

Neponset Village LLC
5 Pleasant Street
Walpole, Massachusetts

SUBMITTED TO:

MassHousing
Michael Busby
40B Project Coordinator
One Beacon Street
28th Floor
Boston, MA 02108

September 1, 2021

**Neponset Village LLC – Walpole, MA
Comprehensive Permit Site Approval Application**

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**COMPREHENSIVE PERMIT SITE
APPROVAL APPLICATION TO
MASS-HOUSING**

Neponset Village LLC – Walpole, MA Comprehensive Permit Site Approval Application

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GENERAL INFORMATION

General Site Project Site Control Financial Qualifications & Certification Notifications & Fees

Contacts

Site Approval Application/Homeownership

Neponset Village LLC

General Information

Submit Print

General Information Additional Site Address Attachments

Upload

Attachment:

1.1 Location Map

Choose File

No file chosen

Upload

Uploaded Attachments

1.1 Location Map 10365 - Location Map.pdf	Delete
1.1 Location Map Site Directions Narrative.pdf	Delete
1.2 Tax Map 10365 - Tax Parcel Map.pdf	Delete
1.3 Directions Site Directions.pdf	Delete

1.1 Location Map:

Provide a USGS or other form of map clearly marked to show the site's location, and an approximate property boundary.

1.2 Tax Map:

Provide a copy of municipal tax map (assessor's plan) with subject parcels and parcel ID #'s clearly identified.

1.3 Directions:

Provide detailed written directions to the site, noting the entrance to the site, relevant boundaries and any prominent landmarks that can be used for identification purposes.

Application for Chapter 40B Project Eligibility / Site Approval

for MassHousing-Financed and New England Fund ("NEF") Homeownership Projects

Section 1: GENERAL INFORMATION

Name of Proposed Project: Neponset Village LLC

Municipality: Walpole

County: Norfolk

Address of Site: 0 Pleasant Street

Cross Street:

Zip Code: 02032

Tax Parcel I.D. Number(s): 10/2/2

Name of Proposed Development Entity Neponset Village LLC

(typically a single purpose entity):

Entity Type: Limited Dividend Organization

** If the Proposed Development Entity is a Non-Profit, please contact MassHousing regarding additional documentation that must be submitted.*

Has this entity already been formed? Yes

State Formed: Massachusetts

Name of Applicant: Neponset Village LLC

(typically the Proposed Development Entity or its controlling entity or individual)

Applicant's Web Address: conecobuilding.com

Does the Applicant have a related party relationship with any other member of the development team? Yes

If yes, please explain:

Coneco Engineers & Scientists, Inc. and Coneco Building LLC are both owned by Robert Lincoln, also the 50% member of Neponset Village LLC.

Primary Contact Information:

StateDesc

Contact Name: Robert Lincoln

Relationship to Applicant:

Company Name: Neponset Village LLC

Address: c/o Coneco, 4 1st Street

Municipality: Bridgewater

State: Massachusetts

Zip: 02324

Phone: 508-279-0067

Cell Phone: 508-962-6291

Email: rlincoln@coneco.com

Secondary Contact Information:

Contact Name:

Relationship to Applicant:

Company Name:

Address:

Municipality:

State:

Zip:

Phone:

Cell Phone:

Email:

Additional Contact Information:

Contact Name:

Relationship to Applicant:

Company Name:

Address:

Municipality:

State:

Zip:

Phone:

Cell Phone:

Email:

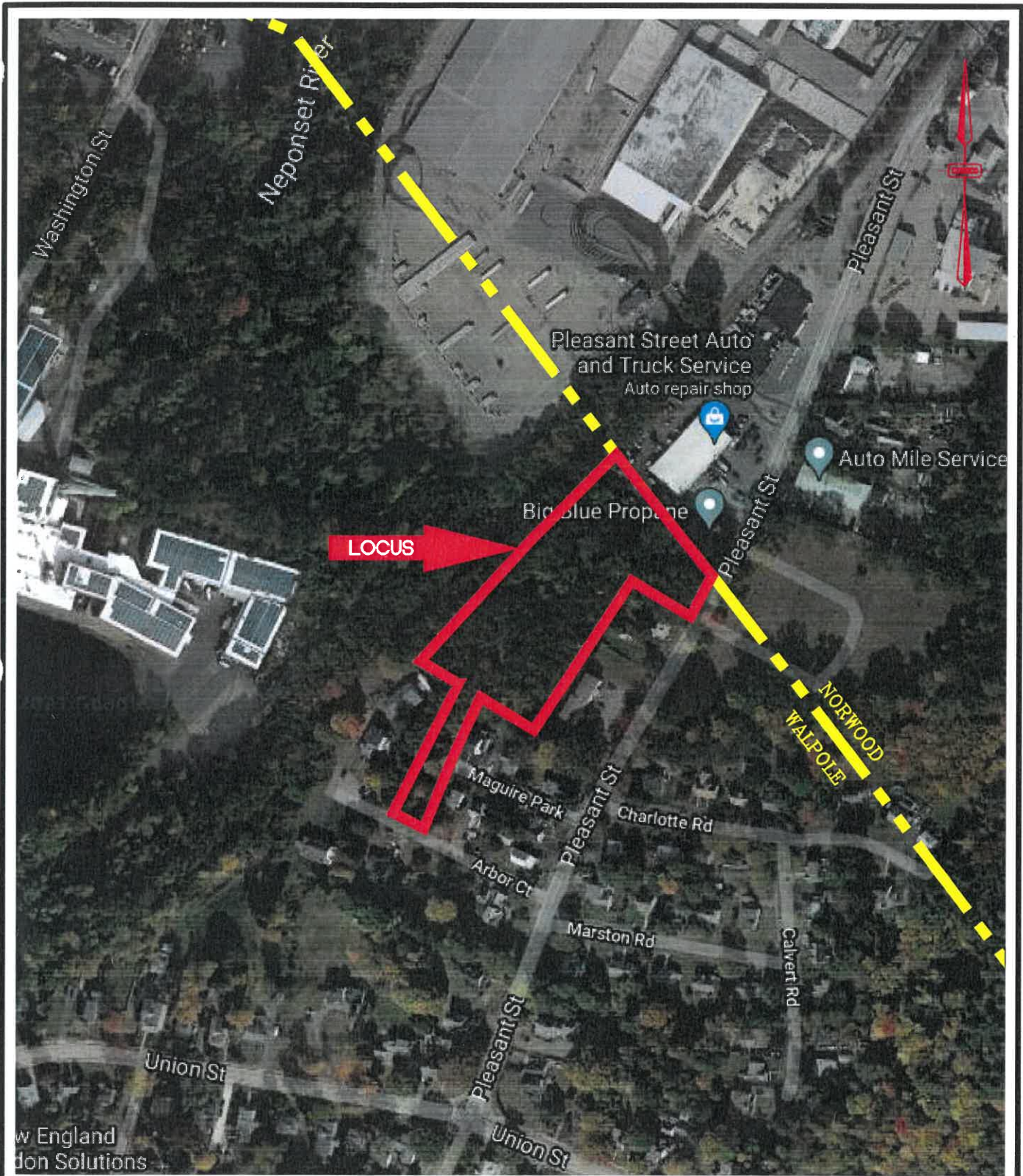
Anticipated Financing: MassHousing

If NEF, Name of Bank:

Age Restriction: None

Brief Project Description:

24 unit , for sale, townhome development containing four 3-unit buildings and three 4-unit buildings. Units consist of 2 and 3 bedroom units, 2-stories, with surface parking. The site consists of 2.8 acres of treed upland on the Walpole Norwood town line, with no existing structures



5 PLEASANT STREET, WALPOLE, MA 02032



PREPARED FOR:

NEPONSET VILLAGE LLC

LOCATION MAP

SCALE
1"=250'

DATE
6/16/21

PROJECT NO.
10365

TITLE:

AERIAL



One Beacon Street

1 Beacon St, Boston, MA 02108


Get on I-93 S from Congress St

- 5 min (1.1 mi)
- ↑ 1. Head east on Beacon St toward Freedom Trail
164 ft
- ↑ 2. Continue onto School St
0.1 mi
- ↶ 3. Turn left onto Washington St
108 ft
- ↷ 4. Turn right onto Water St
463 ft
- ↷ 5. Turn right onto Congress St
0.3 mi
- ↷ 6. Use the 2nd from the right lane to turn right onto Purchase St
43 ft
- ↶ 7. Use the left lane to take the I-93 S ramp to I-90 W/Quincy/Worcester
0.5 mi
- ↷ 8. Keep left at the fork, follow signs for I-93 S and merge onto I-93 S
417 ft

Follow I-93 S and I-95 S to Coney St in Walpole. Take exit 10 from I-95 S

- 21 min (21.3 mi)
- ↶ 9. Merge onto I-93 S
9.0 mi
- ↷ 10. Keep right to stay on I-93 S
6.6 mi
- ↷ 11. Use the right 2 lanes to take exit 1A for I-95 S toward Providence Ri
0.8 mi
- ↑ 12. Continue onto I-95 S
4.5 mi





 13. Take exit 10 to merge onto Coney St toward Walpole
0.4 mi

Follow Coney St to Pleasant St

4 min (1.3 mi)

 14. Merge onto Coney St
0.8 mi

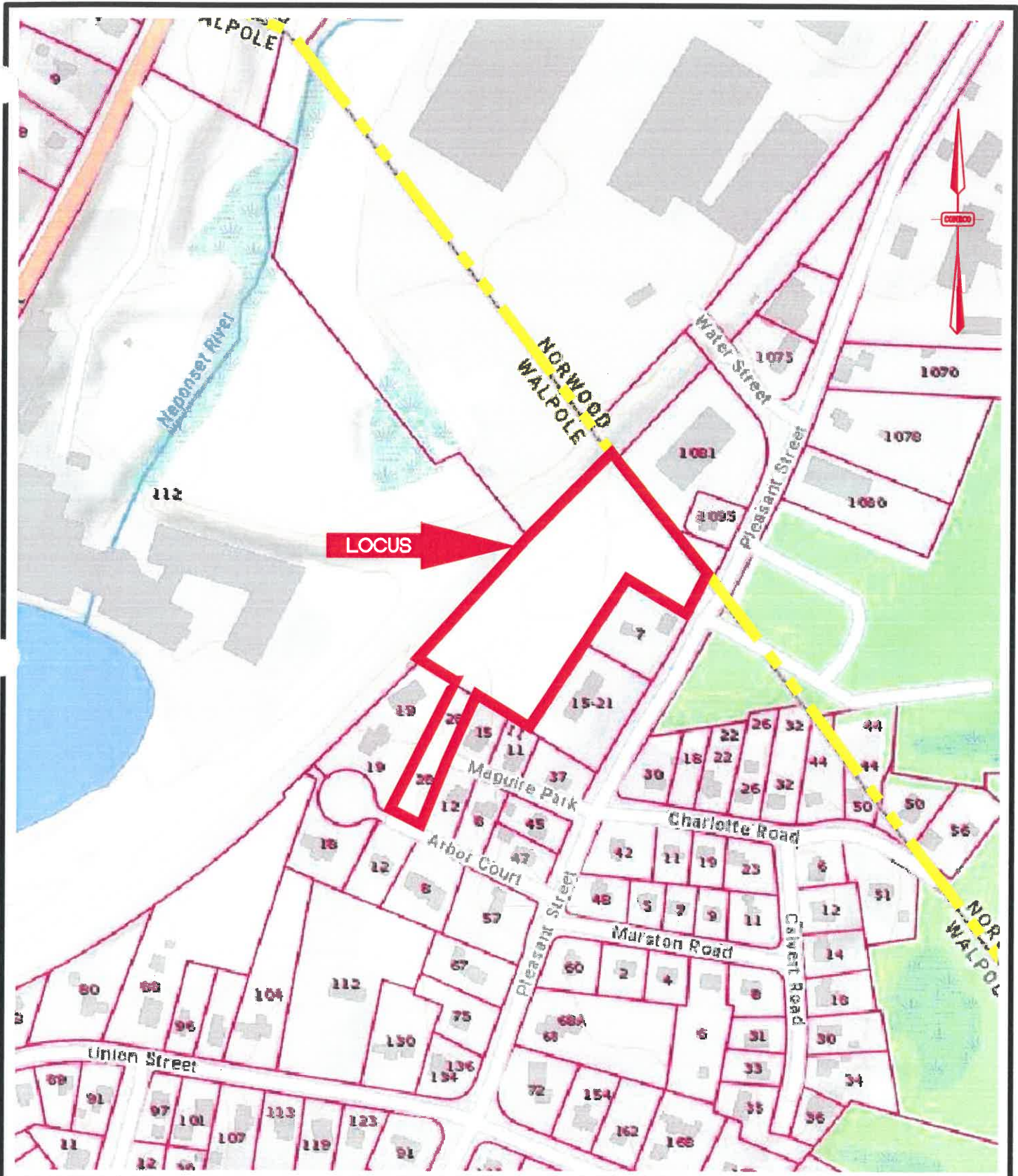
 15. Turn right onto Pleasant St
476 ft

 16. Turn right to stay on Pleasant St
 Destination will be on the left
0.4 mi

5 Pleasant St

Norwood, MA 02062

These directions are for planning purposes only. You may find that construction projects, traffic, weather, or other events may cause conditions to differ from the map results, and you should plan your route accordingly. You must obey all signs or notices regarding your route.



5 PLEASANT STREET, WALPOLE, MA 02032



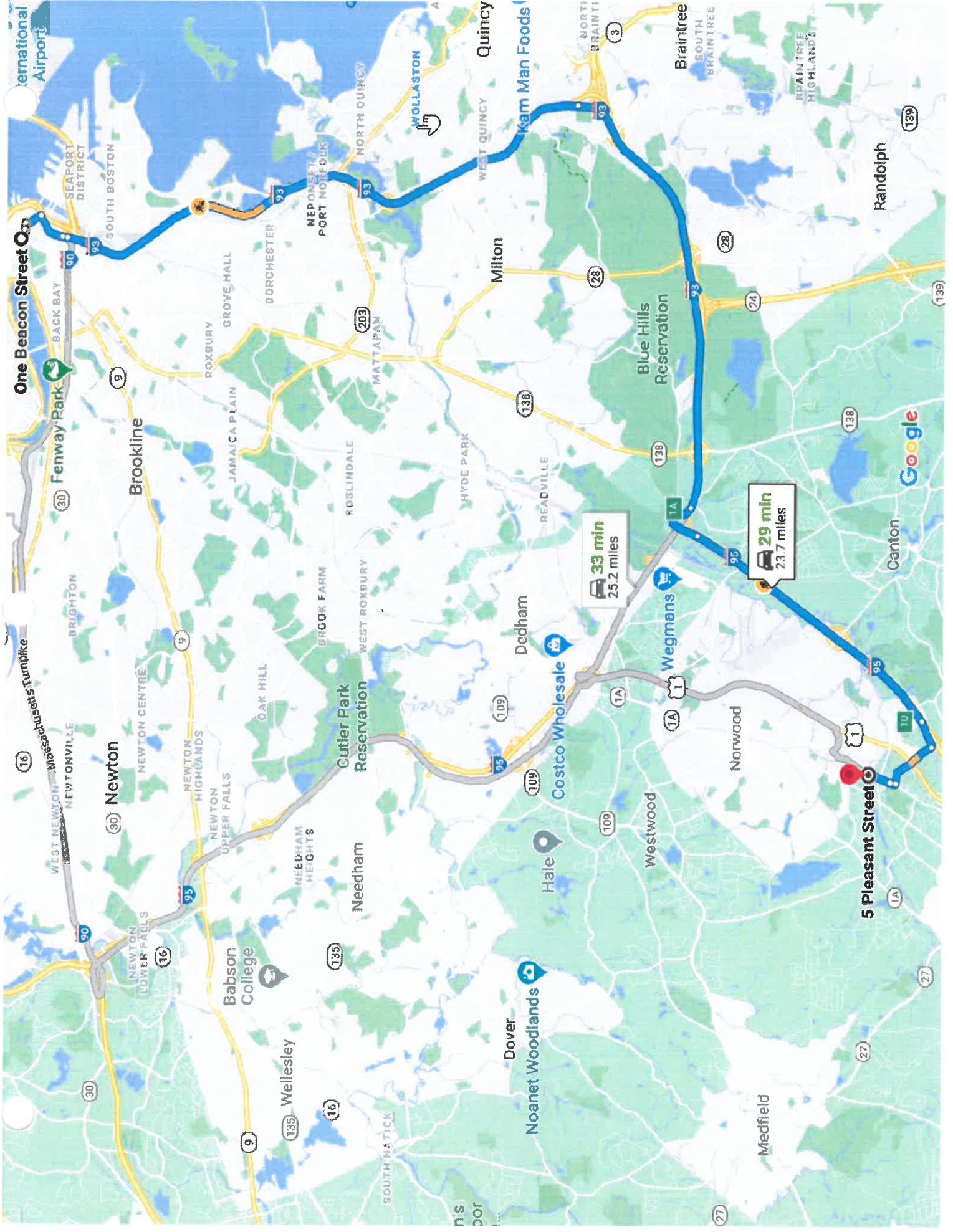
PREPARED FOR:
NEPONSET VILLAGE LLC

SCALE
1"=250'

DATE
6/16/21

PROJECT NO.
10365

TITLE
TAX PARCEL MAP



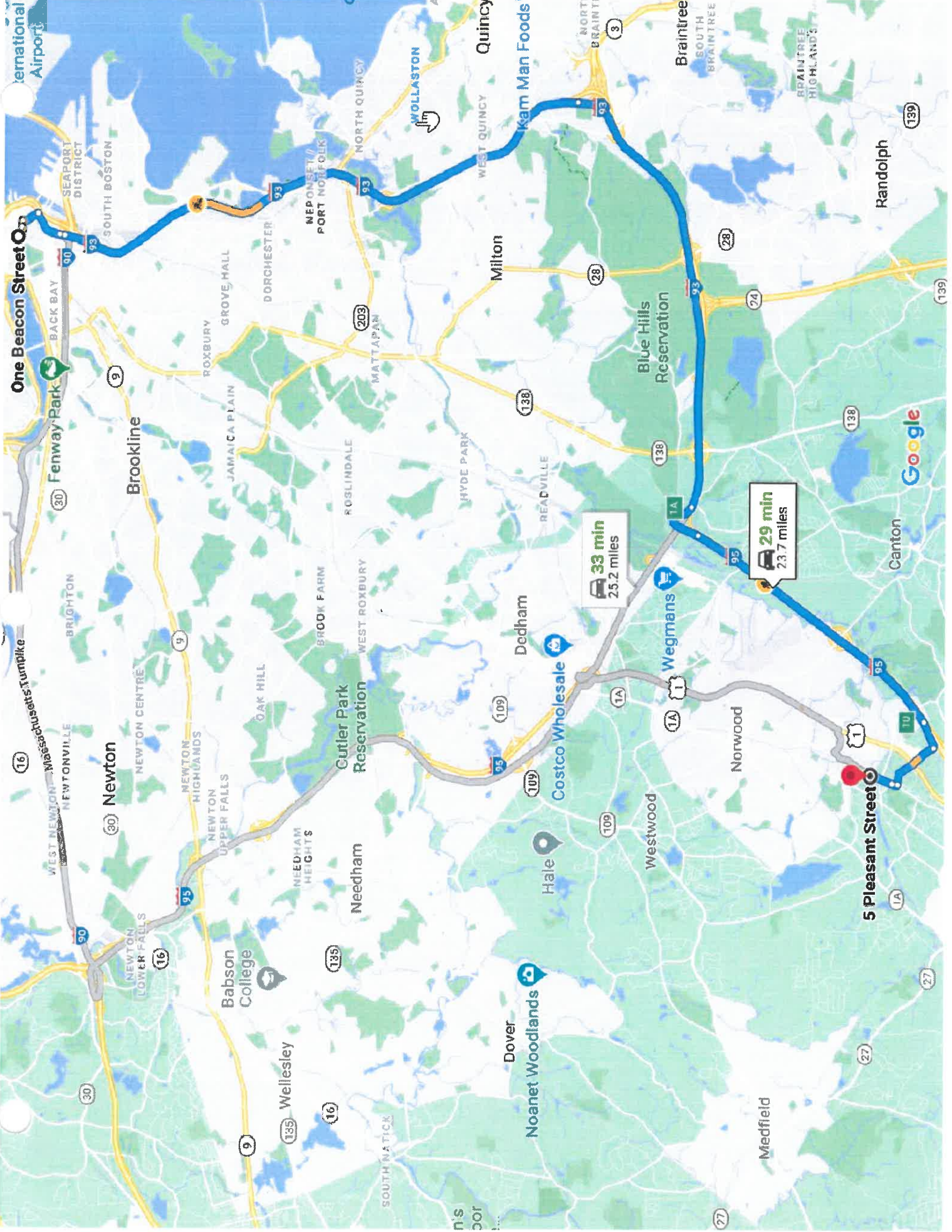
One Beacon Street

5 Pleasant Street

33 min
25.2 miles

29 min
23.7 miles

Google



EXISTING CONDITIONS/ SITE INFORMATION

General Site Project Site Control Financial Qualifications & Certification Notifications & Fees

Contacts

Site Approval Application/Homeownership

Neponset Village LLC

Site Information

Submit Print

Existing Conditions Surrounding Land Use Infrastructure Development Constraints Attachments

Upload

Attachment:

2.1 Existing Conditions Plan

Choose File

No file chosen

Upload

Uploaded Attachments

2.1 Existing Conditions Plan Existing Conditions.pdf	Delete
2.2 Aerial Photographs 10365 - Aerial - 1000 Scale.pdf	Delete
2.2 Aerial Photographs 10365 - Aerial - 2000 Scale.pdf	Delete
2.2 Aerial Photographs 10365 - Aerial - 500 Scale.pdf	Delete
2.3 Site/Context Photographs Site pictures with reference cover.pdf	Delete
2.4 Documentation Regarding Site Characteristics/Constraints Flood Zone Map.pdf	Delete
2.4 Documentation Regarding Site Characteristics/Constraints Pleasant Street Walpole Wetlands Wildlife Review.pdf	Delete
2.4 Documentation Regarding Site Characteristics/Constraints Wetlands Map.pdf	Delete
2.5 By-Right Site Plan Norwood Engineering By-Right Plan.pdf	Delete
Other: Permitting History 7398-01C Permitting History 21-06-22_1.docx	Delete
Other: Traffic Report Bayside Traffic Update Report 71521.pdf	Delete

2.1 Existing Conditions Plan (required):

Please provide a detailed Existing Conditions Plan showing the entire site, prepared, signed and stamped by a Registered Engineer or Land Surveyor. Plans should be prepared at a scale of 1"=100' or 1"=200' and should include the following information:

- a. Reduced scale locus map
- b. Surveyed property boundaries
- c. Topography
- d. Wetland boundaries (if applicable)
- e. Existing utilities (subsurface and above ground)
- f. Natural features including bodies of water, rock outcroppings
- g. Existing easements and/or rights of way on the property
- h. Existing buildings and structures, including walls, fences, wells
- i. Existing vegetated areas
- j. Existing Site entries and egresses

2.2 Aerial Photographs (required):

Please provide one or more aerial photograph(s) of the site (such as those available online) showing the immediate surrounding area if available. Site boundaries and existing site entrance and access points must be clearly marked.

