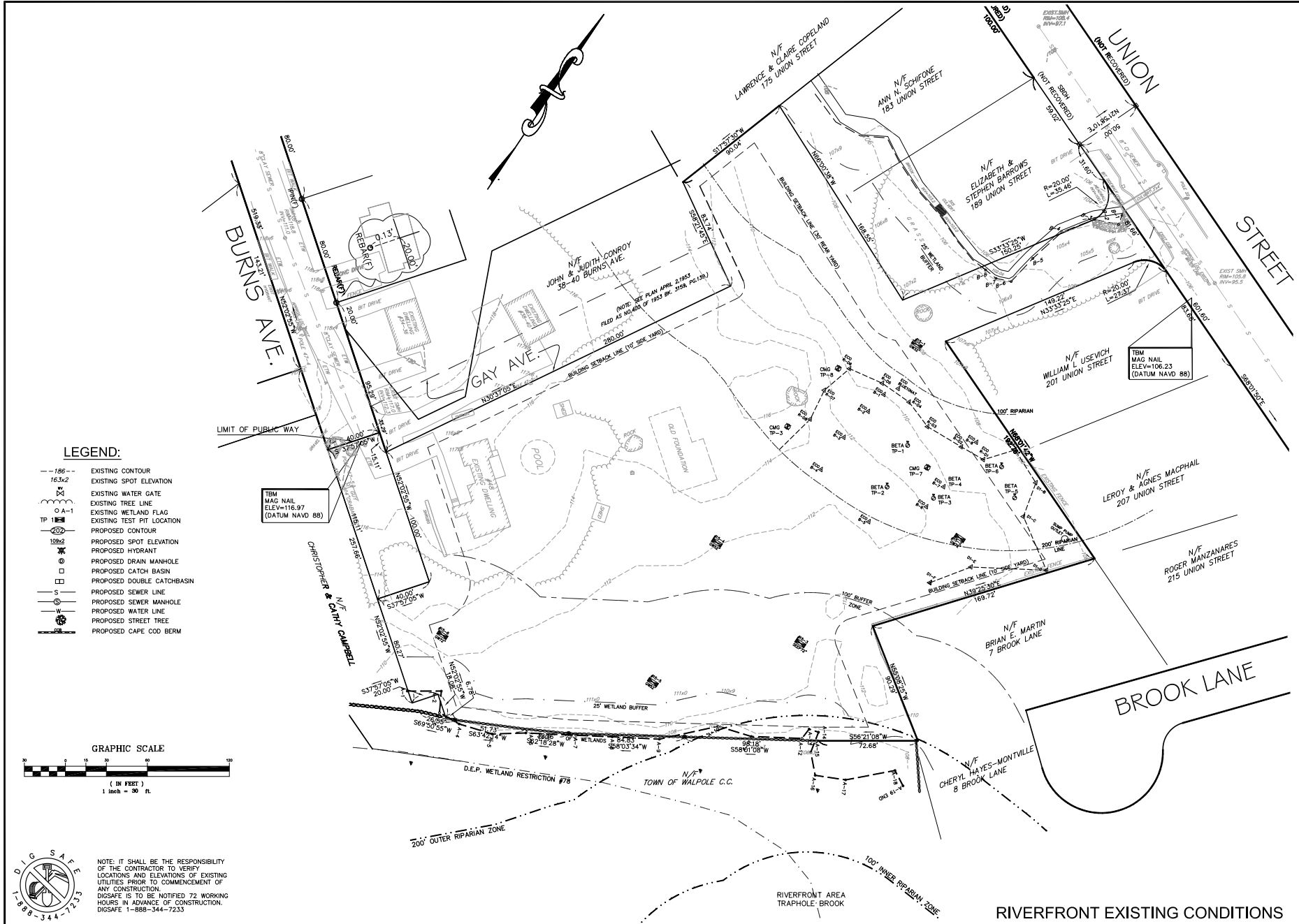
REV. #	DATE	DESCRIPTION
1	5/29/19	Con Com Review Comments
2	7/11/19	Con Com Review Comments
3	9/04/19	Con Com Riverfront Area
4	9/25/19	Con Com Riverfront Area (32 Units)

**SITE DEVELOPMENT PLAN  
A COMPREHENSIVE PERMIT M.G.L.C. 40B  
"THE RESIDENCES AT BURNS AVENUE"  
WALPOLE, MASSACHUSETTS**