2.3 Site/Context Photographs (required):

Please provide photographs of the site and surrounding physical and neighborhood context, including nearby buildings, significant natural features and land uses. Please identify the subject and location of all photographs.

2.4 Documentation Regarding Site Characteristics/Constraints (required):

Please provide documentation of site characteristics and constraints as directed including available narratives, summaries and relevant documentation including:

- Flood Insurance Rate Map (FIRM) showing site boundaries
- Wetlands delineation
- Historic District Nomination(s)

2.5 By-Right Site Plan (if available):

MassHousing will commission, at your expense, an "as-is" appraisal of the site in accordance with the Guidelines, Section B (1). Therefore, if there is a conceptual development plan which would be permitted under current zoning and which you would like the appraiser to take into consideration, or if permits have been issued for alternative development proposals for the site, please provide two (2) copies of a "by-right" site plan showing the highest and best use of the site under current zoning, and copies of any existing permits. These will assist the appraiser in determining the "as is" value of the site without any consideration being given to its potential for development under Chapter 40B.

**Application for Chapter 40B Project Eligibility / Site Approval
for MassHousing-Financed and New England Fund ("NEF") Homeownership Projects**

Section 2: EXISTING CONDITIONS / SITE INFORMATION

In order to issue Site Approval, MassHousing must find (as required by 760 CMR 56.04 (4)) that the site is generally appropriate for residential development.

Buildable Area Calculations (Acres)

Total Site Area:	121,579.00
Wetland Area (per MA DEP):	0.00
Flood Hazard Area (per FEMA):	0.00
Endangered Species Habitat (per MESA):	0.00
Conservation / Article 97 Land:	0.00
Protected Agricultural Land (i.e. EO 193):	0.00
Other Non-Buildable:	0.00
Total Non-Buildable Area:	0.00
Total Buildable Area:	121,579.00

Current use of the site and prior use if known:

Vacant, treed, upland lot.

Is the site located entirely within one municipality? No

If not, in what other municipality is the site located?

How much land is in each municipality?

Additional Site Addresses:

Current zoning classification and principal permitted uses:

General Residence

Previous Development Efforts

Please list any previous applications pertaining to construction on or development of the site, including (i) type of application (comprehensive permit, subdivision, special permit, etc.); (ii) application filing date; (iii) date of denial, approval or withdrawal. Also indicate the current Applicant's role, if any, in the previous applications.

Note that, pursuant to 760 CMR 56.03 (1), a decision of a Zoning Board of Appeals to deny a Comprehensive Permit, or (if the statutory Minima defined at 760 CMR 56.03 (3) (b or c) have been satisfied) grant a Comprehensive Permit with conditions, shall be upheld if a related application has previously been received, as set forth in 760 CMR 56.03 (7).

See Attachment "Other"

To the best of your knowledge, has this site ever been rejected for project eligibility/site approval by another subsidizing agency or authority? No

If Rejected, Please Explain:

Existing Utilities and Infrastructure	Yes/No	Description
Wastewater- private wastewater treatment	No	
Wastewater - public sewer	Yes	
Storm Sewer	Yes	
Water-public water	Yes	
Water-private well	No	
Natural Gas	Yes	
Electricity	Yes	
Roadway Access to Site	Yes	
Sidewalk Access to Site	No	
Other	No	

Describe Surrounding Land Uses:

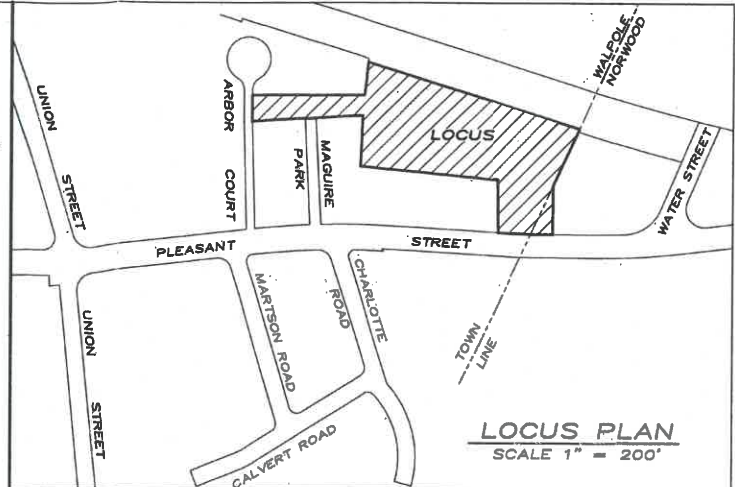
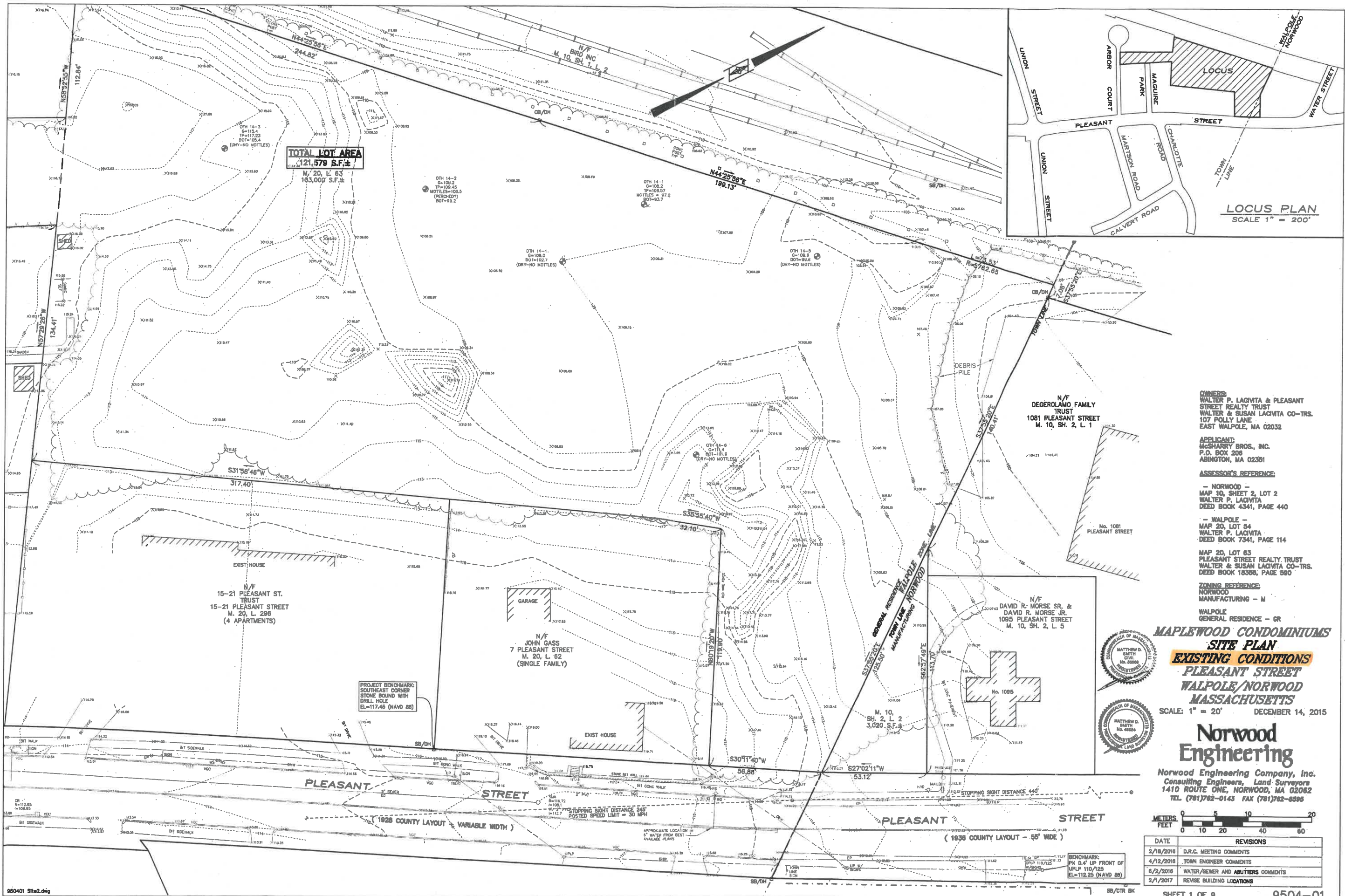
North - Norwood Town line containing heavy commercial and industrial
South - Residential single family homes on Maguire Park Road, a cul-de-sac
East - 1 Single family home and 1 multi-family rental building. Cemetery across the street

Surrounding Land Use/Amenities	Distance from Site	Available by Public Transportation?
Shopping Facilities	0.70	N/A
Schools	1.60	N/A
Government Offices	2.80	N/A
Multi-Family Housing	0.10	N/A
Public Safety Facilities	3.40	N/A
Office/Industrial Uses	0.70	N/A
Conservation Land	0.90	N/A
Recreational Facilities	0.90	N/A
Houses of Worship	0.70	N/A
Other	0.00	N/A

Public transportation near the Site, including type of transportation and distance from site:

Site Characteristics and Development Constraints

Are there any easements, rights of way or other restrictions of record affecting the development of the site?	No
Is there any evidence of hazardous, flammable or explosive material on the site?	No
Is the site, or any portion thereof, located within a designated flood hazard area?	No
Does the site include areas designated by Natural Heritage as endangered species habitat?	No
Are there documented state-designated wetlands on the site?	No
Are there documented vernal pools on the site?	No
Is the site within a local or state Historic District or listed on the National Register or Historic Places?	No
Has the site or any building(s) on the site been designated as a local, state or national landmark?	No
Are there existing buildings and structures on site?	No
Does the site include documented archeological resources?	No
Does the site include any known significant areas of ledge or steep slopes?	No



OWNERS:
WALTER P. LACIVITA & PLEASANT STREET REALTY TRUST
WALTER & SUSAN LACIVITA CO-TRS.
107 POLLY LANE
EAST WALPOLE, MA 02032

APPLICANT:
McSHARRY BROS., INC.
P.O. BOX 206
ABINGTON, MA 02351

ASSESSOR'S REFERENCE:

- NORWOOD -
MAP 10, SHEET 2, LOT 2
WALTER P. LACIVITA
DEED BOOK 4341, PAGE 440
- WALPOLE -
MAP 20, LOT 54
WALTER P. LACIVITA
DEED BOOK 7341, PAGE 114
- MAP 20, LOT 63
PLEASANT STREET REALTY TRUST
WALTER & SUSAN LACIVITA CO-TRS.
DEED BOOK 18356, PAGE 580

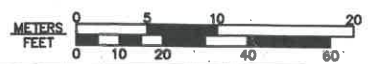
ZONING REFERENCE:
NORWOOD
MANUFACTURING - M

WALPOLE
GENERAL RESIDENCE - GR

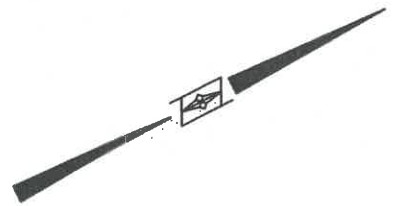
MAPLEWOOD CONDOMINIUMS
SITE PLAN
EXISTING CONDITIONS
PLEASANT STREET
WALPOLE/NORWOOD
MASSACHUSETTS
SCALE: 1" = 20' DECEMBER 14, 2015

Norwood Engineering

Norwood Engineering Company, Inc.
Consulting Engineers, Land Surveyors
1410 ROUTE ONE, NORWOOD, MA 02062
TEL. (781)782-0143 FAX (781)782-8586



DATE	REVISIONS
2/18/2016	D.R.C. MEETING COMMENTS
4/12/2016	TOWN ENGINEER COMMENTS
6/2/2016	WATER/SEWER AND ABUTTERS COMMENTS
2/1/2017	REVISE BUILDING LOCATIONS



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 107 POLLY LANE
 EAST WALPOLE, MA 02032

APPLICANT:
 McSHARRY BROS., INC.
 P.O. BOX 206
 ABINGTON, MA 02131

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 WALTER P. LACIVITA
 DEED BOOK 4341, PAGE 440

- WALPOLE -
 MAP 20, LOT 54
 WALTER P. LACIVITA
 DEED BOOK 7341, PAGE 114

MAP 20, LOT 63
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 WALTER & SUSAN LACIVITA CO-TRS.
 DEED BOOK 18356, PAGE 590

ZONING REFERENCE:
 NORWOOD
 MANUFACTURING - M

WALPOLE
 GENERAL RESIDENCE - GR

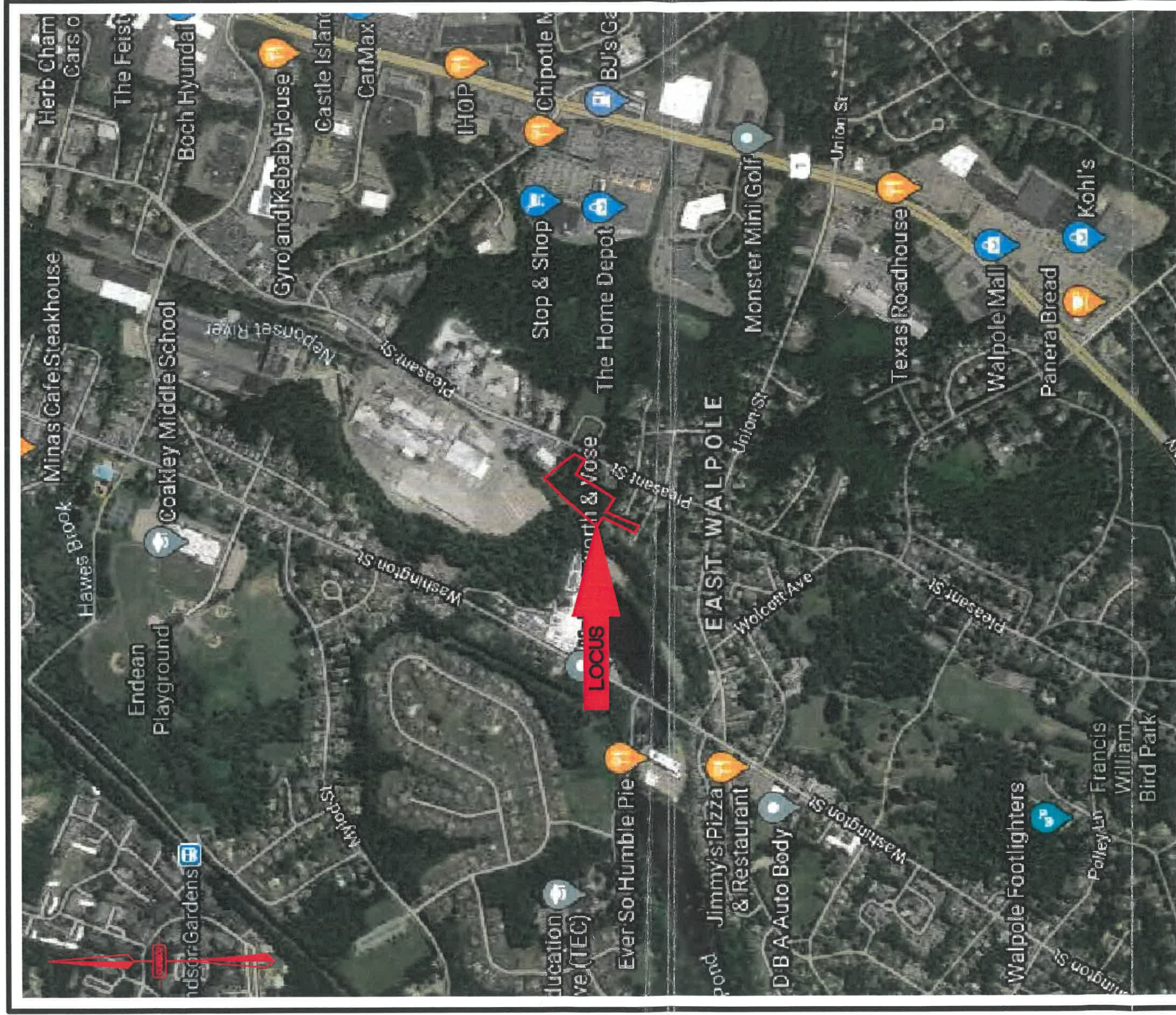
MAPLEWOOD CONDOMINIUMS
SITE PLAN
EXISTING CONDITIONS
PLEASANT STREET
WALPOLE/NORWOOD
MASSACHUSETTS
 SCALE: 1" = 20' DECEMBER 14, 2015

Norwood Engineering

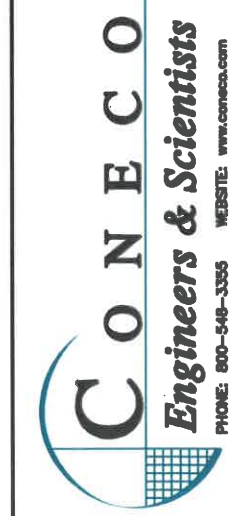
Norwood Engineering Company, Inc.
 Consulting Engineers, Land Surveyors
 1410 ROUTE ONE, NORWOOD, MA 02062
 TEL (781)762-0143 FAX (781)762-8585



DATE	REVISIONS
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5 PLEASANT STREET, WALPOLE, MA 02032



PREPARED FOR: PLEASANT STREET REALTY TRUST

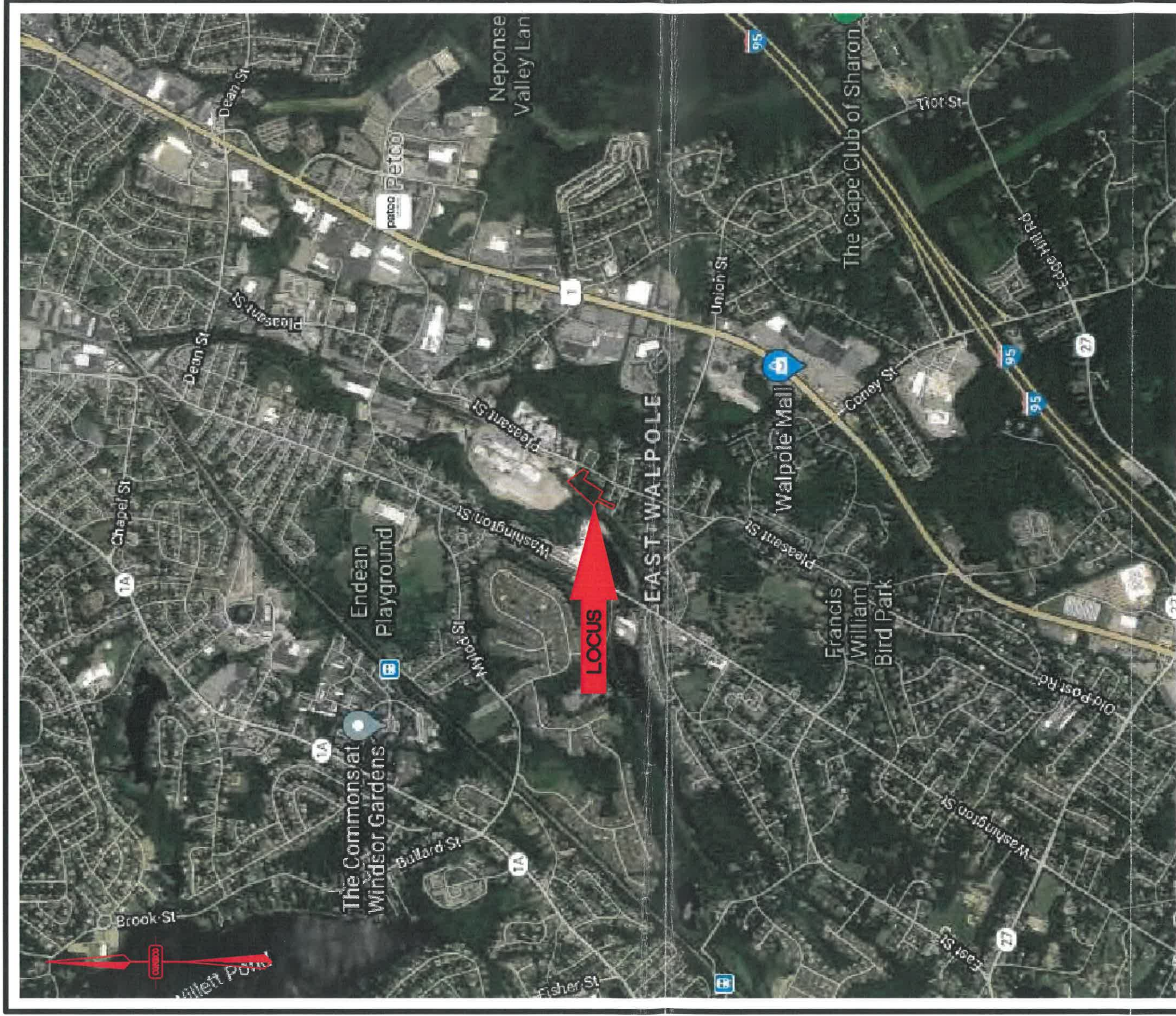
SCALE
 1" = 1,000'

DATE
 2/10/21


PROJECT NO.
 10365

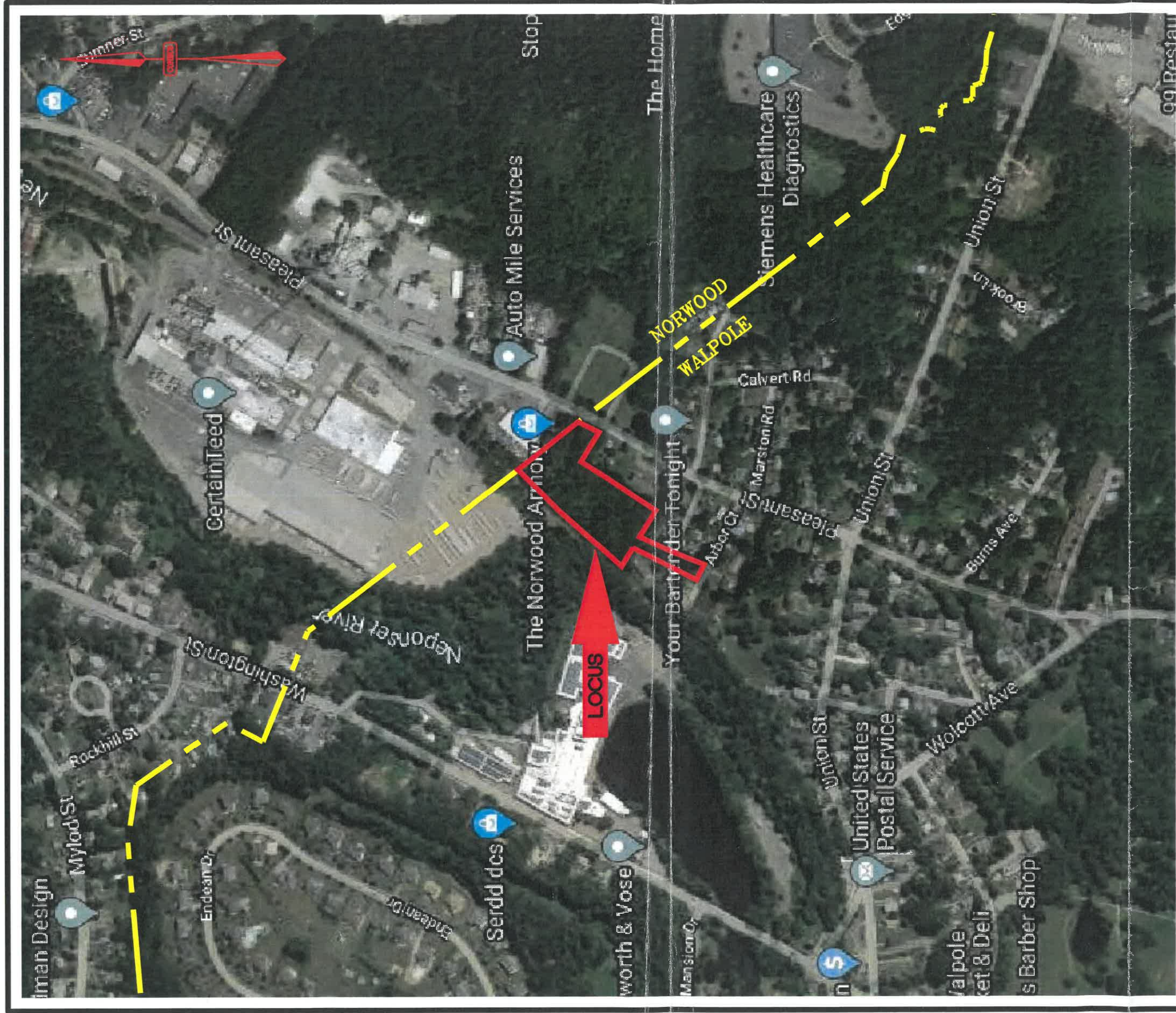
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TITLE: AERIAL

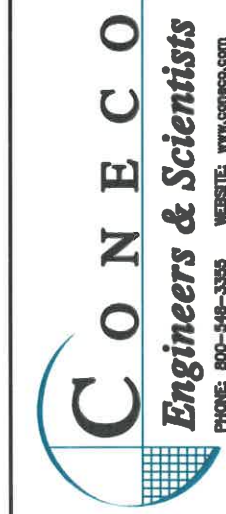


5 PLEASANT STREET, WALPOLE, MA 02032

 <p>CONECO Engineers & Scientists PHONE: 800-548-3355 WEBSITE: www.coneco.com</p>	<p>PREPARED FOR: PLEASANT STREET REALTY TRUST</p>	<p>PLAN SET:</p>	<p>SITE PLANS</p>
	<p>SCALE 1" = 2,000'</p>	<p>DATE 2/10/21</p>	<p>PROJECT NO. 10365</p>



5 PLEASANT STREET, WALPOLE, MA 02032



PREPARED FOR: PLEASANT STREET REALTY TRUST

SCALE
1" = 500'

DATE
2/10/21

PROJECT NO.
10365

PLAN SET:

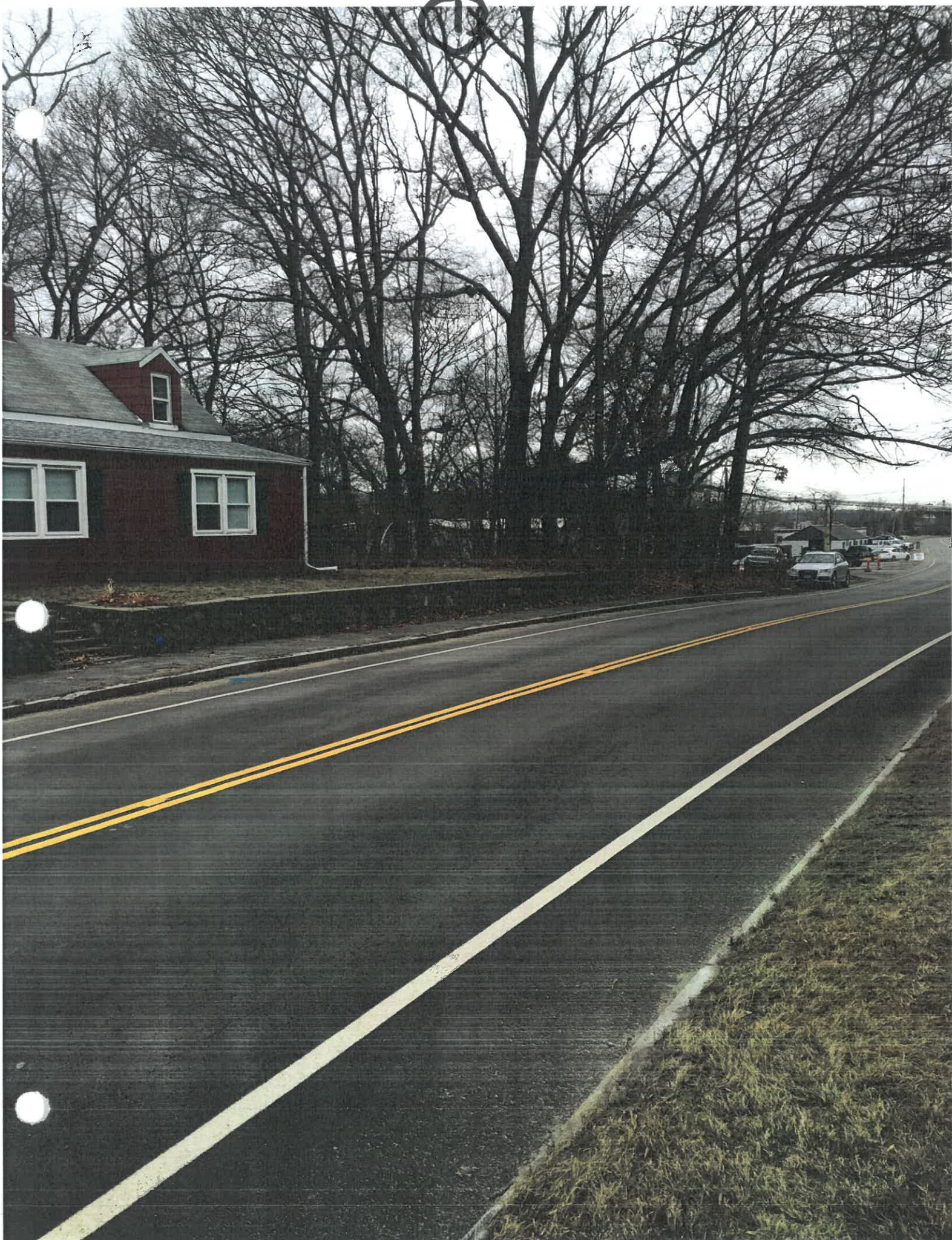
SITE PLANS

TITLE:

AERIAL

Site Picture Reference Map

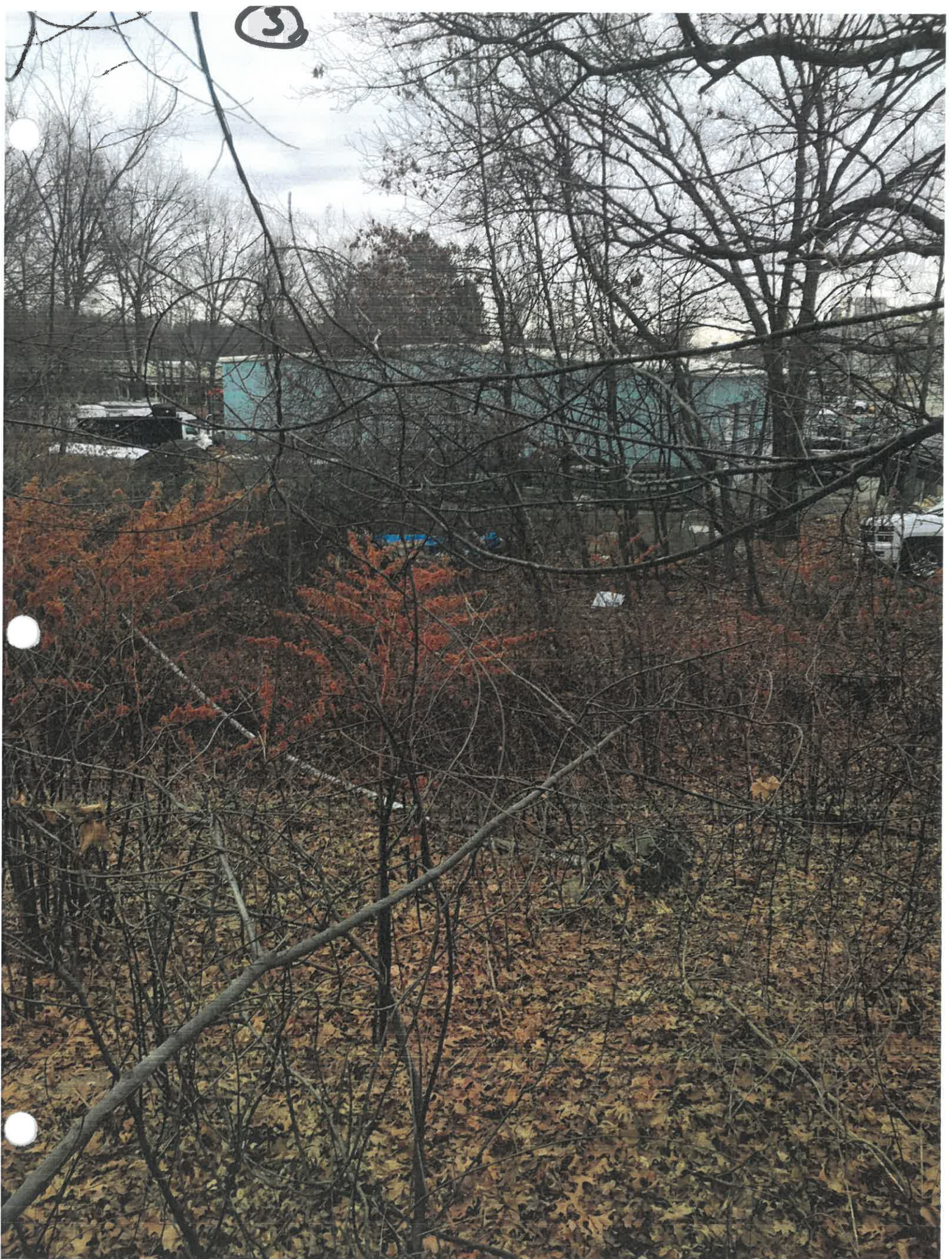




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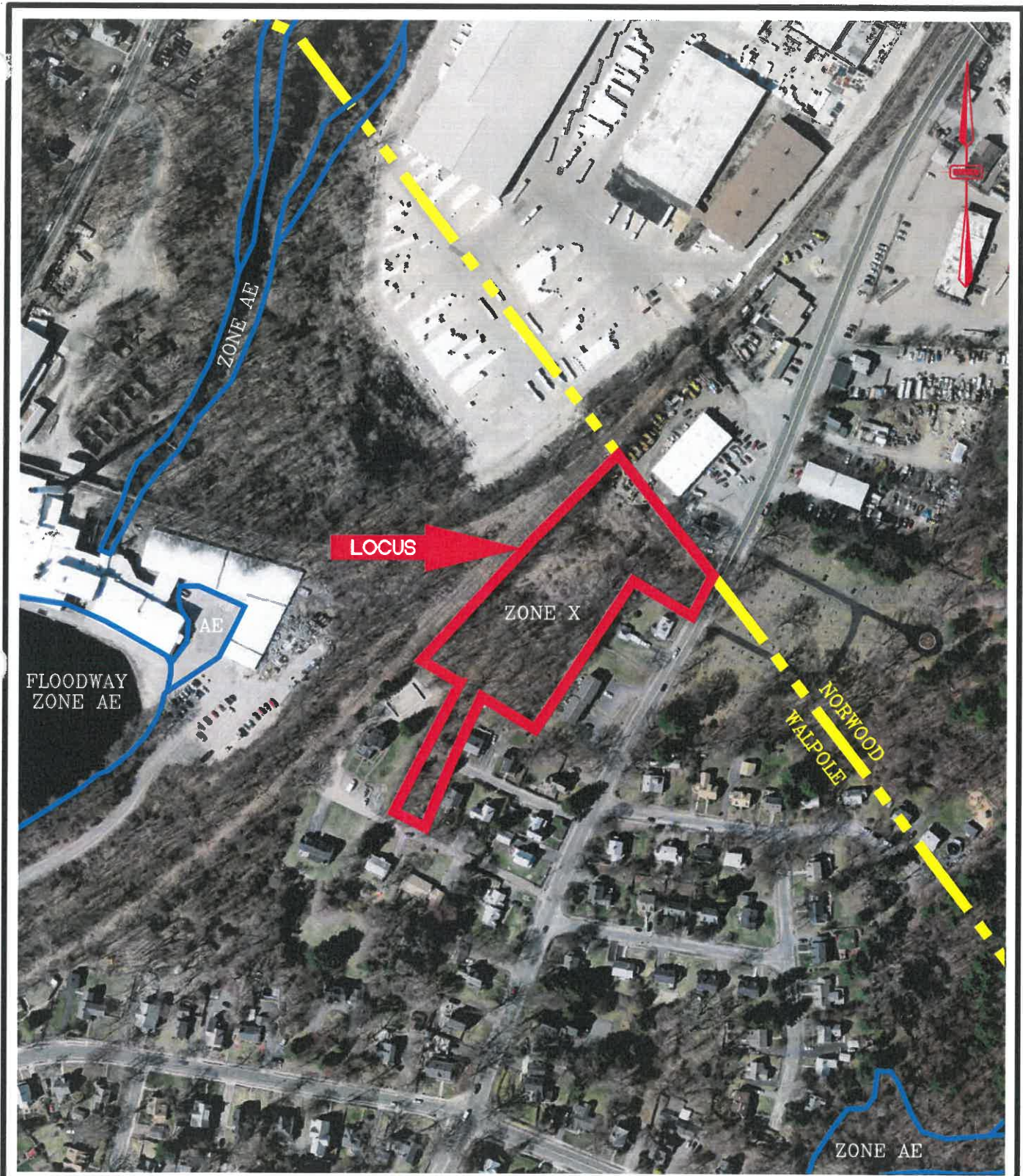


3









5 PLEASANT STREET, WALPOLE, MA 02032



PREPARED FOR:
NEPONSET VILLAGE LLC

FLOOD ZONE PLAN

SCALE
1"=250'

DATE
3/22/21

PROJECT NO.
10365

TITLE
AERIAL



ENVIRONMENTAL
ECOLOGICAL
ENERGY
SURVEY
CIVIL

July 14, 2021

Rick Lincoln
Neponset Village LLC
c/o Coneco Building LLC
4 1st Street
Bridgewater, MA 02324

Re: 1 Pleasant Street, Walpole, Mass.

Dear Mr. Lincoln:

At your request Coneco Engineers & Scientists, Inc. (Coneco) has performed a GIS-level analysis of the property at 1 Pleasant Street in Walpole and conducted a site walk-over assessment as well. Based on MassGIS databases there are no vernal pools (Certified or Potential), no rare species habitat (Estimated or Priority), no water supply protection zones (Zones A and B of surface water supplies or Zones I and II of groundwater supplies), no Outstanding Resource Waters, no Areas of Critical Environmental Concern, and no floodplains (100 year) on or immediately adjacent to the site. We have enclosed a screenshot from MassGIS with all of the aforementioned layers turned on and the site (indicated by the dropped pin) is clear of all these sensitive areas.

Coneco conducted a walk-over assessment of the property on Monday, July 12. The site is a disturbed forested upland with several historic soil / debris piles. Dominant trees in the canopy are Norway maple with a variety of other mature trees including tree of heaven, box elder, black oak, red oak, southern catalpa, black birch, red maple, and American elm. The sapling/shrub layer is sparse with glossy buckthorn as the dominant species and a mix of multiflora rose, autumn olive, black cherry, American beech, and crab apple. Japanese knotweed, garlic mustard, and soapwort are generally dominant as groundcover on site, with areas of New York fern and lady fern. Poison ivy, Virginia creeper, oriental bittersweet, and roundleaf green briar are also found on site.

There is a small, isolated meadow-like area measuring approximately 10 feet x 10 feet that is dominated with grass-leaved golden rod, Canada goldenrod, sensitive fern, Virginia creeper and prickly dewberry. Glossy buckthorn and black birch are on the perimeter of the meadow-like area. Coneco checked the soils in this area and got a matrix of 2.5 YR 5/3 with some redox indicators. The soils are listed by the Natural Resources Conservation Service as Canton fine sandy loams, 3 to 8 percent slope and not classified as hydric (wetland) soils.

There were a lot of casual paths throughout the site but no sign of scat. It appears that neighboring children use the area for recreational purposes. There is a fort / treehouse on the site behind the adjacent condominiums.

If you have any questions about our findings, please contact the undersigned.

Sincerely,
Coneco Engineers & Scientists, Inc.



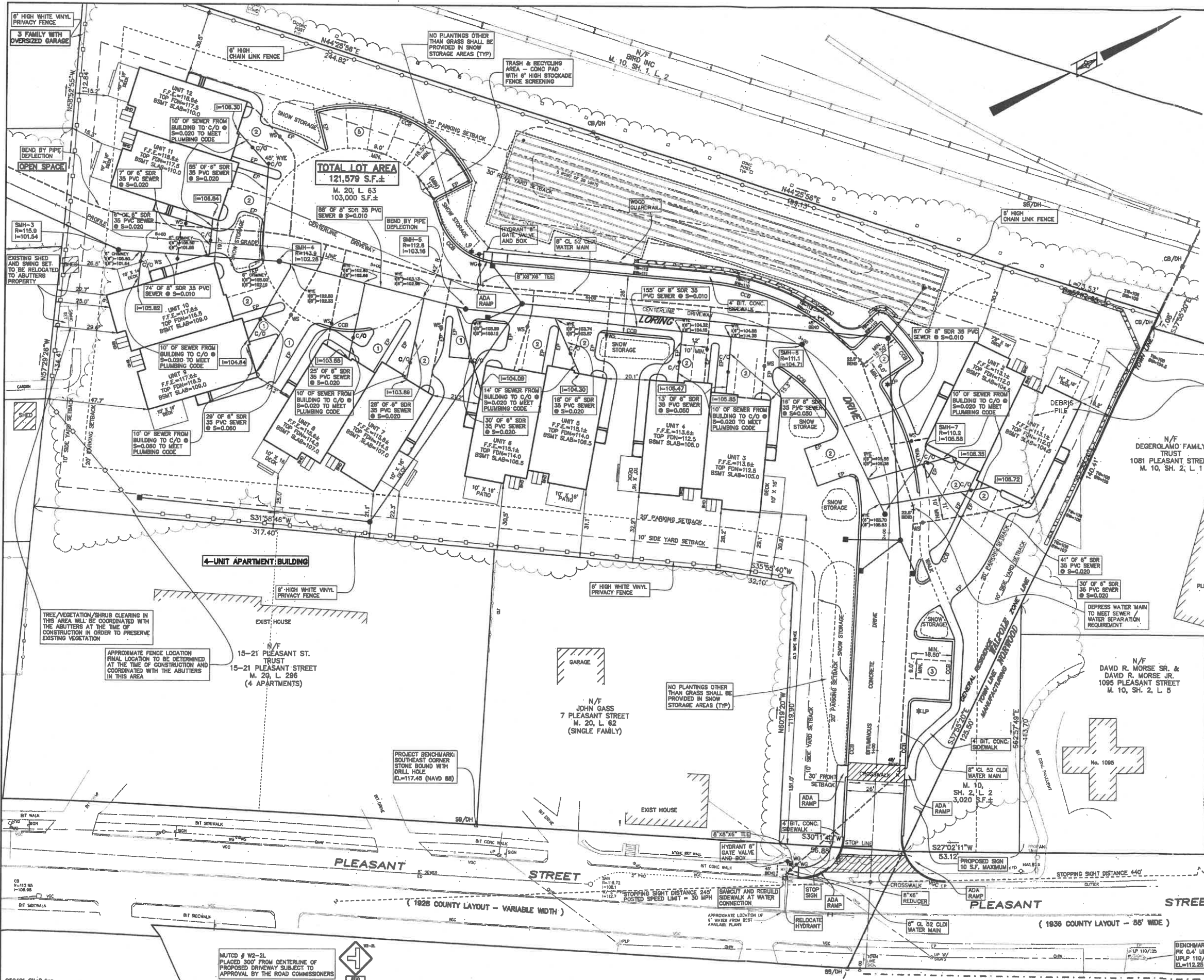
Michael J. Toohill, PWS CE CERP

CC: Lori Macdonald, PWS CWB; Coneco

WETLANDS MAP



BV-RIGHT



WALPOLE DESIGN REQUIREMENTS

ZONING DISTRICT	GENERAL RESIDENCE
LOT SIZE REQUIREMENTS	
MIN. LOT AREA	20,000 S.F. / TWO FAMILY DETACHED DWELLING
MIN. LOT AREA	60% UPLAND REQUIRED
MIN. LOT FRONTAGE	100 FT.
REQ. LOT WIDTH AT SETBACK	80% x 100' = 80' @ SETBACK
CIRCLE (TANGENT TO STREET)	DIAM = 80% FRONTAGE = 0.8 x 100 = 80 FT.
COVERAGE REQUIREMENTS	
LOT COVERAGE	30% BUILDINGS
OPEN SPACE (WALKS INCL.)	40% MIN.
IMPERVIOUS & BUILDINGS	60% MAX
SETBACK REQUIREMENTS	
MIN. FRONT SETBACK	30 FT.
MIN. SIDEYARD	10 FT.
MIN. REAR YARD	30 FT.
OTHER DESIGN REQUIREMENTS	
BUILDING HEIGHT	35' MAXIMUM
PARKING SPACE COUNT	2/UNIT X 12 UNITS = 24
PARKING SPACE SIZE	9FT. X 18.5 FT. (MIN)
ASILE WIDTH	28 FT.
PARKING LOCATION	20' FROM STREET & LOT LINES

NOTES

- * ZBA SP REQUIRED FOR MORE THAN ONE BUILDING ON A LOT (SECT 6-C.4.c)
- * ZBA SP REQUIRED FOR TWO FAMILY DETACHED DWELLING (SECT. 6-B.3.b)
- * SITE PLAN REVIEW PLANNING BOARD REQUIRED FOR A PROJECT WITH MORE THAN 6 PARKING SPACES (SECT. 13)

OWNERS:
WALTER P. LACIVITA & PLEASANT STREET REALTY TRUST
WALTER & SUSAN LACIVITA CO-TRS.
107 POLLY LANE
EAST WALPOLE, MA 02032

APPLICANT:
McSHARRY BROS., INC.
P.O. BOX 208
ABINGTON, MA 02351

ASSESSOR'S REFERENCE:

- NORWOOD -
MAP 10, SHEET 2, LOT 2
WALTER P. LACIVITA
DEED BOOK 4341, PAGE 440
- WALPOLE -
MAP 20, LOT 54
WALTER P. LACIVITA
DEED BOOK 7341, PAGE 114
- MAP 20, LOT 63
PLEASANT STREET REALTY TRUST
WALTER & SUSAN LACIVITA CO-TRS.
DEED BOOK 18356, PAGE 590