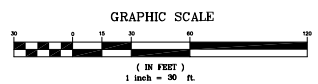
APPLICANT:  
WALL STREET DEVELOPMENT CORP.  
100 BURNING WOOD, MA 02090

**GLM** Engineering Consultants, Inc.  
19 EXCHANGE STREET  
HOLLISTON, MA 01746  
P: 508-429-1100  
F: 508-429-7160  
www.GLMengineering.com

DRW.: rst
JOB No. 15.588
DATE: FEB. 7, 2019
SCALE: 1" = 30'
SHEET: 12 of 12
PLAN #: 27,096



- LEGEND:**
- 186 --- EXISTING CONTOUR
  - 16.3x2 EXISTING SPOT ELEVATION
  - EXISTING WATER GATE
  - EXISTING TREE LINE
  - A-1 EXISTING WETLAND FLAG
  - TP 1 EXISTING TEST PIT LOCATION
  - PROPOSED CONTOUR
  - 109.2 PROPOSED SPOT ELEVATION
  - PROPOSED HYDRANT
  - PROPOSED DRAIN MANHOLE
  - PROPOSED CATCH BASIN
  - PROPOSED DOUBLE CATCHBASIN
  - PROPOSED SEWER LINE
  - PROPOSED SEWER MANHOLE
  - PROPOSED WATER LINE
  - PROPOSED STREET TREE
  - PROPOSED CAPE COD BERM



NOTE: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. DIGSAFE IS TO BE NOTIFIED 72 WORKING HOURS IN ADVANCE OF CONSTRUCTION. DIGSAFE 1-888-344-7233

NO.	DATE	DESCRIPTION
1	5/29/19	Con Com Review Comments
2	7/11/19	Con Com Review Comments
3	7/31/19	Digital CMG Environmental Test Loc.
4	8/14/19	BETA Aug 5, 2019 Site Review
5	9/04/19	Con Com Riverfront Area
6	9/25/19	Con Com Riverfront Area (2 Units)

NO.	DATE	DESCRIPTION
1	5/29/19	Con Com Review Comments
2	7/11/19	Con Com Review Comments
3	7/31/19	Digital CMG Environmental Test Loc.
4	8/14/19	BETA Aug 5, 2019 Site Review
5	9/04/19	Con Com Riverfront Area
6	9/25/19	Con Com Riverfront Area (2 Units)

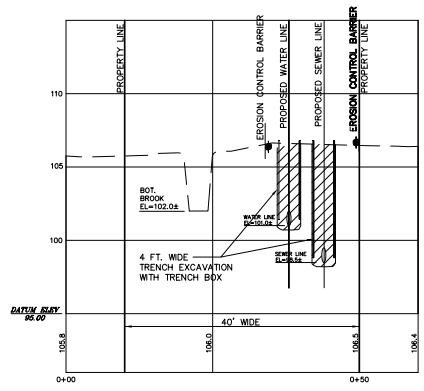
**SITE DEVELOPMENT PLAN  
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WALPOLE, MASSACHUSETTS**

APPLICANT:  
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100 DODD, MA 02090

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DRW:	RST
JOB No.	15.588
DATE:	FEB. 7, 2019
SCALE:	1" = 30'
SHEET:	SUP-A
PLAN #:	27,096