ZONING REFERENCE:
NORWOOD
MANUFACTURING - M

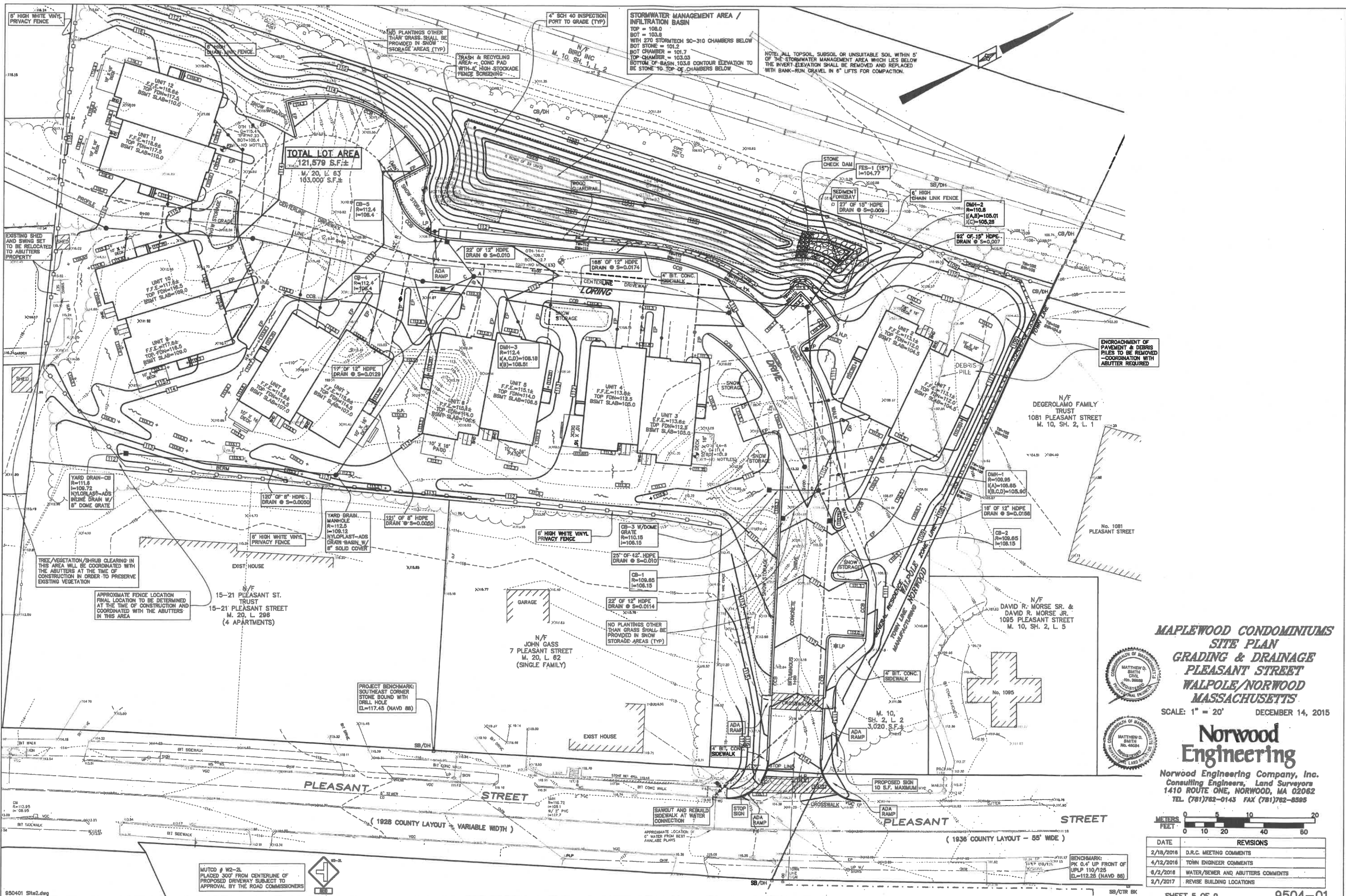
WALPOLE
GENERAL RESIDENCE - GR

MAPLEWOOD CONDOMINIUMS
SITE PLAN
LAYOUT AND UTILITIES
PLEASANT STREET
WALPOLE/NORWOOD
MASSACHUSETTS

SCALE: 1" = 20' DECEMBER 14, 2015

Norwood Engineering
Norwood Engineering Company, Inc.
Consulting Engineers, Land Surveyors
1410 ROUTE ONE, NORWOOD, MA 02062
TEL (781)782-0145 FAX (781)782-8395

DATE	REVISIONS
2/18/2016	D.R.C. MEETING COMMENTS
4/12/2016	TOWN ENGINEER COMMENTS
6/2/2016	WATER/SEWER AND ABUTTERS COMMENTS
2/1/2017	REVISE BUILDING LOCATIONS



STORMWATER MANAGEMENT AREA / INFILTRATION BASIN
 TOP = 108.0
 BOT = 103.8
 WITH 270 STORMTECH SC-310 CHAMBERS BELOW
 BOT STONE = 101.2
 BOT CHAMBER = 101.7
 TOP CHAMBER = 103.03
 BOTTOM OF BASIN 103.8 CONTOUR ELEVATION TO BE STONE TO TOP OF CHAMBERS BELOW

NOTE: ALL TOPSOIL, SUBSOIL OR UNSUITABLE SOIL WITHIN 5' OF THE STORMWATER MANAGEMENT AREA WHICH LIES BELOW THE INVERT ELEVATION SHALL BE REMOVED AND REPLACED WITH BANK-RUN GRAVEL IN 6" LIFTS FOR COMPACTION.

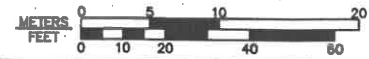
TOTAL LOT AREA
 121,679 S.F.±
 M. 20, L. 63
 103,000 S.F.±

MAPLEWOOD CONDOMINIUMS
SITE PLAN
GRADING & DRAINAGE
PLEASANT STREET
WALPOLE/NORWOOD
MASSACHUSETTS

SCALE: 1" = 20' DECEMBER 14, 2015

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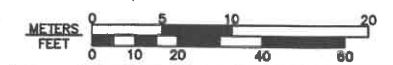


DATE	REVISIONS
2/18/2016	D.R.C. MEETING COMMENTS
4/12/2016	TOWN ENGINEER COMMENTS
8/2/2016	WATER/SEWER AND ABUTTERS COMMENTS
3/1/2017	REVISE BUILDING LOCATIONS



MAPLEWOOD CONDOMINIUMS
SITE PLAN
GRADING & DRAINAGE PLAN
PLEASANT STREET
WALPOLE/NORWOOD
MASSACHUSETTS
 SCALE: 1" = 20' DECEMBER 14, 2015

Norwood Engineering
 Norwood Engineering Company, Inc.
 Consulting Engineers, Land Surveyors
 1410 ROUTE ONE, NORWOOD, MA 02062
 TEL (781)762-0145 FAX (781)762-8595



DATE	REVISIONS
2/16/2018	D.R.C. MEETING COMMENTS
4/12/2018	TOWN ENGINEER COMMENTS
6/2/2018	WATER/SEWER AND ABUTTERS COMMENTS
2/1/2017	REVISE BUILDING LOCATIONS

PERMITTING HISTORY

Chapter 40A Permitting Process

Land Disturbance Permit - Case #2016-2

McSharry Bros., Inc. applied for a Land Disturbance Permit with the Conservation Commission to allow the "Construction of a 12 unit condominium project consisting of 6 duplex buildings and associated site work including, the construction of a 500+!- long driveway, drainage system, infiltration basin and water and sewer."

The Application was made on March 14, 2016 and the Land Disturbance Permit was Granted on April 13, 2016.

Site Plan Approval- Case No. 16-5

McSharry Bros, Inc. requested Site Plan Approval under Section 13 of the Town of Walpole Zoning Bylaw a condominium complex consisting of six (6) two (2) unit buildings together with its attendant parking, landscaping, and signage all as shown on a plan entitled: "Maplewood Condominium, Site Plan, Pleasant Street, Walpole / Norwood, Massachusetts" scale 1" = 20', dated December 14, 2015, last revised February 1, 2017, drawn by Norwood Engineering Company, Inc., as may be amended.

The Application was made on March 14, 2016 and Site Plan Approval was Granted: May 8, 2017.

In part the decision stated:

"The Board finds that the site straddles the Walpole - Norwood Town Line. As such, the neighborhood within Walpole consists of single and multi-family residences, a cemetery, and an active rail line along its boundaries. The immediate neighborhood in Norwood is commercial in nature. The direct Norwood abutters being a gun shop/propane store, automotive repair shop and commercial building. Further down the road is an asphalt plant, a siding plant and other industrial/manufacturing uses. The Board also finds that the condominium as presented has a density of 10,131 s.f. per unit whereas the median density for direct residential abutters is 8,000 s.f. per unit and the median density for the lots of the abutters within three hundred feet (300') is 10,000 s.f. per unit. Additionally, the architectural plans presented show that the units will be built with traditional building materials, have gabled rooflines, and other architectural elements that are commonly found in single- and two-family dwellings within the Town. As such, the buildings and overall project are consistent with the design and character of the surrounding area and this criterion is satisfied."

Special Permits - Case No., 03-16

McSharry Bros, Inc requested Special Permits under Section 5.B.3. Residential b. and Section 6.C.4.A of the Zoning Bylaw to allow a condominium complex consisting of six (6) two (2) unit buildings together with its attendant parking, landscaping, and signage all as shown on a plan

entitled: "Maplewood Condominium, Site Plan, Pleasant Street, Walpole / Norwood, Massachusetts" scale 1" = 20', dated December 14, 2015, last revised February 18, 2016, drawn by Norwood Engineering Company, Inc., as may be amended.

The Application was made on March 14, 2016 the hearing was closed and the Board voted to approve the Special Permit under 5.B.3.b. (5-0) and deny the Special Permit under 6.C.4.A (3-2).

McSharry Bros, Inc. appealed the decision to the Land Court and the same was remanded to the Zoning Board of Appeals which voted and adopted a remand decision approving the Special Permit under 5.B.3.b (5-0) and denying the Special Permit under 6.C.4.A (5-0) on October 25, 2017.

The substance of the denial being that 6 buildings with 12 units is too dense for the neighborhood and not in harmony with the general character of the neighborhood. The Decision allowed the Applicant to return to the board with a new Application with a density less than originally proposed.

No further direct communication was allowed by the Board and all discussions were then conducted through counsel. As part of the Land Court pre-trial procedure, McSharry Bros., Inc, attempted to settle the matter with the Zoning Board of Appeals proposing 10 units - as was suggested by the Board during the initial hearings. The Board, through Counsel, rejected all offers of settlement. McSharry Bros., Inc filed a Notice of Dismissal with the Land Court on July 19, 2018 and accordingly started the tolling period for a Comprehensive Permit filing.

Subsequent Meetings with Town Officials

October 14, 2020

An initial Meeting was held with the Town Administrator, the Community and Economic Development Officer, and Building Commissioner to discuss the project in concept. Some initial thoughts were provided by the Town for the Applicant to consider and incorporate, if possible, into the design.

March 30, 2021

A zoom meeting was chaired by the new Community and Economic Development Officer, to the best of our knowledge the Town Administration, Building Department, Department of Public Works (to include Sewer & Water and Engineering), Police, and Fire were all represented. Several comments were made about a second/emergency access and other technical items. The commitment to upgrade the water lines in the area (initially made during Site Plan Approval) was confirmed by both the DPW and the Applicant.



600 Unicorn Park Drive σ Woburn, MA 01801
Phone: 781-932-3201 σ Fax: 781-932-3413

MEMORANDUM

TO: Mark McSharry
Neponset Village, LLC

FROM: Kenneth P. Cram, P.E.

CC:

DATE: July 20, 2021

RE: Neponset Village Condominiums
5 Pleasant Street, Walpole, MA

This memorandum has been prepared to assess the traffic impact associated with the proposed residential development on Pleasant Street in Walpole, Massachusetts. This assessment has reviewed available traffic volume data, developed trip generation projections and prepared a preliminary assessment of the potential project's impacts at the intersection of Pleasant Street and the site driveway.

PROJECT DESCRIPTION

The parcel of land to be developed is located on the west side of Pleasant Street, north of Maguire Park. Currently the site consists of wooded and undeveloped land. The proposed development includes the construction of twenty-four (24) condominium units. Parking for 53 vehicles is proposed on the site. Access to the site would be provided by way of a full-movement driveway to Pleasant Street. Figure 1 shows the site in relation to the roadway network.

EXISTING CONDITIONS

Roadway Network

Pleasant Street - Pleasant Street is functionally classified as an Urban Collector that runs in a general north/south direction and is under the jurisdiction of the Town of Walpole. In the site vicinity, the roadway provides one 12 ft wide travel lane per direction with variable width shoulders. The existing roadway width is approximately 26 feet wide. Travel lanes are separated by a double yellow centerline. The posted speed limit is 30 miles per hour (mph). Illumination is provided by luminaries mounted on poles. Land use along Pleasant Street in the vicinity of the site consists primarily of residential homes, a cemetery, and small commercial uses.



Figure 1
Site Location Map

Traffic Volumes

To establish base traffic conditions within the study area, automatic traffic recorder counts (ATR) were conducted on June 29 and 30, 2021 on Pleasant in the site vicinity. The traffic count worksheets are provided in the Appendix.



The traffic-volume data gathered as part of this study was collected during the month of June 2021. Data from the MassDOT was reviewed to determine the monthly variations of the traffic volumes. The traffic data showed June volumes to be slightly higher than average month conditions. The June volumes were used to represent average month conditions.

Due to the Covid-19 pandemic, traffic volumes are currently lower than normal. To account for this, data from the original Maplewood Condominiums Report dated June 13, 2016 was reviewed. The January 2016 AADT was seasonally adjusted and grown to 2021 using a one (1.0) percent compounded growth rate. This data was then compared to the recorded 2021 AADT performed for this project. This assessment shows that the current 2021 traffic volumes are approximately 7.7% lower. Therefore, the 2021 volumes were increased by a factor of 1.077 to represent pre-COVID conditions.

The 2021 daily and peak-hour traffic volumes for average-month conditions are shown in Table 1.

**TABLE 1
EXISTING WEEKDAY TRAFFIC VOLUME SUMMARY^a**

Location	Weekday Traffic Volume ^b	Weekday Morning Peak Hour			Weekday Evening Peak Hour		
		Traffic Volume ^c	K Factor ^d	Directional Distribution ^e	Traffic Volume	K Factor	Directional Distribution
Pleasant Street at Walpole-Norwood Town Line	8,620	664	7.7	69.9% NB	607	7.0	59.8% SB

^aTwo-way traffic volume

^bDaily traffic expressed in vehicles per day.

^cExpressed in vehicles per hour.

^dPercent of daily traffic volumes which occurs during the peak hour.

^ePercent of peak-hour volume in the predominant direction of travel.

NB = northbound; SB = southbound; EB = eastbound; WB = westbound.

Pleasant Street was recorded to carry approximately 8,620 vehicles per day (vpd) in the vicinity of the site. During the weekday morning peak hour, approximately 664 vehicles per hour (vph) were recorded, and during the weekday evening peak hour, approximately 607 vph were recorded.

Vehicle Speeds

Existing speed data for Pleasant Street was also collected using the ATR. The speed data is summarized in Table 2.

**TABLE 2
OBSERVED VEHICLE SPEEDS**

Location	Posted Speed Limit (mph)	Direction	Average Observed Speed ^a (mph)	85 th Percentile Speed (mph)
Pleasant Street at Walpole-Norwood Town Line	30	NB	35	39
		SB	34	39

^aBased on speed data compiled on June 29 and 30, 2021.

As shown in Table 2, the average speed of vehicles travelling northbound and southbound on Pleasant Street in the site vicinity was found to be 35 to 34 mph, respectively. The 85th percentile speed was found to be 39 mph for both northbound and southbound vehicles. The 85th percentile speed is the speed at which sight distances are evaluated.

Crash Experience

Motor vehicle crash data for the study area intersections and roadways were obtained from the MassDOT for 2015 through 2020. The motor vehicle crash data was reviewed to determine crash trends in the study area. No crashes were reported in the study area during the six-year interval.

Public Transportation

Public transportation services are provided within the study area by the Massachusetts Bay Transportation Authority (MBTA). The MBTA provides bus service to Walpole by Bus Routes 34/34E. Bus Routes 34/34E provide service from Walpole Center to Forest Hills Station. Service is provided on Bus Routes 34/34E Monday through Friday from 4:35 AM to 1:32 AM, Saturday from 5:00 AM to 1:56 AM and Sunday from 5:35 AM to 1:43 AM.

The MBTA also provides service to Walpole on the Franklin Commuter Line. Service is provided Monday through Friday from 5:10 AM to 12:16 AM and Saturday and Sunday from 5:25 AM to 12:01 AM. The MBTA data is included in the Appendix.

Planned Roadway Improvements

Officials for the Towns of Walpole and Norwood were contacted regarding roadway improvements planned for the study area. No improvements are currently planned.



FUTURE CONDITIONS

Future No-Build Conditions

Traffic growth on area roadways is a function of the expected land development in the immediate area as well as the surrounding region. Historical traffic volume data compiled by MassDOT was reviewed to determine an appropriate growth rate. Based on a review of the available data, it was determined that there has been approximately 1.2% growth from 2012 to 2018. To provide a conservative analysis, a background growth rate of one and a half (1.5) percent per year was applied to the existing traffic volumes.

Discussions with the Towns of Walpole and Norwood indicate that there is one other project in the study area. The project consists of thirty-two (32) townhouse units proposed on Burns Avenue (located south of the site off Pleasant Street). Trips for this project were estimated using the ITE Trip Generation Manual and were included in the background projections.

The 2028 No-Build weekday morning and weekday evening peak-hour traffic volumes were developed by applying a compounded one and a half (1.5) percent annual growth rate to the 2021 Existing peak-hour traffic volumes and adding traffic from the identified background project. The growth rate calculations and background traffic volumes are included in the Appendix.

Site Traffic Generation

Trip-generation data published by the ITE *Trip Generation* manual¹ was reviewed. Trip generation data for Land Use Code (LUC) 220 – Multifamily Housing (Low-Rise) was reviewed. This data is summarized in Table 3 and the calculations are included in the Appendix.

The proposed project is estimated to generate a total of 140 vehicle trips on an average weekday. During the weekday morning peak hour, the project is expected to generate a total of 12 vehicle trips (3 vehicles entering and 9 vehicles exiting). During the weekday evening peak hour, the project is expected to generate a total of 17 vehicle trips (11 vehicles entering and 6 vehicles exiting).

¹*Trip Generation*, Tenth Edition; Institute of Transportation Engineers; Washington, DC; 2012.

**TABLE 3
TRIP-GENERATION**

	Residential Trips ^a
<i>Average Weekday Daily Traffic</i>	140
<i>Weekday Morning Peak Hour:</i>	
Entering	3
<u>Exiting</u>	<u>9</u>
Total	12
<i>Weekday Evening Peak Hour:</i>	
Entering	11
<u>Exiting</u>	<u>6</u>
Total	17

^aBased on ITE LUC 220 – Multifamily Housing (Low-Rise); 24 units.

Trip Distribution

The directional distribution of the vehicular traffic approaching and departing the site is a function of population densities, the location of employment, existing travel patterns, similar uses, and the efficiency of the existing roadway system. A gravity model based on available journey-to-work data for the Town of Walpole was developed to determine the expected trip distribution. This pattern is summarized in Table 4 and the gravity model is included in the Appendix.

**TABLE 4
TRIP-DISTRIBUTION SUMMARY**

Route	Direction To/From	Percent of Trips To/From
Pleasant Street	North	41
Pleasant Street	South	<u>59</u>
TOTAL		100

Future Build Conditions

The site-generated traffic was distributed within the study area according to the percentages summarized in Table 4. The site generated volumes were superimposed onto the projected No-Build traffic volumes to represent the 2028 Build traffic-volume conditions. These volumes were used as the basis for all analyses as well as to identify potential mitigation measures to ameliorate the project’s impacts.

Capacity Analysis Results

To assess intersection operations, capacity analyses were conducted for the Build traffic-volume conditions. Capacity analyses provide an indication of how well the study area intersections serve existing and projected traffic volumes. The level-of-service definitions are contained in the Appendix.

Level-of-service analyses were conducted for average month conditions for the 2028 Build conditions for the intersections within the study area. The results of the unsignalized capacity analyses are summarized in Table 5. Detailed analysis sheets are presented in the Appendix.

**TABLE 5
UNSIGNALIZED LEVEL-OF-SERVICE ANALYSIS SUMMARY**

Critical Movement/ Peak Hour	2028 Build			
	Demand ^a	v/c ^b	Delay ^c	LOS ^d
<i>Pleasant Street and Proposed Site Driveway</i>				
<i>All movements from Site Driveway:</i>				
Weekday Morning	9	0.02	12.8	B
Weekday Evening	6	0.01	12.9	B

^aDemand of critical movements in vehicles per hour.

^bVolume-to-capacity ratio.

^cDelay in seconds per vehicle.

^dLevel of service.

Pleasant Street and Site Driveway

Under future 2028 Build conditions, with the project, the critical movements (all movements from the site driveway) are projected to operate at LOS B during the weekday morning and weekday evening peak hours. In addition, the volume-to capacity (v/c) ratios for the critical movements will be well below 1.00, indicating there will be adequate capacity to accommodate the anticipated traffic volumes.

SIGHT DISTANCE ANALYSIS

Sight distance measurements were performed at the intersection of the proposed site driveway along Pleasant Street in accordance with MassDOT standards. Stopping sight distance (SSD) measurements were performed. In brief, SSD is the distance required by a vehicle traveling at the design speed of a roadway, on wet pavement, to stop prior to striking an object in its travel path. Intersection sight distance (ISD) or corner sight distance (CSD) is the sight distance required by a driver entering or crossing an intersecting roadway, to perceive an on-coming vehicle and safely complete a turning or crossing maneuver with on-coming traffic. Table 6 presents the measured SSD at the site driveway intersection with Pleasant Street. The sight distance calculations are included in the Appendix.

**TABLE 6
SIGHT DISTANCE SUMMARY**

	Required Minimum (Feet) ^a	Measured (Feet)
<i>Pleasant Street and Proposed Site Driveway</i>		
<i>Stopping Sight Distance:</i>		
Prospect Street approaching from the north	289	350
Prospect Street approaching from the south	289	500+
<i>Intersection Sight Distance:</i>		
Site Driveway looking to the north	373 ^b /430 ^c	300
Site Driveway looking to the south	373 ^b /430 ^c	500+

^aRecommended minimum values obtained from *A Policy on Geometric Design of Highways and Streets*; American Association of State Highway and Transportation Officials (AASHTO); 2010, and based on a 85th percentile speed of 39 mph as recorded with the ATR on June 29 and 30, 2021.

^bRecommended minimum value for vehicles turning right exiting a roadway under STOP-sign control.

^cRecommended minimum value for vehicles turning left exiting a roadway under STOP-sign control.

As can be seen in Table 6, the SSD measurements performed at the site driveway intersection with Prospect Street indicate that the intersection exceeds the recommended minimum requirements based on the 85th percentile speeds. In accordance with the AASHTO manual, *“If the available sight distance for an entering or crossing vehicle is at least equal to the appropriate stopping sight distance for the major road, then drivers have sufficient sight distance to anticipate and avoid collisions. However, in some cases, this may require a major-road vehicle to stop or slow to accommodate the maneuver by a minor-road vehicle. To enhance traffic operations, intersection sight distances that exceed stopping sight distances are desirable along the major road.”* Accordingly, the ISD should be at least equal to the SSD, which would allow a driver approaching the minor road to safely stop. The southbound approach is currently partially obstructed with trees and brush that will be removed during the site construction. It is recommended that any proposed landscaping in the vicinity of the site driveway be less than three (3) feet in height and maintained for sight lines. Along the

Pleasant Street frontage, it is recommended that no plantings occur within ten (10) feet of the travelled way to maintain sight lines.

CONCLUSION AND RECOMMENDATIONS

Bayside has examined the potential traffic impacts associated with the proposed development on Pleasant Street on the study area roadways. The following is a summary of the results and conclusions of this effort:

- The proposed project consists of 24 condominium units. Access to the site would be provided by way of a full-movement driveway to Pleasant Street.
- No crashes were reported in the vicinity of the proposed driveway over the six-year period.
- Utilizing industry standards for site-generated trip estimates, the proposed project is estimated to generate a total of 140 vehicle trips on an average weekday. During the weekday morning peak hour, the project is expected to generate a total of 12 vehicle trips (3 vehicles entering and 9 vehicles exiting). During the weekday evening peak hour, the project is expected to generate a total of 17 vehicle trips (11 vehicles entering and 6 vehicles exiting).
- The site driveway is projected to operate at LOS B during the weekday morning and weekday evening peak hours with volume-to-capacity (v/c) ratios well below 1.00, indicating there will be adequate capacity to accommodate the anticipated traffic volumes.
- Along the property frontage, it is recommended that all landscaping be set back from the edge of Pleasant Street and designed not to exceed three (3) feet to not inhibit sight distances.
- It is also recommended that a DRIVEWAY AHEAD sign be posted on Pleasant Street southbound approaching the driveway.
- The impact of the site-generated traffic does not warrant site specific traffic mitigation within the study area. There are no feasible or reasonable means of reducing delays at the site driveway.



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APPENDIX

TRAFFIC VOLUME COUNT DATA
SEASONAL ADJUSTMENT
MBTA SCHEDULES
GROWTH RATE WORKSHEET
BACKGROUND PROJECT WORKSHEETS
TRIP GENERATION DATA
TRIP DISTRIBUTION WORKSHEETS
TRAFFIC VOLUME NETWORKS
CAPACITY ANALYSIS METHODOLOGY
CAPACITY ANALYSIS WORKSHEETS
SIGHT DISTANCE WORKSHEETS



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TRAFFIC VOLUME COUNT DATA



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Pleasant Street
 at Walpole-Norwood Town Line
 City, State: Walpole, MA
 Client: Bayside Engineering/ K. Cram
 Site Code: 2213020



PDI File #: 218044 ATR-A

Count Date:

Wednesday, June 30, 2021

Volume

NB					SB					Combined							
Start Time:	15 min	60 min	15 min	60 min	Start Time:	15 min	60 min	15 min	60 min	Start Time:	15 min	60 min	15 min	60 min			
12:00 AM	2		12:00 PM	73	12:00 AM	1		12:00 PM	105	12:00 AM	3		12:00 PM	178			
12:15 AM	1		12:15 PM	100	12:15 AM	1		12:15 PM	94	12:15 AM	2		12:15 PM	194			
12:30 AM	2		12:30 PM	94	12:30 AM	1		12:30 PM	70	12:30 AM	3		12:30 PM	164			
12:45 AM	0	5	12:45 PM	102	369	12:45 AM	1	4	12:45 PM	77	346	12:45 AM	1	9	12:45 PM	179	715
1:00 AM	1		1:00 PM	87		1:00 AM	0		1:00 PM	71		1:00 AM	1		1:00 PM	158	
1:15 AM	1		1:15 PM	71		1:15 AM	1		1:15 PM	71		1:15 AM	2		1:15 PM	142	
1:30 AM	1		1:30 PM	74		1:30 AM	0		1:30 PM	80		1:30 AM	1		1:30 PM	154	
1:45 AM	1	4	1:45 PM	68	300	1:45 AM	1	2	1:45 PM	99	321	1:45 AM	2	6	1:45 PM	167	621
2:00 AM	1		2:00 PM	63		2:00 AM	2		2:00 PM	97		2:00 AM	3		2:00 PM	160	
2:15 AM	2		2:15 PM	79		2:15 AM	0		2:15 PM	111		2:15 AM	2		2:15 PM	190	
2:30 AM	1		2:30 PM	67		2:30 AM	1		2:30 PM	104		2:30 AM	2		2:30 PM	171	
2:45 AM	0	4	2:45 PM	86	295	2:45 AM	1	4	2:45 PM	112	424	2:45 AM	1	8	2:45 PM	198	719
3:00 AM	2		3:00 PM	60		3:00 AM	4		3:00 PM	73		3:00 AM	6		3:00 PM	133	
3:15 AM	1		3:15 PM	61		3:15 AM	0		3:15 PM	80		3:15 AM	1		3:15 PM	141	
3:30 AM	2		3:30 PM	52		3:30 AM	1		3:30 PM	79		3:30 AM	3		3:30 PM	131	
3:45 AM	5	10	3:45 PM	70	243	3:45 AM	0	5	3:45 PM	64	296	3:45 AM	5	15	3:45 PM	134	539
4:00 AM	4		4:00 PM	43		4:00 AM	1		4:00 PM	106		4:00 AM	5		4:00 PM	149	
4:15 AM	4		4:15 PM	52		4:15 AM	1		4:15 PM	73		4:15 AM	5		4:15 PM	125	
4:30 AM	4		4:30 PM	44		4:30 AM	1		4:30 PM	91		4:30 AM	5		4:30 PM	135	
4:45 AM	3	15	4:45 PM	68	207	4:45 AM	2	5	4:45 PM	67	337	4:45 AM	5	20	4:45 PM	135	544
5:00 AM	13		5:00 PM	49		5:00 AM	2		5:00 PM	101		5:00 AM	15		5:00 PM	150	
5:15 AM	23		5:15 PM	66		5:15 AM	3		5:15 PM	78		5:15 AM	26		5:15 PM	144	
5:30 AM	29		5:30 PM	49		5:30 AM	7		5:30 PM	65		5:30 AM	36		5:30 PM	114	
5:45 AM	58	123	5:45 PM	51	215	5:45 AM	10	22	5:45 PM	70	314	5:45 AM	68	145	5:45 PM	121	529
6:00 AM	34		6:00 PM	54		6:00 AM	16		6:00 PM	51		6:00 AM	50		6:00 PM	105	
6:15 AM	49		6:15 PM	52		6:15 AM	16		6:15 PM	53		6:15 AM	65		6:15 PM	105	
6:30 AM	61		6:30 PM	39		6:30 AM	19		6:30 PM	47		6:30 AM	80		6:30 PM	86	
6:45 AM	71	215	6:45 PM	45	190	6:45 AM	44	95	6:45 PM	50	201	6:45 AM	115	310	6:45 PM	95	391
7:00 AM	76		7:00 PM	23		7:00 AM	31		7:00 PM	41		7:00 AM	107		7:00 PM	64	
7:15 AM	98		7:15 PM	22		7:15 AM	31		7:15 PM	28		7:15 AM	129		7:15 PM	50	
7:30 AM	96		7:30 PM	27		7:30 AM	32		7:30 PM	21		7:30 AM	128		7:30 PM	48	
7:45 AM	121	391	7:45 PM	26	98	7:45 AM	49	143	7:45 PM	15	105	7:45 AM	170	534	7:45 PM	41	203
8:00 AM	119		8:00 PM	26		8:00 AM	43		8:00 PM	18		8:00 AM	162		8:00 PM	44	
8:15 AM	106		8:15 PM	19		8:15 AM	34		8:15 PM	19		8:15 AM	140		8:15 PM	38	
8:30 AM	85		8:30 PM	13		8:30 AM	60		8:30 PM	20		8:30 AM	145		8:30 PM	33	
8:45 AM	92	402	8:45 PM	11	69	8:45 AM	49	186	8:45 PM	10	67	8:45 AM	141	588	8:45 PM	21	136
9:00 AM	104		9:00 PM	7		9:00 AM	61		9:00 PM	15		9:00 AM	165		9:00 PM	22	
9:15 AM	79		9:15 PM	10		9:15 AM	53		9:15 PM	12		9:15 AM	132		9:15 PM	22	
9:30 AM	83		9:30 PM	12		9:30 AM	57		9:30 PM	10		9:30 AM	140		9:30 PM	22	
9:45 AM	66	332	9:45 PM	5	34	9:45 AM	64	235	9:45 PM	8	45	9:45 AM	130	567	9:45 PM	13	79
10:00 AM	84		10:00 PM	5		10:00 AM	63		10:00 PM	7		10:00 AM	147		10:00 PM	12	
10:15 AM	89		10:15 PM	5		10:15 AM	68		10:15 PM	8		10:15 AM	157		10:15 PM	13	
10:30 AM	82		10:30 PM	4		10:30 AM	85		10:30 PM	9		10:30 AM	167		10:30 PM	13	
10:45 AM	86	341	10:45 PM	4	18	10:45 AM	50	266	10:45 PM	11	35	10:45 AM	136	607	10:45 PM	15	53
11:00 AM	87		11:00 PM	3		11:00 AM	75		11:00 PM	5		11:00 AM	162		11:00 PM	8	
11:15 AM	74		11:15 PM	3		11:15 AM	74		11:15 PM	4		11:15 AM	148		11:15 PM	7	
11:30 AM	70		11:30 PM	3		11:30 AM	89		11:30 PM	4		11:30 AM	159		11:30 PM	7	
11:45 AM	68	299	11:45 PM	4	13	11:45 AM	99	337	11:45 PM	3	16	11:45 AM	167	636	11:45 PM	7	29
Total	2141		2051			Total	1304		2507			Total	3445		4558		
Percent	51.07%		48.93%			Percent	34.22%		65.78%			Percent	43.05%		56.95%		
Day Total			4192			Day Total			3811			Day Total			8003		
Peak Hour	7:30 AM		12:15 PM			Peak Hour	11:30 AM		2:00 PM			Peak Hour	11:45 AM		2:00 PM		
Volume	442		383			Volume	387		424			Volume	703		719		
P.H.F.	0.913		0.939			P.H.F.	0.921		0.946			P.H.F.	0.906		0.908		

Pleasant Street
 at Walpole-Norwood Town Line
 City, State: Walpole, MA
 Client: Bayside Engineering/ K. Cram
 Site Code: 2213020



PDI File #: 218044 ATR-A

Count Date
 Tuesday, June, 29, 2021

Classification (60-minute)

NB														
Start Time:	Cycles	Cars and Trailers	2 Axle Long	Buses	2 Axle 6 Tire	3 Axle Single	4 Axle Single	<5 Axle Double	5 Axle Double	>6 Axle Double	<6 Axle Multi	6 Axle Multi	>6 Axle Multi	Total
12:00 AM	0	4	0	0	0	0	0	0	0	0	0	0	0	4
1:00 AM	0	1	0	0	0	0	0	0	0	0	0	0	0	1
2:00 AM	0	0	0	0	0	1	0	0	1	0	0	0	0	2
3:00 AM	0	5	1	1	1	2	0	0	1	0	0	0	0	11
4:00 AM	0	12	2	0	1	1	0	0	1	0	0	0	0	17
5:00 AM	2	62	35	2	4	2	0	0	3	0	0	0	0	110
6:00 AM	2	152	62	0	13	5	0	0	6	0	0	0	0	240
7:00 AM	3	233	70	1	13	2	0	3	7	0	0	0	0	332
8:00 AM	0	260	69	2	16	2	1	3	15	0	0	0	0	368
9:00 AM	0	203	49	1	14	2	0	2	10	1	0	0	0	282
10:00 AM	0	189	39	2	9	3	0	3	6	0	0	0	0	251
11:00 AM	2	189	55	1	9	2	0	0	4	0	0	0	0	262
12:00 PM	0	215	45	2	4	1	1	4	10	0	0	0	0	282
1:00 PM	2	196	47	0	8	3	0	1	10	0	0	0	0	267
2:00 PM	0	171	44	4	10	0	0	0	9	0	0	0	0	238
3:00 PM	0	186	46	0	14	1	0	3	8	0	0	0	0	258
4:00 PM	0	170	45	3	11	0	0	1	2	0	0	0	0	232
5:00 PM	4	176	36	1	6	0	0	0	3	0	0	0	0	226
6:00 PM	0	161	30	0	2	0	0	0	0	0	0	0	0	193
7:00 PM	0	91	17	0	1	0	0	0	1	0	0	0	0	110
8:00 PM	0	68	8	0	2	0	0	0	0	0	0	0	0	78
9:00 PM	0	50	5	0	1	0	0	0	1	0	0	0	0	57
10:00 PM	0	14	5	0	0	0	0	0	0	0	0	0	0	19
11:00 PM	0	7	1	0	0	0	0	0	1	0	0	0	0	9
Total	15	2815	711	20	139	27	2	20	99	1	0	0	0	3849
Percent	0.39%	73.14%	18.47%	0.52%	3.61%	0.70%	0.05%	0.52%	2.57%	0.03%	0.00%	0.00%	0.00%	

AM Peak	7:00 AM	8:00 AM	7:00 AM	5:00 AM	8:00 AM	6:00 AM	8:00 AM	7:00 AM	8:00 AM	9:00 AM				8:00 AM
Volume	3	260	70	2	16	5	1	3	15	1	0	0	0	368
PM Peak	5:00 PM	12:00 PM	1:00 PM	2:00 PM	3:00 PM	1:00 PM	12:00 PM	12:00 PM	12:00 PM					12:00 PM
Volume	4	215	47	4	14	3	1	4	10	0	0	0	0	282

Cycles:	15	0.4%
Cars and Light Trucks:	3526	91.6%
Heavy Vehicles:	308	8.0%

Pleasant Street
 at Walpole-Norwood Town Line
 City, State: Walpole, MA
 Client: Bayside Engineering/ K. Cram
 Site Code: 2213020



PDI File #: 218044 ATR-A

Count Date
 Tuesday, June, 29, 2021

Classification (60-minute)

SB														
Start Time:	Cycles	Cars and Trailers	2 Axle Long	Buses	2 Axle 6 Tire	3 Axle Single	4 Axle Single	<5 Axle Double	5 Axle Double	>6 Axle Double	<6 Axle Multi	6 Axle Multi	>6 Axle Multi	Total
12:00 AM	0	11	0	0	0	0	0	0	1	0	0	0	0	12
1:00 AM	0	4	1	0	0	0	0	0	0	0	0	0	0	5
2:00 AM	0	1	0	0	0	0	0	0	0	0	0	0	0	1
3:00 AM	0	2	0	1	1	1	0	0	0	0	0	0	0	5
4:00 AM	0	3	0	0	0	0	0	0	2	0	0	0	0	5
5:00 AM	0	18	5	0	6	1	0	0	4	0	0	0	0	34
6:00 AM	4	45	17	2	13	2	1	5	5	0	0	0	0	94
7:00 AM	0	58	27	0	9	2	0	5	5	0	0	0	0	106
8:00 AM	0	62	21	2	12	1	0	2	4	0	0	0	0	104
9:00 AM	0	72	31	3	14	1	0	2	7	0	0	0	0	130
10:00 AM	1	101	24	3	13	2	0	2	10	0	0	0	0	156
11:00 AM	0	136	28	4	12	1	1	2	13	0	0	0	0	197
12:00 PM	0	154	42	3	18	0	0	1	10	0	0	0	0	228
1:00 PM	1	143	37	1	17	3	0	0	10	0	0	0	0	212
2:00 PM	0	143	56	1	15	1	0	2	10	0	0	1	0	229
3:00 PM	2	205	67	1	23	2	0	1	7	0	0	0	0	308
4:00 PM	4	254	57	3	23	2	0	4	4	0	0	0	0	351
5:00 PM	0	254	56	2	15	0	0	0	1	0	0	0	0	328
6:00 PM	1	152	25	0	6	0	0	1	2	0	0	0	0	187
7:00 PM	0	87	23	0	3	0	0	0	0	0	0	0	0	113
8:00 PM	1	66	16	0	6	0	0	0	0	0	0	0	0	89
9:00 PM	0	26	10	0	2	0	0	0	2	0	0	0	0	40
10:00 PM	0	33	4	0	0	0	0	0	1	0	0	0	0	38
11:00 PM	0	17	1	0	2	0	0	0	0	0	0	0	0	20
PM Total	14	2047	548	26	210	19	2	27	98	0	0	1	0	2992
Percent	0.47%	68.42%	18.32%	0.87%	7.02%	0.64%	0.07%	0.90%	3.28%	0.00%	0.00%	0.03%	0.00%	

AM Peak	6:00 AM	11:00 AM	9:00 AM	11:00 AM	9:00 AM	6:00 AM	6:00 AM	6:00 AM	11:00 AM					11:00 AM
Volume	4	136	31	4	14	2	1	5	13	0	0	0	0	197
PM Peak	4:00 PM	4:00 PM	3:00 PM	12:00 PM	3:00 PM	1:00 PM		4:00 PM	12:00 PM			2:00 PM		4:00 PM
Volume	4	254	67	3	23	3	0	4	10	0	0	1	0	351

Cycles:	14	0.5%
Cars and Light Trucks:	2595	86.7%
Heavy Vehicles:	383	12.8%

Pleasant Street
 at Walpole-Norwood Town Line
 City, State: Walpole, MA
 Client: Bayside Engineering/ K. Cram
 Site Code: 2213020



PDI File #: 218044 ATR-A

Count Date
 Tuesday, June, 29, 2021

Classification (60-minute)

Combined

Start Time:	Cycles	Cars and Trailers	2 Axle Long	Buses	2 Axle 6 Tire	3 Axle Single	4 Axle Single	<5 Axle Double	5 Axle Double	>6 Axle Double	<6 Axle Multi	6 Axle Multi	>6 Axle Multi	Total
12:00 AM	0	15	0	0	0	0	0	0	1	0	0	0	0	16
1:00 AM	0	5	1	0	0	0	0	0	0	0	0	0	0	6
2:00 AM	0	1	0	0	0	1	0	0	1	0	0	0	0	3
3:00 AM	0	7	1	2	2	3	0	0	1	0	0	0	0	16
4:00 AM	0	15	2	0	1	1	0	0	3	0	0	0	0	22
5:00 AM	2	80	40	2	10	3	0	0	7	0	0	0	0	144
6:00 AM	6	197	79	2	26	7	1	5	11	0	0	0	0	334
7:00 AM	3	291	97	1	22	4	0	8	12	0	0	0	0	438
8:00 AM	0	322	90	4	28	3	1	5	19	0	0	0	0	472
9:00 AM	0	275	80	4	28	3	0	4	17	1	0	0	0	412
10:00 AM	1	290	63	5	22	5	0	5	16	0	0	0	0	407
11:00 AM	2	325	83	5	21	3	1	2	17	0	0	0	0	459
12:00 PM	0	369	87	5	22	1	1	5	20	0	0	0	0	510
1:00 PM	3	339	84	1	25	6	0	1	20	0	0	0	0	479
2:00 PM	0	314	100	5	25	1	0	2	19	0	0	1	0	467
3:00 PM	2	391	113	1	37	3	0	4	15	0	0	0	0	566
4:00 PM	4	424	102	6	34	2	0	5	6	0	0	0	0	583
5:00 PM	4	430	92	3	21	0	0	0	4	0	0	0	0	554
6:00 PM	1	313	55	0	8	0	0	1	2	0	0	0	0	380
7:00 PM	0	178	40	0	4	0	0	0	1	0	0	0	0	223
8:00 PM	1	134	24	0	8	0	0	0	0	0	0	0	0	167
9:00 PM	0	76	15	0	3	0	0	0	3	0	0	0	0	97
10:00 PM	0	47	9	0	0	0	0	0	1	0	0	0	0	57
11:00 PM	0	24	2	0	2	0	0	0	1	0	0	0	0	29
PM Total	29	4862	1259	46	349	46	4	47	197	1	0	1	0	6841
Percent	0.42%	71.07%	18.40%	0.67%	5.10%	0.67%	0.06%	0.69%	2.88%	0.01%	0.00%	0.01%	0.00%	

AM Peak	6:00 AM	11:00 AM	7:00 AM	10:00 AM	8:00 AM	6:00 AM	6:00 AM	7:00 AM	8:00 AM	9:00 AM				8:00 AM
Volume	6	325	97	5	28	7	1	8	19	1	0	0	0	472
PM Peak	4:00 PM	5:00 PM	3:00 PM	4:00 PM	3:00 PM	1:00 PM	12:00 PM	12:00 PM	12:00 PM			2:00 PM		4:00 PM
Volume	4	430	113	6	37	6	1	5	20	0	0	1	0	583

Cycles:	29	0.4%
Cars and Light Trucks:	6121	89.5%
Heavy Vehicles:	691	10.1%

Pleasant Street
 at Walpole-Norwood Town Line
 City, State: Walpole, MA
 Client: Bayside Engineering/ K. Cram
 Site Code: 2213020



PDI File #: 218044 ATR-A

Count Date:
 Wednesday, June 30, 2021

Classification (60-minute)

NB														
Start Time:	Cycles	Cars and Trailers	2 Axle Long	Buses	2 Axle 6 Tire	3 Axle Single	4 Axle Single	<5 Axle Double	5 Axle Double	>6 Axle Double	<6 Axle Multi	6 Axle Multi	>6 Axle Multi	Total
12:00 AM	0	3	2	0	0	0	0	0	0	0	0	0	0	5
1:00 AM	0	1	1	0	0	0	0	0	2	0	0	0	0	4
2:00 AM	0	4	0	0	0	0	0	0	0	0	0	0	0	4
3:00 AM	0	5	3	0	0	1	0	0	1	0	0	0	0	10
4:00 AM	0	9	4	0	0	0	0	0	2	0	0	0	0	15
5:00 AM	2	66	41	1	5	6	0	0	2	0	0	0	0	123
6:00 AM	2	140	53	1	13	0	0	0	6	0	0	0	0	215
7:00 AM	5	263	91	1	15	4	1	3	8	0	0	0	0	391
8:00 AM	2	314	57	2	13	4	0	1	9	0	0	0	0	402
9:00 AM	1	249	56	2	12	3	1	1	7	0	0	0	0	332
10:00 AM	0	242	66	2	16	4	1	0	10	0	0	0	0	341
11:00 AM	2	223	57	0	7	1	0	1	8	0	0	0	0	299
12:00 PM	0	272	74	2	11	4	0	2	4	0	0	0	0	369
1:00 PM	0	216	59	8	6	1	0	1	9	0	0	0	0	300
2:00 PM	0	214	46	3	14	5	2	2	9	0	0	0	0	295
3:00 PM	0	179	53	1	7	0	1	1	1	0	0	0	0	243
4:00 PM	0	140	52	2	7	0	0	3	3	0	0	0	0	207
5:00 PM	0	170	39	0	5	0	0	1	0	0	0	0	0	215
6:00 PM	1	150	34	0	3	0	0	1	1	0	0	0	0	190
7:00 PM	0	81	14	0	2	0	0	0	1	0	0	0	0	98
8:00 PM	0	57	12	0	0	0	0	0	0	0	0	0	0	69
9:00 PM	0	23	8	0	0	1	0	0	2	0	0	0	0	34
10:00 PM	0	15	2	0	1	0	0	0	0	0	0	0	0	18
11:00 PM	0	11	0	0	1	0	0	0	1	0	0	0	0	13
Total	15	3047	824	25	138	34	6	17	86	0	0	0	0	4192
Percent	0.36%	72.69%	19.66%	0.60%	3.29%	0.81%	0.14%	0.41%	2.05%	0.00%	0.00%	0.00%	0.00%	