**RIVERFRONT EXISTING CONDITIONS**






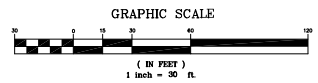
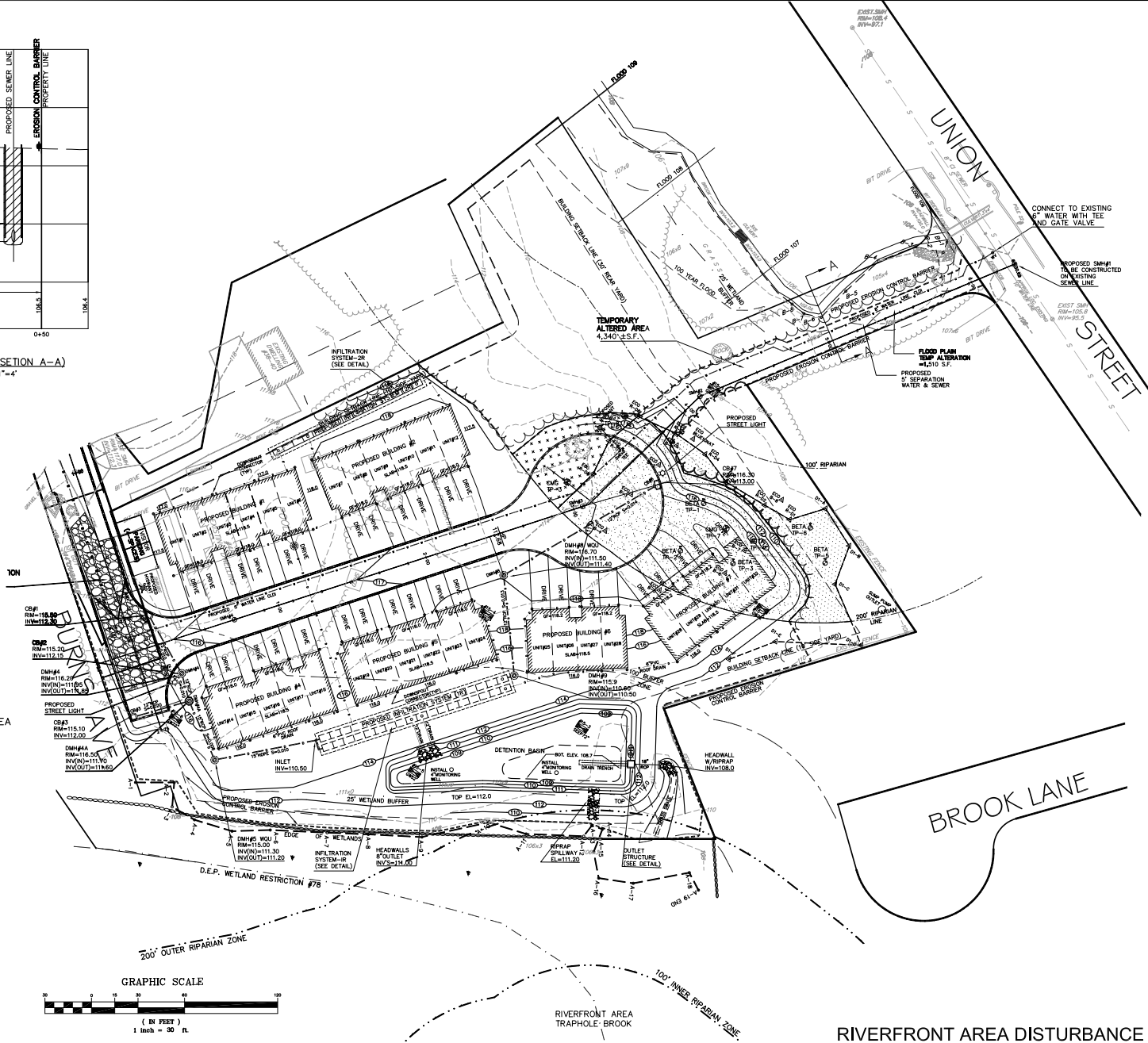
CROSS SECTION AT BROOK (SECTION A-A)  
SCALE: Horiz: 1"=10'; Vert: 1"=4'

TABLE OF PROJECT RIVERFRONT AREAS

TOTAL RIVERFRONT AREA  
WITHIN THE PROJECT SITE: 50,713 ± S.F.

TOTAL DEGRADED  
RIVERFRONT AREA: 13,614 ± S.F.

-  REDEVELOPMENT OF DEGRADED AREA  
10,730 ± S.F.
-  ALTERATION AREA NOT DEGRADED  
2,410 ± S.F.
-  DEGRADED AREA TO BE RESTORED  
2,882 ± S.F.



NO.	DATE	DESCRIPTION
1	5/29/19	Can Com Review Comments
2	7/11/19	Can Com Review Comments
3	9/04/19	Can Com Riverfront Area
4	9/25/19	Can Com Riverfront Area (2 Units)

NO.	DATE	DESCRIPTION

**SITE DEVELOPMENT PLAN**  
**A COMPREHENSIVE PERMIT M.G.L.C. 40B**  
**"THE RESIDENCES AT BURNS AVENUE"**  
**WALPOLE, MASSACHUSETTS**

APPLICANT:  
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DRW.:	rst
JOB No.:	15.588
DATE:	FEB. 7, 2019
SCALE:	1" = 30'
SHEET:	SUP-B
PLAN #:	27,096