AM Peak	7:00 AM	8:00 AM	7:00 AM	8:00 AM	10:00 AM	5:00 AM	7:00 AM	7:00 AM	10:00 AM					8:00 AM
Volume	5	314	91	2	16	6	1	3	10	0	0	0	0	402
PM Peak	6:00 PM	12:00 PM	12:00 PM	1:00 PM	2:00 PM	2:00 PM	2:00 PM	4:00 PM	1:00 PM					12:00 PM
Volume	1	272	74	8	14	5	2	3	9	0	0	0	0	369

Cycles:	15	0.4%
Cars and Light Trucks:	3871	92.3%
Heavy Vehicles:	306	7.3%

Pleasant Street
 at Walpole-Norwood Town Line
 City, State: Walpole, MA
 Client: Bayside Engineering/ K. Cram
 Site Code: 2213020



PRECISION
 DATA
 INDUSTRIES, LLC
 157 Washington Street, Suite 2
 Hudson, MA 01749
 Office: 508-875-0100 Fax: 508-875-0118

PDI File #: 218044 ATR-A

Count Date
 Wednesday, June 30, 2021

Classification (60-minute)

SB

Start Time:	Cycles	Cars and Trailers	2 Axle Long	Buses	2 Axle 6 Tire	3 Axle Single	4 Axle Single	<5 Axle Double	5 Axle Double	>6 Axle Double	<6 Axle Multi	6 Axle Multi	>6 Axle Multi	Total
12:00 AM	0	3	1	0	0	0	0	0	0	0	0	0	0	4
1:00 AM	0	1	0	0	0	0	0	0	1	0	0	0	0	2
2:00 AM	0	2	0	0	1	0	0	0	1	0	0	0	0	4
3:00 AM	0	1	1	0	1	0	0	0	2	0	0	0	0	5
4:00 AM	0	3	0	0	1	0	0	0	1	0	0	0	0	5
5:00 AM	0	11	6	0	3	0	0	0	2	0	0	0	0	22
6:00 AM	2	47	20	3	12	0	2	4	5	0	0	0	0	95
7:00 AM	0	80	35	3	10	6	2	2	5	0	0	0	0	143
8:00 AM	0	116	39	1	18	0	1	1	10	0	0	0	0	186
9:00 AM	2	147	54	4	16	3	2	3	4	0	0	0	0	235
10:00 AM	0	182	52	2	16	7	0	1	6	0	0	0	0	266
11:00 AM	1	245	60	2	20	1	1	0	7	0	0	0	0	337
12:00 PM	4	241	64	1	24	2	1	3	5	1	0	0	0	346
1:00 PM	1	217	57	5	24	6	0	2	8	0	0	0	1	321
2:00 PM	1	282	103	4	18	2	0	3	11	0	0	0	0	424
3:00 PM	2	215	55	1	17	2	0	1	3	0	0	0	0	296
4:00 PM	1	248	66	0	18	1	0	2	1	0	0	0	0	337
5:00 PM	1	234	47	2	25	1	0	2	2	0	0	0	0	314
6:00 PM	0	157	31	0	12	0	0	0	1	0	0	0	0	201
7:00 PM	0	74	28	1	2	0	0	0	0	0	0	0	0	105
8:00 PM	0	50	15	1	1	0	0	0	0	0	0	0	0	67
9:00 PM	0	34	6	0	4	0	0	0	1	0	0	0	0	45
10:00 PM	0	24	7	0	3	0	0	0	1	0	0	0	0	35
11:00 PM	0	12	1	0	2	0	0	0	1	0	0	0	0	16
PM Total	15	2626	748	30	248	31	9	24	78	1	0	0	1	3811
Percent	0.39%	68.91%	19.63%	0.79%	6.51%	0.81%	0.24%	0.63%	2.05%	0.03%	0.00%	0.00%	0.03%	

AM Peak	6:00 AM	11:00 AM	11:00 AM	9:00 AM	11:00 AM	10:00 AM	6:00 AM	6:00 AM	8:00 AM					11:00 AM
Volume	2	245	60	4	20	7	2	4	10	0	0	0	0	337
PM Peak	12:00 PM	2:00 PM	2:00 PM	1:00 PM	5:00 PM	1:00 PM	12:00 PM	12:00 PM	2:00 PM	12:00 PM				1:00 PM
Volume	4	282	103	5	25	6	1	3	11	1	0	0	1	424

Cycles:	15	0.4%
Cars and Light Trucks:	3374	88.5%
Heavy Vehicles:	422	11.1%

Pleasant Street
 at Walpole-Norwood Town Line
 City, State: Walpole, MA
 Client: Bayside Engineering/ K. Cram
 Site Code: 2213020



PDI File #: 218044 ATR-A

Count Data
 Wednesday, June 30, 2021

Classification (60-minute)

Combined

Start Time:	Cycles	Cars and Trailers	2 Axle Long	Buses	2 Axle 6 Tire	3 Axle Single	4 Axle Single	<5 Axle Double	5 Axle Double	>6 Axle Double	<6 Axle Multi	6 Axle Multi	>6 Axle Multi	Total
12:00 AM	0	6	3	0	0	0	0	0	0	0	0	0	0	9
1:00 AM	0	2	1	0	0	0	0	0	3	0	0	0	0	6
2:00 AM	0	6	0	0	1	0	0	0	1	0	0	0	0	8
3:00 AM	0	6	4	0	1	1	0	0	3	0	0	0	0	15
4:00 AM	0	12	4	0	1	0	0	0	3	0	0	0	0	20
5:00 AM	2	77	47	1	8	6	0	0	4	0	0	0	0	145
6:00 AM	4	187	73	4	25	0	2	4	11	0	0	0	0	310
7:00 AM	5	343	126	4	25	10	3	5	13	0	0	0	0	534
8:00 AM	2	430	96	3	31	4	1	2	19	0	0	0	0	588
9:00 AM	3	396	110	6	28	6	3	4	11	0	0	0	0	567
10:00 AM	0	424	118	4	32	11	1	1	16	0	0	0	0	607
11:00 AM	3	468	117	2	27	2	1	1	15	0	0	0	0	636
12:00 PM	4	513	138	3	35	6	1	5	9	1	0	0	0	715
1:00 PM	1	433	116	13	30	7	0	3	17	0	0	0	1	621
2:00 PM	1	496	149	7	32	7	2	5	20	0	0	0	0	719
3:00 PM	2	394	108	2	24	2	1	2	4	0	0	0	0	539
4:00 PM	1	388	118	2	25	1	0	5	4	0	0	0	0	544
5:00 PM	1	404	86	2	30	1	0	3	2	0	0	0	0	529
6:00 PM	1	307	65	0	15	0	0	1	2	0	0	0	0	391
7:00 PM	0	155	42	1	4	0	0	0	1	0	0	0	0	203
8:00 PM	0	107	27	1	1	0	0	0	0	0	0	0	0	136
9:00 PM	0	57	14	0	4	1	0	0	3	0	0	0	0	79
10:00 PM	0	39	9	0	4	0	0	0	1	0	0	0	0	53
11:00 PM	0	23	1	0	3	0	0	0	2	0	0	0	0	29
PM Total	30	5673	1572	55	386	65	15	41	164	1	0	0	1	8003
Percent	0.37%	70.89%	19.64%	0.69%	4.82%	0.81%	0.19%	0.51%	2.05%	0.01%	0.00%	0.00%	0.01%	

AM Peak	7:00 AM	11:00 AM	7:00 AM	9:00 AM	10:00 AM	10:00 AM	7:00 AM	7:00 AM	8:00 AM					11:00 AM
Volume	5	468	126	6	32	11	3	5	19	0	0	0	0	636

PM Peak	12:00 PM	12:00 PM	2:00 PM	1:00 PM	12:00 PM	1:00 PM	2:00 PM	12:00 PM	2:00 PM	12:00 PM				1:00 PM	2:00 PM
Volume	4	513	149	13	35	7	2	5	20	1	0	0	1	719	

Cycles:	30	0.4%
Cars and Light Trucks:	7245	90.5%
Heavy Vehicles:	728	9.1%

Pleasant Street
 at Walpole-Norwood Town Line
 City, State: Walpole, MA
 Client: Bayside Engineering/ K. Cram
 Site Code: 2213020



157 Washington Street, Suite 2
 Hudson, MA 01749
 Office: 508-875-0100 Fax: 508-875-0118

PDI File #: 218044 ATR-A

Count Date
 Tuesday, June, 29, 2021

Speed (60-minute)

NB																
Start Time:	1 to 14	15 to 19	20 to 24	25 to 29	30 to 34	35 to 39	40 to 44	45 to 49	50 to 54	55 to 59	60 to 64	65 to 69	70+	Total	85th %ile	Ave Speed
12:00 AM	0	0	0	1	1	2	0	0	0	0	0	0	0	4	35.6	32.3
1:00 AM	0	0	0	0	1	0	0	0	0	0	0	0	0	1	31.0	31.0
2:00 AM	0	0	2	0	0	0	0	0	0	0	0	0	0	2	22.9	22.5
3:00 AM	0	0	1	5	3	1	1	0	0	0	0	0	0	11	36.0	30.3
4:00 AM	0	0	0	3	6	5	2	1	0	0	0	0	0	17	39.6	35.1
5:00 AM	0	0	6	10	34	35	14	9	2	0	0	0	0	110	41.7	35.5
6:00 AM	0	0	3	19	69	113	33	3	0	0	0	0	0	240	39.2	35.4
7:00 AM	0	1	5	26	105	152	41	2	0	0	0	0	0	332	39.0	35.0
8:00 AM	4	3	13	46	115	145	40	2	0	0	0	0	0	368	39.0	33.8
9:00 AM	1	3	15	32	113	91	27	0	0	0	0	0	0	282	38.0	33.2
10:00 AM	1	0	10	15	100	94	28	2	1	0	0	0	0	251	39.0	34.4
11:00 AM	4	1	3	24	101	97	29	3	0	0	0	0	0	262	39.0	34.1
12:00 PM	1	0	4	20	101	116	36	4	0	0	0	0	0	282	39.0	34.9
1:00 PM	0	0	6	24	77	123	36	1	0	0	0	0	0	267	39.0	34.7
2:00 PM	0	0	3	24	79	100	27	3	2	0	0	0	0	238	39.0	34.9
3:00 PM	0	1	5	21	87	106	34	3	1	0	0	0	0	258	39.0	34.9
4:00 PM	3	2	3	23	67	102	26	5	1	0	0	0	0	232	39.0	34.6
5:00 PM	0	1	2	9	85	92	31	5	1	0	0	0	0	226	40.0	35.5
6:00 PM	0	0	1	13	79	77	20	3	0	0	0	0	0	193	39.0	34.9
7:00 PM	0	0	1	9	38	47	14	1	0	0	0	0	0	110	39.0	35.1
8:00 PM	0	0	2	5	29	33	8	1	0	0	0	0	0	78	38.0	34.5
9:00 PM	0	0	1	8	30	17	1	0	0	0	0	0	0	57	36.6	32.8
10:00 PM	0	0	1	3	8	5	2	0	0	0	0	0	0	19	38.3	33.1
11:00 PM	0	0	1	2	4	2	0	0	0	0	0	0	0	9	34.8	31.0
Total	14	12	88	342	1332	1555	450	48	8	0	0	0	0	3849	39.0	34.6
Percent	0.36%	0.31%	2.29%	8.89%	34.61%	40.40%	11.69%	1.25%	0.21%	0.00%	0.00%	0.00%	0.00%			

AM Peak	8:00 AM	8:00 AM	9:00 AM	8:00 AM	8:00 AM	7:00 AM	7:00 AM	5:00 AM	5:00 AM							8:00 AM
Volume	4	3	15	46	115	152	41	9	2	0	0	0	0	0	0	368
PM Peak	4:00 PM	4:00 PM	1:00 PM	1:00 PM	12:00 PM	1:00 PM	12:00 PM	4:00 PM	2:00 PM							12:00 PM
Volume	3	2	6	24	101	123	36	5	2	0	0	0	0	0	282	

15th Percentile:	30.0 MPH	Average Speed:	34.6 MPH	Posted Speed Limit:	30 MPH
50th Percentile:	35.0 MPH	10 MPH Pace:	31 to 40 MPH	Number of Vehicles > 30 MPH:	3234
85th Percentile:	39.0 MPH	Number in Pace:	2903	Percent of Vehicles > 30 MPH:	84.0%
95th Percentile:	42.0 MPH	Percent in Pace:	75.4%		

Pleasant Street
 at Walpole-Norwood Town Line
 City, State: Walpole, MA
 Client: Bayside Engineering/ K. Cram
 Site Code: 2213020



PDI File #: 218044 ATR-A

Count Date
 Tuesday, June, 29, 2021

Speed (60-minute)

SB																
Start Time:	1 to 14	15 to 19	20 to 24	25 to 29	30 to 34	35 to 39	40 to 44	45 to 49	50 to 54	55 to 59	60 to 64	65 to 69	70+	Total	85th %ile	Ave Speed
12:00 AM	0	1	0	2	1	4	4	0	0	0	0	0	0	12	40.4	35.1
1:00 AM	0	0	0	0	1	3	1	0	0	0	0	0	0	5	39.6	36.6
2:00 AM	0	0	0	0	1	0	0	0	0	0	0	0	0	1	32.0	32.0
3:00 AM	0	0	1	2	1	1	0	0	0	0	0	0	0	5	32.6	28.6
4:00 AM	0	0	2	0	0	2	1	0	0	0	0	0	0	5	37.6	30.6
5:00 AM	0	0	1	6	13	11	2	1	0	0	0	0	0	34	37.1	33.7
6:00 AM	1	1	1	17	29	28	16	1	0	0	0	0	0	94	40.0	33.7
7:00 AM	2	4	5	15	41	31	7	1	0	0	0	0	0	106	38.0	32.3
8:00 AM	3	1	1	2	32	46	18	1	0	0	0	0	0	104	40.0	35.0
9:00 AM	0	7	6	14	38	51	12	2	0	0	0	0	0	130	39.0	33.3
10:00 AM	4	9	10	15	57	47	9	4	1	0	0	0	0	156	38.0	32.2
11:00 AM	1	11	6	11	67	77	19	5	0	0	0	0	0	197	39.0	34.0
12:00 PM	1	6	7	15	72	97	27	2	1	0	0	0	0	228	39.0	34.3
1:00 PM	0	7	5	18	74	78	27	3	0	0	0	0	0	212	39.0	34.1
2:00 PM	0	1	10	22	83	87	23	2	1	0	0	0	0	229	38.8	34.0
3:00 PM	0	1	3	22	133	121	26	2	0	0	0	0	0	308	39.0	34.5
4:00 PM	1	5	8	40	116	143	36	2	0	0	0	0	0	351	38.0	34.0
5:00 PM	0	4	9	8	105	153	45	3	1	0	0	0	0	328	39.0	35.3
6:00 PM	0	0	3	14	52	76	35	6	1	0	0	0	0	187	41.0	35.8
7:00 PM	0	0	3	10	34	47	17	2	0	0	0	0	0	113	40.0	35.0
8:00 PM	0	0	0	7	28	36	14	3	1	0	0	0	0	89	40.8	35.8
9:00 PM	0	0	1	7	13	13	5	1	0	0	0	0	0	40	39.2	34.0
10:00 PM	0	0	1	1	15	15	6	0	0	0	0	0	0	38	39.5	35.5
11:00 PM	0	0	0	2	9	5	4	0	0	0	0	0	0	20	40.0	35.1
Total	13	58	83	250	1015	1172	354	41	6	0	0	0	0	2992	39.0	34.3
Percent	0.43%	1.94%	2.77%	8.36%	33.92%	39.17%	11.83%	1.37%	0.20%	0.00%	0.00%	0.00%	0.00%			

AM Peak	10:00 AM	11:00 AM	10:00 AM	6:00 AM	11:00 AM	11:00 AM	11:00 AM	11:00 AM	10:00 AM						11:00 AM
Volume	4	11	10	17	67	77	19	5	1	0	0	0	0	0	197
PM Peak	12:00 PM	1:00 PM	2:00 PM	4:00 PM	3:00 PM	5:00 PM	5:00 PM	6:00 PM	12:00 PM						4:00 PM
Volume	1	7	10	40	133	153	45	6	1	0	0	0	0	351	

15th Percentile: 30.0 MPH Average Speed: 34.3 MPH Posted Speed Limit: 30 MPH
 50th Percentile: 35.0 MPH 10 MPH Pace: 31 to 40 MPH Number of Vehicles > 30 MPH: 2463
 85th Percentile: 39.0 MPH Number in Pace: 2206 Percent of Vehicles > 30 MPH: 82.3%
 95th Percentile: 42.0 MPH Percent in Pace: 73.7%

Pleasant Street
 at Walpole-Norwood Town Line
 City, State: Walpole, MA
 Client: Bayside Engineering/ K. Cram
 Site Code: 2213020



PDI File #: 218044 ATR-A

Count Date
 Tuesday, June, 29, 2021

Speed (60-minute)

Combined NB and SB

Start Time:	1 to 14	15 to 19	20 to 24	25 to 29	30 to 34	35 to 39	40 to 44	45 to 49	50 to 54	55 to 59	60 to 64	65 to 69	70+	Total	85th %ile	Ave Speed
12:00 AM	0	1	0	3	2	6	4	0	0	0	0	0	0	16	40.0	34.4
1:00 AM	0	0	0	0	2	3	1	0	0	0	0	0	0	6	39.0	35.7
2:00 AM	0	0	2	0	1	0	0	0	0	0	0	0	0	3	29.3	25.7
3:00 AM	0	0	2	7	4	2	1	0	0	0	0	0	0	16	34.8	29.8
4:00 AM	0	0	2	3	6	7	3	1	0	0	0	0	0	22	39.9	34.0
5:00 AM	0	0	7	16	47	46	16	10	2	0	0	0	0	144	40.6	35.0
6:00 AM	1	1	4	36	98	141	49	4	0	0	0	0	0	334	40.0	34.9
7:00 AM	2	5	10	41	146	183	48	3	0	0	0	0	0	438	39.0	34.4
8:00 AM	7	4	14	48	147	191	58	3	0	0	0	0	0	472	39.0	34.1
9:00 AM	1	10	21	46	151	142	39	2	0	0	0	0	0	412	38.0	33.2
10:00 AM	5	9	20	30	157	141	37	6	2	0	0	0	0	407	39.0	33.6
11:00 AM	5	12	9	35	168	174	48	8	0	0	0	0	0	459	39.0	34.0
12:00 PM	2	6	11	35	173	213	63	6	1	0	0	0	0	510	39.0	34.6
1:00 PM	0	7	11	42	151	201	63	4	0	0	0	0	0	479	39.0	34.4
2:00 PM	0	1	13	46	162	187	50	5	3	0	0	0	0	467	39.0	34.5
3:00 PM	0	2	8	43	220	227	60	5	1	0	0	0	0	566	39.0	34.7
4:00 PM	4	7	11	63	183	245	62	7	1	0	0	0	0	583	39.0	34.3
5:00 PM	0	5	11	17	190	245	76	8	2	0	0	0	0	554	40.0	35.4
6:00 PM	0	0	4	27	131	153	55	9	1	0	0	0	0	380	40.0	35.4
7:00 PM	0	0	4	19	72	94	31	3	0	0	0	0	0	223	39.7	35.1
8:00 PM	0	0	2	12	57	69	22	4	1	0	0	0	0	167	40.0	35.2
9:00 PM	0	0	2	15	43	30	6	1	0	0	0	0	0	97	38.0	33.3
10:00 PM	0	0	2	4	23	20	8	0	0	0	0	0	0	57	39.0	34.7
11:00 PM	0	0	1	4	13	7	4	0	0	0	0	0	0	29	38.6	33.8
Total	27	70	171	592	2347	2727	804	89	14	0	0	0	0	6841	39.0	34.4
Percent	0.39%	1.02%	2.50%	8.65%	34.31%	39.86%	11.75%	1.30%	0.20%	0.00%	0.00%	0.00%	0.00%			

AM Peak	8:00 AM	11:00 AM	9:00 AM	8:00 AM	11:00 AM	8:00 AM	8:00 AM	5:00 AM	5:00 AM							8:00 AM
Volume	7	12	21	48	168	191	58	10	2	0	0	0	0	0	0	472
PM Peak	4:00 PM	1:00 PM	2:00 PM	4:00 PM	3:00 PM	4:00 PM	5:00 PM	6:00 PM	2:00 PM							4:00 PM
Volume	4	7	13	63	220	245	76	9	3	0	0	0	0	0	583	

15th Percentile:	30.0 MPH	Average Speed:	34.4 MPH	Posted Speed Limit:	30 MPH
50th Percentile:	35.0 MPH	10 MPH Pace:	31 to 40 MPH	Number of Vehicles > 30 MPH:	5697
85th Percentile:	39.0 MPH	Number in Pace:	5109	Percent of Vehicles > 30 MPH:	83.3%
95th Percentile:	42.0 MPH	Percent in Pace:	74.7%		

Pleasant Street
 at Walpole-Norwood Town Line
 City, State: Walpole, MA
 Client: Bayside Engineering/ K. Cram
 Site Code: 2213020



PDI File #: 218044 ATR-A

Count Date
 Wednesday, June 30, 2021

Speed (60-minute)