RIVERFRONT AREA DISTURBANCE

**Proposed 25' Buffer Zone Restoration Area Protocol**  
( 9,200 ± sf)

1. All metal and other solid waste debris will be removed from the area and properly disposed off-site;
2. The area will be graded to a stable slope;
3. The area will be covered with a minimum of 6 inches of high quality topsoil;
4. The area will be planted with native shrubs, minimum 1 gallon, container grown, as shown. Plant species will be from the following list (or other species as approved by WCC Staff prior to installation):
  - Highbush Blueberry *Vaccinium corymbosum*
  - Witch Hazel *Hamamelis virginiana*
  - Hazelnut *Corylus americana*
  - Maple-leaved viburnum *Viburnum acerifolium*
  - Flowering dogwood *Cornus florida*
  - Serviceberry *Amelanchier canadensis*
5. The area will be planted with New England wetland plants conservation/wildlife mix at 1750 sf/lb or approved substitute; and
6. The area will be watered as necessary during the first six weeks after planting.

**PLANTING LEGEND**

QTY.	SYM.	DESCRIPTION
12	○	Highbush Blueberry <i>Vaccinium corymbosum</i>
12	⊙	Witch Hazel <i>Hamamelis virginiana</i>
12	⊕	Hazelnut <i>Corylus americana</i>
12	●	Maple-leaved viburnum <i>Viburnum acerifolium</i>
12	⊗	Flowering dogwood <i>Cornus florida</i>
12	○	Serviceberry <i>Amelanchier canadensis</i>
14	⊙	Red Maple, <i>Acer Rubrum</i> 1½" Cal.

Note:  
Shrubs will be planted in clusters of three (3) specimens of the same species at the locations shown, with minor deviations due to site conditions.

**Specifications for Restoration of Riverfront Area**

The area will be re-graded to an elevation approximately 6 inches below the current surface grade utilizing natural soils free of foreign material and then a layer of at least 6-inches of high-quality topsoil will be spread throughout the area;

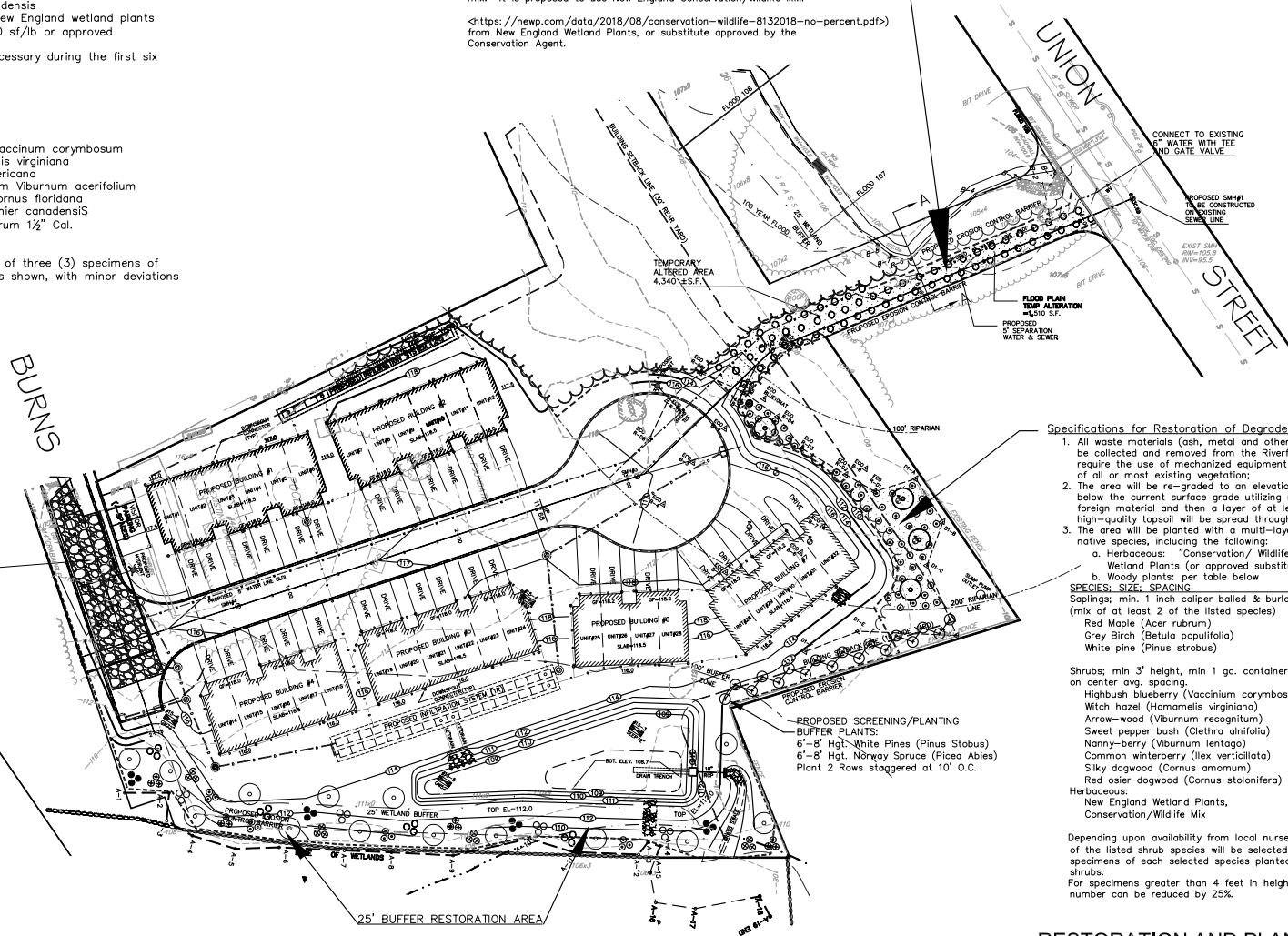
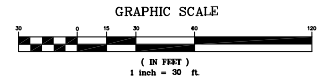
Planting of several species of low growing shrubs (min 18-inch 1-gallon container) which provide good cover and food source for wildlife, is proposed over the proposed utility installation corridor:

SPECIES; SIZE; SPACING **60 TOTAL**

- New Jersey Tea (*Sambucus americana*) (FACU-)
- Sweet Fern (*Osmunda cinnamomea*) (UPL)
- Meadowsweet (*Spiraea latifolia*) (FAC+)
- Lowbush Blueberry (*Vaccinium angustifolium*) (FACU-)

In addition, it is still proposed to seed the area with an appropriate seed mix. It is proposed to use New England Conservation/Wildlife Mix.

<<https://newp.com/data/2018/08/conservation-wildlife-8132018-no-percent.pdf>> from New England Wetland Plants, or substitute approved by the Conservation Agent.



**Specifications for Restoration of Degraded Area**

1. All waste materials (ash, metal and other non-natural debris) will be collected and removed from the Riverfront Area. This will require the use of mechanized equipment and result in the removal of all or most existing vegetation;
2. The area will be re-graded to an elevation approximately 6 inches below the current surface grade utilizing natural soils free of foreign material and then a layer of at least 6-inches of high-quality topsoil will be spread throughout the area;
3. The area will be planted with a multi-layer plant community of native species, including the following:
  - a. Herbaceous: "Conservation/ Wildlife Mix" from new England Wetland Plants (or approved substitute);
  - b. Woody plants: per table below

SPECIES; SIZE; SPACING	NUMBER
Saplings; min. 1 inch caliper balled & burlapped (mix of at least 2 of the listed species)	4 total
Red Maple ( <i>Acer rubrum</i> )	
Grey Birch ( <i>Betula populifolia</i> )	
White pine ( <i>Pinus strobus</i> )	

Shrubs; min 3' height, min 1 ga. container; 8' on center avg. spacing.

- Highbush blueberry (*Vaccinium corymbosum*)
- Witch hazel (*Hamamelis virginiana*)
- Arrow-wood (*Viburnum recognitum*)
- Sweet pepper bush (*Clethra alnifolia*)
- Nanny-berry (*Viburnum lentago*)
- Common winterberry (*Ilex verticillata*)
- Silky dogwood (*Cornus amomum*)
- Red osier dogwood (*Cornus stolonifera*)

Herbaceous:  
New England Wetland Plants,  
Conservation/Wildlife Mix **3 lbs.**

Depending upon availability from local nursery stock, at least four (4) of the listed shrub species will be selected, with at least ten (10) specimens of each selected species planted, for a total of 80 shrubs.

For specimens greater than 4 feet in height or spread, the total number can be reduced by 25%.

NO.	DATE	DESCRIPTION
1	9/25/19	CONSERVATION COMMISSION

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APPLICANT: WALL STREET DEVELOPMENT CORP.  
1000 WOOD ST., WESTWOOD, MA 02090

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DRW.: rst
JOB No. 15.588
DATE: SEPT 20, 2019
SCALE: 1" = 30'
SHEET: SUP-C
PLAN #: 27,096

**RESTORATION AND PLANTING DETAILS**