NB																
Start Time:	1 to 14	15 to 19	20 to 24	25 to 29	30 to 34	35 to 39	40 to 44	45 to 49	50 to 54	55 to 59	60 to 64	65 to 69	70+	Total	85th %ile	Ave Speed
12:00 AM	0	0	0	2	1	1	1	0	0	0	0	0	0	5	37.0	32.2
1:00 AM	0	1	1	0	2	0	0	0	0	0	0	0	0	4	33.6	27.3
2:00 AM	0	0	0	1	0	3	0	0	0	0	0	0	0	4	35.6	32.8
3:00 AM	0	1	0	2	2	4	1	0	0	0	0	0	0	10	39.0	32.6
4:00 AM	0	0	0	2	7	5	0	1	0	0	0	0	0	15	36.8	34.1
5:00 AM	1	1	4	15	44	42	11	3	2	0	0	0	0	123	39.0	34.1
6:00 AM	0	0	3	13	72	89	33	4	1	0	0	0	0	215	40.0	35.5
7:00 AM	2	1	11	27	125	175	44	6	0	0	0	0	0	391	39.0	34.9
8:00 AM	4	1	6	38	160	152	38	3	0	0	0	0	0	402	38.0	34.1
9:00 AM	1	3	11	46	131	118	20	1	0	1	0	0	0	332	38.0	33.4
10:00 AM	2	0	10	31	139	128	28	2	1	0	0	0	0	341	38.0	34.0
11:00 AM	5	3	6	28	96	136	24	1	0	0	0	0	0	299	39.0	33.9
12:00 PM	0	0	10	32	134	155	37	1	0	0	0	0	0	369	38.0	34.3
1:00 PM	3	0	4	34	116	102	36	3	1	0	1	0	0	300	39.0	34.4
2:00 PM	5	2	4	28	116	96	37	6	1	0	0	0	0	295	39.0	34.3
3:00 PM	0	0	5	14	69	109	41	5	0	0	0	0	0	243	40.0	35.7
4:00 PM	2	0	4	13	68	90	25	4	1	0	0	0	0	207	39.0	35.1
5:00 PM	0	0	0	7	58	113	28	6	3	0	0	0	0	215	40.0	36.5
6:00 PM	0	0	4	9	74	75	23	5	0	0	0	0	0	190	39.0	35.2
7:00 PM	0	0	1	14	31	42	9	1	0	0	0	0	0	98	39.0	34.5
8:00 PM	1	1	2	13	29	19	2	2	0	0	0	0	0	69	37.0	32.4
9:00 PM	0	0	3	3	19	7	2	0	0	0	0	0	0	34	37.0	32.0
10:00 PM	0	0	1	5	6	5	1	0	0	0	0	0	0	18	35.9	32.1
11:00 PM	0	0	2	3	4	1	3	0	0	0	0	0	0	13	40.2	32.5
Total	26	14	92	380	1503	1667	444	54	10	1	1	0	0	4192	39.0	34.5
Percent	0.62%	0.33%	2.19%	9.06%	35.85%	39.77%	10.59%	1.29%	0.24%	0.02%	0.02%	0.00%	0.00%			

AM Peak	11:00 AM	9:00 AM	7:00 AM	9:00 AM	8:00 AM	7:00 AM	7:00 AM	7:00 AM	5:00 AM	9:00 AM					8:00 AM
Volume	5	3	11	46	160	175	44	6	2	1	0	0	0	0	402
PM Peak	2:00 PM	2:00 PM	12:00 PM	1:00 PM	12:00 PM	12:00 PM	3:00 PM	2:00 PM	5:00 PM		1:00 PM				12:00 PM
Volume	5	2	10	34	134	155	41	6	3	0	1	0	0	0	369

15th Percentile:	30.0 MPH	Average Speed:	34.5 MPH	Posted Speed Limit:	30 MPH
50th Percentile:	35.0 MPH	10 MPH Pace:	30 to 39 MPH	Number of Vehicles > 30 MPH:	3506
85th Percentile:	39.0 MPH	Number in Pace:	3170	Percent of Vehicles > 30 MPH:	83.6%
95th Percentile:	42.0 MPH	Percent in Pace:	75.6%		

Pleasant Street
 at Walpole-Norwood Town Line
 City, State: Walpole, MA
 Client: Bayside Engineering/ K. Cram
 Site Code: 2213020



PDI File #: 218044 ATR-A

Count Date
 Wednesday, June 30, 2021

Speed (60-minute)

SB																
Start Time:	1 to 14	15 to 19	20 to 24	25 to 29	30 to 34	35 to 39	40 to 44	45 to 49	50 to 54	55 to 59	60 to 64	65 to 69	70+	Total	85th %ile	Ave Speed
12:00 AM	0	0	0	1	0	3	0	0	0	0	0	0	0	4	36.1	33.8
1:00 AM	0	1	0	1	0	0	0	0	0	0	0	0	0	2	24.1	22.0
2:00 AM	0	0	0	1	2	0	1	0	0	0	0	0	0	4	38.5	33.8
3:00 AM	0	0	1	1	1	2	0	0	0	0	0	0	0	5	37.2	30.8
4:00 AM	0	0	1	0	2	0	2	0	0	0	0	0	0	5	40.4	32.6
5:00 AM	0	0	1	3	10	5	2	0	1	0	0	0	0	22	38.7	34.5
6:00 AM	3	0	2	12	35	32	9	2	0	0	0	0	0	95	39.0	33.6
7:00 AM	0	0	5	25	40	57	10	6	0	0	0	0	0	143	39.0	34.2
8:00 AM	0	3	16	28	66	62	9	2	0	0	0	0	0	186	38.0	32.6
9:00 AM	6	4	10	34	93	72	16	0	0	0	0	0	0	235	37.9	32.2
10:00 AM	0	4	5	35	119	75	24	4	0	0	0	0	0	266	38.0	33.3
11:00 AM	1	1	8	49	122	127	25	4	0	0	0	0	0	337	38.0	33.7
12:00 PM	2	3	1	26	147	144	22	1	0	0	0	0	0	346	37.0	33.9
1:00 PM	1	8	17	44	118	108	24	0	1	0	0	0	0	321	38.0	32.8
2:00 PM	3	4	14	48	180	150	23	2	0	0	0	0	0	424	37.0	33.3
3:00 PM	1	1	2	19	103	131	39	0	0	0	0	0	0	296	39.0	35.1
4:00 PM	0	1	1	28	126	134	42	5	0	0	0	0	0	337	39.0	34.9
5:00 PM	2	7	3	21	104	132	37	8	0	0	0	0	0	314	39.0	34.7
6:00 PM	0	0	1	12	73	80	32	2	1	0	0	0	0	201	40.0	35.4
7:00 PM	0	1	1	7	41	39	14	2	0	0	0	0	0	105	39.4	34.9
8:00 PM	0	0	5	15	23	18	6	0	0	0	0	0	0	67	38.0	32.4
9:00 PM	0	1	0	5	15	18	6	0	0	0	0	0	0	45	39.0	34.5
10:00 PM	0	1	4	5	13	9	3	0	0	0	0	0	0	35	38.0	32.2
11:00 PM	0	0	0	5	5	4	2	0	0	0	0	0	0	16	38.0	33.1
Total	19	40	98	425	1438	1402	348	38	3	0	0	0	0	3811	38.0	33.8
Percent	0.50%	1.05%	2.57%	11.15%	37.73%	36.79%	9.13%	1.00%	0.08%	0.00%	0.00%	0.00%	0.00%			

AM Peak	9:00 AM	9:00 AM	8:00 AM	11:00 AM	11:00 AM	11:00 AM	11:00 AM	7:00 AM	5:00 AM							11:00 AM
Volume	6	4	16	49	122	127	25	6	1	0	0	0	0	0	0	337
PM Peak	2:00 PM	1:00 PM	1:00 PM	2:00 PM	2:00 PM	2:00 PM	4:00 PM	5:00 PM	1:00 PM							2:00 PM
Volume	3	8	17	48	180	150	42	8	1	0	0	0	0	0	424	

15th Percentile:	29.0 MPH	Average Speed:	33.8 MPH	Posted Speed Limit:	30 MPH
50th Percentile:	34.0 MPH	10 MPH Pace:	30 to 39 MPH	Number of Vehicles > 30 MPH:	3069
85th Percentile:	38.0 MPH	Number in Pace:	2840	Percent of Vehicles > 30 MPH:	80.5%
95th Percentile:	41.0 MPH	Percent in Pace:	74.5%		

Pleasant Street
 at Walpole-Norwood Town Line
 City, State: Walpole, MA
 Client: Bayside Engineering/ K. Cram
 Site Code: 2213020



PDI File #: 218044 ATR-A

Count Date
 Wednesday, June 30, 2021

Speed (60-minute)
Combined NB and SB

Start Time:	1 to 14	15 to 19	20 to 24	25 to 29	30 to 34	35 to 39	40 to 44	45 to 49	50 to 54	55 to 59	60 to 64	65 to 69	70+	Total	85th %ile	Ave Speed
12:00 AM	0	0	0	3	1	4	1	0	0	0	0	0	0	9	36.6	32.9
1:00 AM	0	2	1	1	2	0	0	0	0	0	0	0	0	6	33.3	25.5
2:00 AM	0	0	0	2	2	3	1	0	0	0	0	0	0	8	36.0	33.3
3:00 AM	0	1	1	3	3	6	1	0	0	0	0	0	0	15	39.0	32.0
4:00 AM	0	0	1	2	9	5	2	1	0	0	0	0	0	20	39.2	33.8
5:00 AM	1	1	5	18	54	47	13	3	3	0	0	0	0	145	39.0	34.1
6:00 AM	3	0	5	25	107	121	42	6	1	0	0	0	0	310	40.0	34.9
7:00 AM	2	1	16	52	165	232	54	12	0	0	0	0	0	534	39.0	34.7
8:00 AM	4	4	22	66	226	214	47	5	0	0	0	0	0	588	38.0	33.6
9:00 AM	7	7	21	80	224	190	36	1	0	1	0	0	0	567	38.0	32.9
10:00 AM	2	4	15	66	258	203	52	6	1	0	0	0	0	607	38.0	33.7
11:00 AM	6	4	14	77	218	263	49	5	0	0	0	0	0	636	38.0	33.8
12:00 PM	2	3	11	58	281	299	59	2	0	0	0	0	0	715	38.0	34.1
1:00 PM	4	8	21	78	234	210	60	3	2	0	1	0	0	621	38.0	33.5
2:00 PM	8	6	18	76	296	246	60	8	1	0	0	0	0	719	38.0	33.7
3:00 PM	1	1	7	33	172	240	80	5	0	0	0	0	0	539	40.0	35.4
4:00 PM	2	1	5	41	194	224	67	9	1	0	0	0	0	544	39.0	35.0
5:00 PM	2	7	3	28	162	245	65	14	3	0	0	0	0	529	40.0	35.4
6:00 PM	0	0	5	21	147	155	55	7	1	0	0	0	0	391	40.0	35.3
7:00 PM	0	1	2	21	72	81	23	3	0	0	0	0	0	203	39.0	34.7
8:00 PM	1	1	7	28	52	37	8	2	0	0	0	0	0	136	37.0	32.4
9:00 PM	0	1	3	8	34	25	8	0	0	0	0	0	0	79	38.0	33.4
10:00 PM	0	1	5	10	19	14	4	0	0	0	0	0	0	53	38.0	32.1
11:00 PM	0	0	2	8	9	5	5	0	0	0	0	0	0	29	39.6	32.8
Total	45	54	190	805	2941	3069	792	92	13	1	1	0	0	8003	39.0	34.2
Percent	0.56%	0.67%	2.37%	10.06%	36.75%	38.35%	9.90%	1.15%	0.16%	0.01%	0.01%	0.00%	0.00%			

AM Peak 9:00 AM 9:00 AM 8:00 AM 9:00 AM 10:00 AM 11:00 AM 7:00 AM 7:00 AM 5:00 AM 9:00 AM 11:00 AM
 Volume 7 7 22 80 258 263 54 12 3 1 0 0 0 636

PM Peak 2:00 PM 1:00 PM 1:00 PM 1:00 PM 2:00 PM 12:00 PM 3:00 PM 5:00 PM 5:00 PM 1:00 PM 2:00 PM
 Volume 8 8 21 78 296 299 80 14 3 0 1 0 0 719

15th Percentile: 30.0 MPH Average Speed: 34.2 MPH Posted Speed Limit: 30 MPH
 50th Percentile: 34.0 MPH 10 MPH Pace: 30 to 39 MPH Number of Vehicles > 30 MPH: 6575
 85th Percentile: 39.0 MPH Number in Pace: 6010 Percent of Vehicles > 30 MPH: 82.2%
 95th Percentile: 42.0 MPH Percent in Pace: 75.1%



SEASONAL ADJUSTMENT



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Massachusetts Highway Department

10: Monthly Hourly Volume for February 2019

Location ID: 10

County: Norfolk

Seasonal Factor Group: U1-Boston

Functional Class 1

Daily Factor Group:

Location: INTERSTATE 495 AT INTERSTATE 95

Axle Factor Group: U1-Boston

Growth Factor Group:

	0:00	1:00	2:00	3:00	4:00	5:00	6:00	7:00	8:00	9:00	10:00	11:00	12:00	13:00	14:00	15:00	16:00	17:00	18:00	19:00	20:00	21:00	22:00	23:00	TOTAL		
1																											
2																											
3																											
4																											
5																											
6																											
7																											
8																											
9																											
10																											
11																											
12	438	341	307	433	979	2972	5693	8012	6469	4204	3583	3965	5078	4738	4698	4372	4224	2751	1551	894	733	667	610	531	68243		
13	360	296	287	360	813	2469	5348	7370	6418	4385	3630	3584	3828	4138	5419	6723	7502	7352	4623	2851	2177	1724	1204	878	83739		
14	466	355	376	456	957	2952	6105	8128	7094	4883	4034	4090	4320	4683	5943	7250	7888	8024	5233	2964	2137	1824	1311	925	92398		
15	557	369	354	460	934	2667	5709	7616	6452	4737	4290	4577	5050	5563	6916	8342	8399	7675	5122	3419	2336	2034	1717	1191	96486		
16	757	505	351	341	417	814	1596	2294	3041	3949	4771	5281	5618	5443	5598	5575	5380	4925	4044	2883	2302	2044	1783	1277	70989		
17	761	519	339	231	241	378	824	1246	1827	2947	3995	4956	5227	5246	5304	5317	5002	4513	3723	2786	2114	1624	1151	845	61116		
18	456	365	311	398	514	1246	2440	3165	3289	2794	2923	3433	3690	3837	4330	4770	4982	4750	3237	2155	1656	1346	944	672	57703		
19	437	320	292	436	956	2711	5532	7814	6659	5058	4470	4534	4626	4806	5850	6855	7344	7585	5089	2884	2116	1749	1187	769	90079		
20	459	360	285	381	903	2843	5568	7398	6581	4787	4227	4451	4604	4716	5739	7188	7928	7734	4787	2755	2032	1493	1050	723	88992		
21	480	308	368	419	829	2433	5250	6865	6334	4740	4102	4299	4577	4678	5713	7037	7512	7739	5081	3278	2321	1845	1302	888	88398		
22	549	385	337	454	934	2616	4689	5934	5764	4853	4734	4982	5486	5727	6643	7310	7529	7233	5348	3473	2487	2172	1641	1171	92451		
23	795	530	436	332	449	877	1637	2422	3160	3847	4602	5151	5470	5570	5715	5650	5553	5070	4047	3095	2497	2111	1820	1381	72217		
24	849	517	351	225	267	344	729	1165	1683	2598	3532	4358	4939	4965	4684	4665	4394	3870	3123	2419	1757	1202	893	632	54161		
25	348	280	252	426	911	2907	5797	8039	6728	4537	3806	3872	3804	4142	5108	6454	7099	7223	4383	2591	1869	1397	977	711	83661		
26	429	358	326	422	966	2931	6484	8436	7236	5221	4017	4094	4055	4530	5589	7075	7688	7803	4927	2991	2167	1640	1205	893	91483		
27	494	358	297	381	989	2941	6344	8436	7252	4900	4040	4192	4352	4538	5867	7245	8040	7723	4861	2811	1983	1425	1033	844	91346		
28	605	409	436	457	879	2355	4700	6151	6158	4858	3955	3764	3824	4052	5180	6575	6998	7298	4704	3068	2406	1888	1307	897	82924		

Massachusetts Highway Department

10: Monthly Hourly Volume for March 2019

Location ID: 10 **Seasonal Factor Group:** U1-Boston
County: Norfolk **Daily Factor Group:**
Functional Class: 1 **Axle Factor Group:** U1-Boston
Location: INTERSTATE 495 AT INTERSTATE 95 **Growth Factor Group:**

	0:00	1:00	2:00	3:00	4:00	5:00	6:00	7:00	8:00	9:00	10:00	11:00	12:00	13:00	14:00	15:00	16:00	17:00	18:00	19:00	20:00	21:00	22:00	23:00	TOTAL	
1	531	379	373	439	981	2859	5744	7650	6483	4810	4409	4803	5002	5468	6872	7886	8462	7897	5892	3957	2878	2323	1963	1355	99416	
2	843	526	444	393	454	757	1171	1313	1459	1369	1516	2069	2465	2831	3028	3336	3247	3144	2749	2026	1647	1465	1273	1224	40749	
3	647	457	276	238	218	470	957	1628	2158	2945	3999	4901	5292	5292	5272	5199	5151	4629	3550	2571	1715	1261	781	512	60119	
4	324	278	258	291	488	903	1512	1902	2340	2805	2900	2586	2706	2790	3180	3813	4274	4480	2789	1991	1511	1187	933	714	46955	
5	401	343	337	443	1021	3092	6440	8434	7126	5154	3994	3861	4029	4437	5472	7030	7981	8136	5448	3119	2157	1709	1217	826	92207	
6	440	408	311	398	962	2968	6201	8246	7171	4910	3912	3917	4263	4441	5639	7164	8064	7994	5028	3077	2279	1803	1174	808	91578	
7	464	359	324	466	955	2965	6385	8257	7225	4893	4192	4155	4305	4494	5812	7168	7919	7875	5395	3479	2506	2009	1432	895	93929	
8	515	413	329	441	965	2881	5917	7578	6729	4798	4379	4764	5174	5698	7049	8552	8988	8680	5898	3929	2585	2264	1775	1235	101536	
9	798	520	378	321	493	992	2003	2932	3669	4214	5020	5477	5833	5825	6036	6228	6439	5707	4493	3397	2604	2366	2082	1459	79286	
10	878	495	393	329	423	784	1253	1434	1836	2739	3553	4056	4373	4242	4487	4220	3750	3311	2489	2096	1460	987	643	420	50651	
11	268	282	408	929	2900	5787	7641	6856	4621	3871	3948	4067	4331	5383	6887	7492	7465	4688	2896	2046	1675	1145	767	510	86863	
12																										
13																										
14	466	361	348	448	984	2877	6309	8087	7117	4883	4263	4297	4459	4746	6027	7408	7941	7651	5182	3191	2527	1871	1359	945	93747	
15	567	425	352	438	945	2694	5615	7337	6273	4837	4268	4611	5026	5583	6862	8042	7826	7239	5501	3666	2597	2211	1820	1188	95923	
16	797	540	366	309	451	938	1672	2700	3366	4179	4962	5585	5690	5719	5961	6171	5708	5325	4410	3518	2829	2428	2047	1446	77117	
17	893	520	377	212	244	359	898	1566	2276	3173	4098	5097	5582	5587	5578	5582	5399	4814	3992	3127	2497	1633	1073	725	65302	
18	380	269	291	442	934	2959	6038	8093	6938	4827	4033	3998	4159	4376	5438	6871	7517	7561	4620	2846	2079	1503	1180	773	88125	
19	521	357	340	422	996	3025	6269	8363	7117	4944	4072	4244	4289	4508	5790	7085	7710	7661	4714	3099	2217	1770	1209	781	91503	
20	470	342	306	408	938	3027	6464	8415	7411	5086	4179	4164	4348	4692	5821	7497	7796	8129	4974	3307	2461	1907	1309	838	94289	
21	515	411	365	468	969	3054	5799	8690	7131	5036	4199	4267	4470	4727	5835	7720	7920	7916	5046	3285	2521	1978	1396	857	94575	
22	557	350	336	439	899	2680	5565	7387	6418	4882	4195	4612	4972	5406	6703	7883	7998	7526	5409	3456	2578	2056	1754	1245	95306	
23	735	528	358	284	422	892	1676	2871	3549	3949	4886	5621	6057	6012	6234	5866	5751	5352	4571	3460	2838	2573	2200	1480	78165	
24	937	505	315	229	269	422	900	1612	2268	3330	4463	5544	5530	5715	5704	5811	5779	5119	3993	3133	2311	1569	1036	708	67202	
25	368	306	262	440	955	2999	6174	8007	7066	4703	4020	4112	4220	4259	5513	6769	7280	7647	4639	2828	2002	1581	1164	743	88057	
26	473	327	342	440	972	3105	6584	8460	7074	4993	4077	4098	4353	4488	5749	7285	7774	7740	5050	3089	2334	1764	1229	759	92559	
27	507	336	338	413	916	3164	6637	8600	6940	5219	4231	4184	4343	4588	5816	7586	8142	7614	5341	3304	2481	1918	1256	811	94685	
28	513	362	352	473	994	3117	6485	8338	7286	5245	4294	4264	4453	4717	6102	7497	8131	8230	5350	3458	2673	2013	1415	907	96669	
29	513	364	345	458	965	2923	5942	7713	6627	4940	4595	4690	5155	5766	6968	8514	8360	7836	5730	3800	2593	2138	1989	1430	100354	
30	782	499	323	315	465	936	1856	2709	3675	4437	5268	5594	6149	6176	5981	6189	6246	5639	4708	3506	2857	2417	2094	1400	80221	
31	881	537	365	253	221	393	847	1810	2419	3140	4132	5004	5706	5310	5363	5249	4960	4295	3581	2703	2151	1536	961	659	61976	

Massachusetts Highway Department

10: Monthly Hourly Volume for April 2019

Location ID: 10

County: Norfolk

Functional Class 1

Seasonal Factor Group: U1-Boston

Daily Factor Group: U1-Boston

Location: INTERSTATE 495 AT INTERSTATE 95

Axle Factor Group: U1-Boston

Growth Factor Group:

	0:00	1:00	2:00	3:00	4:00	5:00	6:00	7:00	8:00	9:00	10:00	11:00	12:00	13:00	14:00	15:00	16:00	17:00	18:00	19:00	20:00	21:00	22:00	23:00	TOTAL
1	370	266	267	463	959	3309	6790	8346	6946	4901	4177	4077	4121	4391	5433	7081	7679	8037	4708	3004	2020	1725	1123	783	90976
2	443	328	327	449	1055	3281	6692	8705	7132	5028	4160	4151	4292	4465	5803	7455	8078	8061	4862	3222	2246	1723	1187	741	93886
3	475	331	322	410	958	3036	6343	8143	7211	5047	4213	4064	4281	4598	5818	7471	7914	8018	5180	3155	2426	1907	1249	793	93363
4	460	356	303	497	1069	3291	6620	8616	7200	4996	4439	4498	4501	4711	6134	7717	8132	8335	5455	3501	2648	1991	1359	893	97722
5	517	360	370	442	977	3044	5975	8048	6491	4862	4586	4787	5105	5579	7035	8664	8644	8806	5820	3607	2640	2173	1801	1235	101568
6	743	505	333	308	472	1041	2058	3015	4010	4503	5201	5798	6030	5880	5933	5920	6115	5747	4700	3510	2967	2632	2029	1455	80905
7	889	550	383	242	280	467	1060	1985	2685	3569	4476	5371	5801	5501	5332	5664	6248	5198	4216	3127	2292	1539	1083	740	68698
8	388	263	280	484	954	3100	6187	7913	6949	5041	4152	4034	4200	4325	5435	6835	7492	7606	4588	2721	2056	1510	1024	744	88281
9	467	338	314	474	1022	3220	6764	8641	7098	5131	4079	4065	4393	4470	5778	7495	7882	8154	4934	2994	2322	1711	1139	745	93630
10	401	349	310	423	961	3278	6714	8554	7123	5201	4290	4398	4389	4698	6060	7873	8185	8289	5389	3232	2354	2012	1389	813	96685
11	465	360	348	454	1028	3345	6960	8540	7271	5278	4449	4363	4468	5040	6446	8138	8337	8340	5522	3565	2649	2152	1466	912	99896
12	541	389	343	484	1039	3027	6295	7832	6514	5078	4667	4859	5256	5809	6968	8846	8383	8456	5748	3857	2802	2301	1853	1328	102675
13	758	503	381	322	474	967	1959	2740	3581	4319	4972	5738	5990	6212	6288	6134	5860	5315	4633	3517	2815	2435	2235	1581	79729
14	888	554	350	241	278	461	994	1765	2493	3719	4486	5438	5604	5594	5399	5539	5599	4937	4015	3095	2141	1482	1136	784	66992
15	461	313	334	410	903	2461	4435	5705	5284	4291	4543	4810	4943	4998	5868	6264	7064	6841	4319	2847	2197	1550	1207	813	82861
16	407	295	327	465	1039	3259	6450	7944	6847	5436	4968	4926	4832	5221	6073	7367	8012	7169	5824	3359	2455	1946	1298	865	96784
17	449	354	310	433	1005	3157	6310	7740	6674	5390	5042	4979	4997	5204	6504	7946	8415	8374	5593	3582	2766	2134	1446	923	99727
18	476	394	313	498	1005	3141	6193	7283	6822	5408	4968	5013	5222	5642	6675	8115	8435	8324	5562	3602	2649	2197	1620	1001	100558
19	571	383	349	491	919	2851	5453	6318	5968	5117	5203	5661	6141	6609	7489	8347	8688	7838	5602	3772	2817	2288	1953	1278	102106
20	842	544	364	313	425	847	1545	2447	3125	3853	4846	5602	6017	5937	5838	6057	5577	4987	4085	3056	2554	2304	1962	1326	74453
21	765	490	324	207	172	320	660	1023	1641	3001	4570	6370	7205	6254	4986	4786	5588	6259	7027	6080	3930	2105	1346	813	75922
22	414	294	259	449	937	3296	6736	8399	7145	5094	4697	4535	4721	5088	6025	7110	7278	7177	4984	2972	2033	1640	1041	739	93063
23	417	348	348	456	1046	3244	6763	8153	7197	5490	4398	4288	4467	4702	6058	7797	8225	7893	5352	3226	2243	1849	1308	819	96087
24	474	343	292	434	1002	3375	6830	8487	7167	5234	4549	4450	4561	4721	5881	7160	7514	7116	5022	3567	2677	2229	1486	885	95456
25	484	376	337	493	1095	3378	6761	8597	7491	5553	4591	4507	4777	4871	6586	8180	8664	8850	5962	3696	2689	2180	1556	1065	102739

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Massachusetts Highway Department

10: Monthly Hourly Volume for May 2019

Location ID: 10
County: Norfolk
Functional Class: 1
Location: INTERSTATE 495 AT INTERSTATE 95

Seasonal Factor Group: U1-Boston
Daily Factor Group:
Axle Factor Group: U1-Boston
Growth Factor Group:

	0:00	1:00	2:00	3:00	4:00	5:00	6:00	7:00	8:00	9:00	10:00	11:00	12:00	13:00	14:00	15:00	16:00	17:00	18:00	19:00	20:00	21:00	22:00	23:00	TOTAL
1																									
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21	463	334	364	481	1128	3641	7153	8602	7411	5661	4882	4603	4772	5000	6277	7808	7840	8017	5630	3546	2649	2118	1433	927	100740
22	511	387	372	448	1090	3488	6851	8393	7456	5600	4698	4735	4905	4970	6655	8001	8609	8372	5701	3826	2866	2195	1513	965	102607
23	494	383	357	540	1157	3507	6961	8563	7408	5579	5000	5138	5112	5670	7367	8667	8980	8275	6656	4084	3168	2461	1727	1163	108417
24	613	441	395	518	1077	3290	6364	7447	6580	5651	5656	6217	6684	7425	8404	9073	8832	7568	5689	4584	3647	2895	2113	1599	112762
25	854	557	392	347	580	1124	2550	3732	4417	5078	5642	5993	5994	5894	6100	6386	6468	6274	5292	3813	3052	2988	3095	3295	89917
26	1326	617	385	237	254	544	1125	1993	2930	4314	5506	6458	6362	6038	5589	5242	4935	4863	4666	4143	3594	2977	2095	1303	77496
27	699	448	364	293	440	681	1386	1968	2938	4128	4845	5310	5589	5510	5247	5258	5056	4900	4554	4095	3334	2207	1392	963	71605
28	481	290	321	445	1109	3759	7412	8931	7383	5674	4957	5039	5236	5344	6816	7730	7521	7395	5309	3038	2301	1782	1250	792	100315
29	462	347	342	420	1072	3565	6929	8665	7464	5413	4759	4689	4845	5130	6391	7966	8245	8589	5586	3687	2545	1887	1436	997	101431
30	539	357	323	447	1076	3602	7072	8496	7316	5329	4589	4804	4999	5518	6723	8531	9044	8793	6971	4864	3179	2493	2573	2399	110037
31	843	451	424	525	1132	3478	6596	8178	7090	5747	5409	5750	5911	6530	7966	9159	9156	8496	6163	4474	3415	2834	2263	1636	113626

Massachusetts Highway Department

10: Monthly Hourly Volume for June 2019

Location ID:	10		Seasonal Factor Group: U1-Boston																								TOTAL																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																												
	County:	Norfolk		Daily Factor Group:																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
		Functional Class	1		Axle Factor Group: U1-Boston																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																		
			1		Growth Factor Group:																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																		
Location:	INTERSTATE 495 AT INTERSTATE 95		0:00	1:00	2:00	3:00	4:00	5:00	6:00	7:00	8:00	9:00	10:00	11:00	12:00	13:00	14:00	15:00	16:00	17:00	18:00	19:00	20:00	21:00	22:00	23:00	TOTAL																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																												
1	934	609	438	377	679	1264	2447	3473	4273	4951	5576	6005	6410	6416	6324	6374	5990	5705	5081	3937	2934	2711	2257	1867	87032	2	992	566	367	270	319	618	1185	2049	2826	3872	5115	6462	6575	6516	6417	6407	6248	5614	4908	4004	3105	2115	1301	809	78660	3	420	312	285	537	1135	3655	6983	8618	7307	5398	4716	4569	4780	5125	6116	7835	8394	8223	5502	3466	2537	1857	1204	919	99893	4	468	381	369	516	1159	3716	7125	8882	7625	5724	4664	4717	4810	5004	6555	7861	8594	8243	5633	3493	2846	2170	1305	837	102697	5	515	374	396	472	1078	3647	7133	8605	7515	5397	4972	4866	4895	5321	6567	8107	8785	8772	5756	3626	2827	2171	1386	930	104113	6																												7	652	439	432	526	1110	3432	6723	8189	6814	5701	5541	5772	6219	6750	8226	9463	8737	7644	7541	4495	3447	2908	2276	1630	114667	8	965	627	413	401	687	1367	2479	3737	4340	5184	5756	6051	6088	6442	6119	6305	6044	5685	4968	3977	3411	3018	2316	1668	88048	9	979	593	384	295	370	709	1212	2109	3225	4487	5401	5904	6597	6437	6577	6279	6159	5969	5248	4653	3462	2179	1374	1049	81651	10	456	313	314	469	1106	3647	7041	8780	7492	5721	4973	4837	4927	5019	6466	7921	8454	8232	5321	3547	2560	1865	1175	794	101430	11	497	331	348	452	1049	3363	6308	8246	7349	5772	4769	4707	4910	5169	6582	8077	8627	8287	5417	3365	2884	2310	1381	975	101175	12	513	363	353	513	1132	3767	6982	8836	7619	5721	4918	5017	4960	5282	6898	8383	8839	8241	6185	4163	2805	1878	1341	1068	105777	13	588	367	366	502	1093	3443	6576	8477	7314	5584	5018	5079	5012	5625	6919	7576	8171	8110	5916	3889	2885	2235	1531	1008	103284	14	614	409	388	530	1110	3401	6608	7964	6851	5584	5672	6225	6603	7067	8683	9419	9607	9042	7423	5291	3553	2845	2956	2699	120544	15	1058	607	472	438	635	1327	2623	3776	4709	5511	6161	6637	7048	7015	7259	7006	6799	6443	5360	4369	3692	3341	3469	2421	98176	16	1055	690	441	307	312	490	1160	1863	2748	4010	5226	6486	6791	6822	6904	7799	7152	6136	5577	4344	4329	3821	2583	855	87901	17	411	320	378	482	1171	3595	6931	8659	6961	5810	5230	5404	5370	5313	6566	7821	8421	8148	5431	3827	2843	2203	1414	895	103604	18	524	408	404	549	1153	3525	7001	8535	7540	5458	4860	5059	5183	5495	6883	8051	8636	8273	5614	3559	2688	2042	1405	929	103774	19	535	375	410	535	1178	3630	6834	8671	7330	5690	5078	5332	5292	5563	7114	8607	8939	8971	6864	4700	3034	2441	2602	2584	112309	20	756	450	443	582	1216	3446	6663	8199	7477	5694	5418	5721	5844	5993	7191	8660	9445	9010	6656	4298	3254	2411	1656	1108	111591	21	696	425	441	525	1126	3227	5891	7509	6515	5506	5822	6691	7473	7871	8762	9243	9970	9329	8157	5519	3655	2859	3156	4336	124704	22	3672	1372	569	435	645	1364	2611	3672	4699	5461	6128	6522	6570	6671	6723	7020	6543	6070	4992	4124	3472	3061	2642	2196	97234	23																												24																												25																												26																												27																												28	671	452	388	536	1148	3451	6569	7816	7306	6524	6510	6714	7268	7513	8712	8890	8823	8316	6449	4971	3942	3162	2362	1616	120109	29	1107	640	439	434	628	1308	2792	3827	4530	5067	5939	6438	6893	6747	6642	6488	6294	5458	4685	3748	3341	2975	2617	1749	90786	30	1051	667	412	328	342	556	1291	1933	2885	3979	5217	5975	6277	6070	6121	5974	5733	5046	4508	3710	3101	2336	1608	1040	76160

Massachusetts Highway Department

10: Monthly Hourly Volume for October 2019

Location ID: 10 Seasonal Factor Group: U1-Boston
 County: Norfolk Daily Factor Group:
 Functional Class: 1 Axle Factor Group: U1-Boston
 Location: INTERSTATE 495 AT INTERSTATE 95 Growth Factor Group:

	0:00	1:00	2:00	3:00	4:00	5:00	6:00	7:00	8:00	9:00	10:00	11:00	12:00	13:00	14:00	15:00	16:00	17:00	18:00	19:00	20:00	21:00	22:00	23:00	TOTAL		
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23	512	361	331	331	447	1110	3515	6554	8310	8187	6000	4859	4665	4760	4863	6564	7750	8198	8329	5702	3571	2579	1971	1400	873	101411	
24	557	385	365	515	1231	3684	6769	8931	7940	5205	4742	4698	4920	5448	6922	8542	8934	8694	6298	4064	2763	2163	1464	918	106152		
25	565	430	378	527	1178	3327	6521	7965	6985	5452	4925	5445	5781	6420	7879	9116	9149	8076	6228	4436	2910	2586	1999	1482	109760		
26	902	521	430	360	562	1189	2159	2962	4056	4863	5806	6226	6358	6663	6645	6823	6835	6394	5154	3877	2949	2561	2441	1708	88444		
27	1076	691	551	301	277	467	968	1631	2403	3601	4790	5748	6086	5870	5470	5077	4574	3575	3233	3112	3094	2082	1048	730	66455		
28	354	246	275	463	1157	3626	6723	8451	7391	5224	4673	4565	4530	4922	6090	7434	8042	7935	5032	3044	2146	1696	1134	788	95941		
29	540	334	367	492	1215	3746	6693	8443	7498	5581	4324	4587	4586	4950	6199	7985	8523	8244	5772	3475	2362	1926	1280	850	99972		
30	544	315	378	489	1200	3689	6864	8703	7567	5677	4837	4755	4756	4904	6612	8007	8209	8043	5580	3600	2538	1985	1313	884	101449		
31	525	380	356	516	1173	3497	6350	8098	7027	5174	4347	4493	5024	5024	6558	8136	8055	7283	3881	2473	2227	1684	1207	833	335		

Massachusetts Highway Department

10: Monthly Volume for 2019

Location ID: 10
County: Norfolk
Functional Class: 1
Location: INTERSTATE 495 AT INTERSTATE 95

Seasonal Factor Group: U1-Boston
Daily Factor Group:
Axle Factor Group: U1-Boston
Growth Factor Group:

Month	Volume	Seasonal Factor
January	83015	0.89
February	80376	0.86
March	82726	0.89
April	90990	0.98
May	98996	1.06
June	100638	1.08
July	104769	1.12
August	107578	1.15
September	97005	1.04
October	95935	1.03
November	91744	0.98
December	85283	0.91

Multiplier to Average Month
0.927

93255



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MBTA SCHEDULES



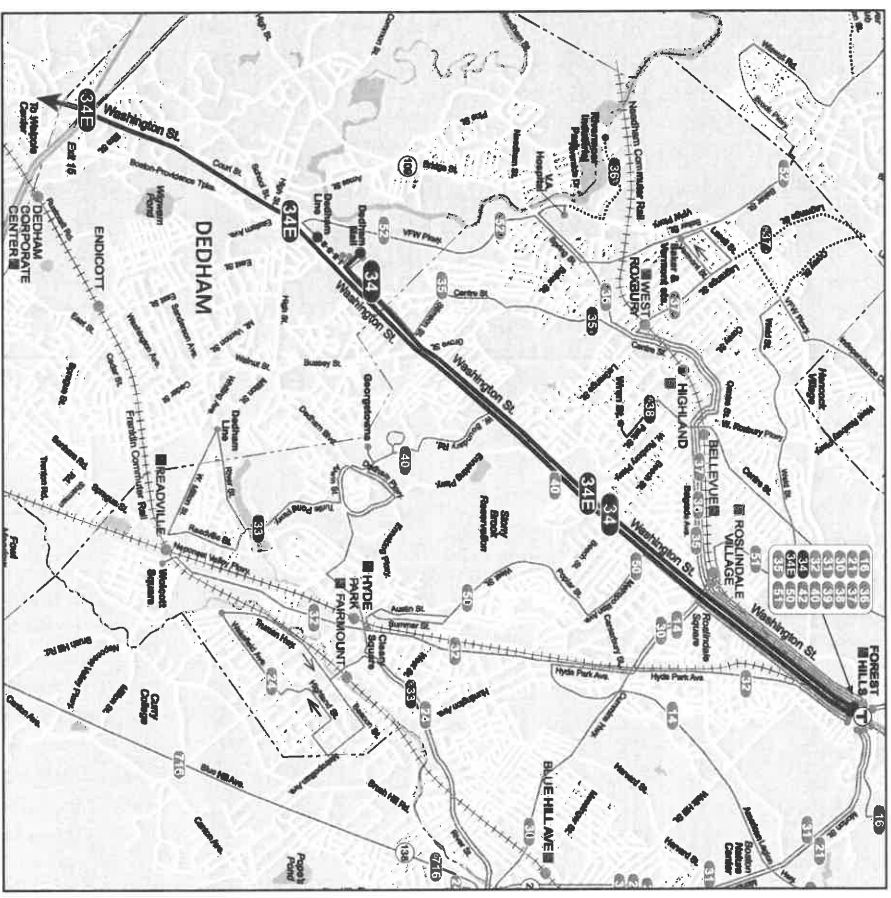
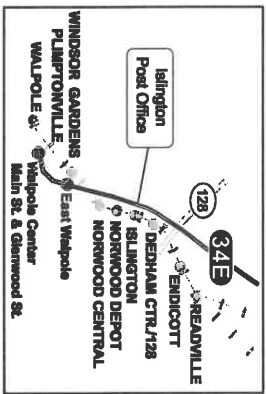
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Fare	Local Bus	Bus & Bus	Sidewalk	Bus + Sidewalk
CharlieCard	\$1.70	\$1.70	\$2.40	\$2.40
CharlieToken	\$1.70	\$1.70	\$2.40	\$4.10*
Cash-on-Board	\$1.70	\$3.40	\$2.40	\$4.10
Student/Voucher**	\$0.85	\$0.85	\$1.10	\$1.10
Senior/TPP***	\$0.85	\$0.85	\$1.10	\$1.10

*Ride Transfer: Children 11 and under ride free when accompanied by a paying customer.
 **Student: CharlieCard holders ride free and if using a token, the token value free.
 ***Senior: Student CharlieCard for Youth CharlieCard. Student CharlieCards available to students through participating middle and high schools. Youth CharlieCards available to students through participating middle and high schools. Youth CharlieCards available to students through participating middle and high schools. Youth CharlieCards available to students through participating middle and high schools. Youth CharlieCards available to students through participating middle and high schools. Youth CharlieCards available to students through participating middle and high schools.

Summer 2021 Holidays 7/4 Sun; 7/5 Sun(Bus) Sat(Fair)

All buses are accessible to persons with disabilities



Information in this timetable is subject to change without notice. Traffic conditions and weather can affect running time.

Effective Jun 20, 2021

34-34E

- 34 Dedham Mall or Line - Forest Hills Station
- 34E Walpole Center - Forest Hills Station



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GROWTH RATE WORKSHEET



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Walpole, MA Growth Rate

Location ID	Location	Year	ADT	Projection	Rate
6221	Route 1A (Main Street) at Walpole/Norfolk town line	2012	9553	2012-2018	1.0122 1.22% per year
		2015	10000	2015-2018	1.0091 0.91% per year
		2017	10545	2017-2018	Negative growth
		2018	10274		
				Say	1.00% per year

2012-2018 Growth = 1.075474

Annual Growth rate = 1.012201

Use: 1.5 percent per year



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BACKGROUND PROJECT WORKSHEETS



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Proposed Townhouses, Walpole, MA

Burns Avenue - Background Project

Land Use Code (LUC) 220 - Multifamily Housing (Low-Rise)_

Source: Institute of Transportation Engineers (ITE) - 10th Edition

Average Vehicle Trips Ends vs: Dwelling units

Independent Variable (X): 32

AVERAGE WEEKDAY DAILY

$T = 7.56 * (X) - 40.86$ 29 Studies, Avg size = 168 units

$T = 7.56 * (32) - 40.86$ $R^2 = 0.89$ AR = 7.32

T = 201.06

T = 202 vehicle trips 6.31

with 50% (101 vpd) entering and 50% (101 vpd) exiting.

WEEKDAY MORNING PEAK HOUR OF ADJACENT STREET TRAFFIC

$\ln T = 0.95 \ln (X) - 0.51$ 42 Studies, Avg size = 199 units

$\ln T = 0.95 \ln (32) - 0.51$ $R^2 = 0.90$ AR = 0.46

$\ln T = 2.78$

T = 16.16

T = 16 vehicle trips

with 23% (4 vph) entering and 77% (12 vph) exiting.

0.13

0.38

WEEKDAY MORNING PEAK HOUR OF GENERATOR

$\ln T = 0.94 \ln (X) - 0.29$ 36 Studies, Avg size = 161 units

$\ln T = 0.94 \ln (32) - 0.29$ $R^2 = 0.91$ AR = 0.56

$\ln T = 2.97$

T = 19.45

T = 19 vehicle trips

with 28% (5 vph) entering and 72% (14 vph) exiting.

0.16

0.44

WEEKDAY EVENING PEAK HOUR OF ADJACENT STREET TRAFFIC

$\ln T = 0.89 \ln (X) - 0.02$ 50 Studies, Avg size = 187 units

$\ln T = 0.89 \ln (32) - 0.02$ $R^2 = 0.86$ AR = 0.56

$\ln T = 3.06$

T = 21.42

T = 21 vehicle trips

with 63% (13 vph) entering and 37% (8 vph) exiting.

0.41

0.25

WEEKDAY EVENING PEAK HOUR OF GENERATOR

$T = 0.66 * (X) + 1.41$ 35 Studies, Avg size = 146 units

$T = 0.66 * (32) + 1.41$ $R^2 = 0.94$ AR = 0.67

T = 22.53

T = 23 vehicle trips

with 59% (14 vph) entering and 41% (9 vph) exiting.

0.44

0.28

Proposed Townhouses, Walpole, MA

Burns Avenue - Background Project

Land Use Code (LUC) 220 - Multifamily Housing (Low-Rise)_

Source: Institute of Transportation Engineers (ITE) - 10th Edition

Average Vehicle Trips Ends vs: Dwelling units

Independent Variable (X): 32

SATURDAY DAILY

$T = 14.01 * (X) - 521.69$ 5 Studies, Avg size = 89 units

$T = 14.01 * (32) - 521.69$ $R^2 = 0.93$ AR = 8.14

T = -73.37

T = 260 vehicle trips 8.13

with 50% (130 vpd) entering and 50% (130 vpd) exiting.

4.06

4.06

SATURDAY MIDDAY PEAK HOUR OF GENERATOR

$T = 1.08 * (X) - 33.24$ 5 Studies, Avg size = 89 units

$T = 1.08 * (32) - 33.24$ $R^2 = 0.92$ AR = 0.70

T = 1.32

T = FALSE vehicle trips

with 50% (0 vph) entering and 50% (0 vph) exiting.

0.00

0.00



TRIP GENERATION DATA



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Proposed Condominiums, Walpole, MA

Land Use Code (LUC) 220 - Multifamily Housing (Low-Rise)_
Source: Institute of Transportation Engineers (ITE) - 10th Edition

Average Vehicle Trips Ends vs: Dwelling units
Independent Variable (X): 24

AVERAGE WEEKDAY DAILY

$T = 7.56 * (X) - 40.86$ 29 Studies, Avg size = 168 units
 $T = 7.56 * (24) - 40.86$ $R^2 = 0.89$ AR = 7.32
T = 140.58
T = 140 vehicle trips 5.83
with 50% (70 vpd) entering and 50% (70 vpd) exiting.

WEEKDAY MORNING PEAK HOUR OF ADJACENT STREET TRAFFIC

$\ln T = 0.95 \ln (X) - 0.51$ 42 Studies, Avg size = 199 units
 $\ln T = 0.95 \ln (24) - 0.51$ $R^2 = 0.90$ AR = 0.46
 $\ln T = 2.51$
T = 12.29
T = 12 vehicle trips
with 23% (3 vph) entering and 77% (9 vph) exiting.
0.13 0.38

WEEKDAY MORNING PEAK HOUR OF GENERATOR

$\ln T = 0.94 \ln (X) - 0.29$ 36 Studies, Avg size = 161 units
 $\ln T = 0.94 \ln (24) - 0.29$ $R^2 = 0.91$ AR = 0.56
 $\ln T = 2.70$
T = 14.84
T = 15 vehicle trips
with 28% (4 vph) entering and 72% (11 vph) exiting.
0.17 0.46

WEEKDAY EVENING PEAK HOUR OF ADJACENT STREET TRAFFIC

$\ln T = 0.89 \ln (X) - 0.02$ 50 Studies, Avg size = 187 units
 $\ln T = 0.89 \ln (24) - 0.02$ $R^2 = 0.86$ AR = 0.56
 $\ln T = 2.81$
T = 16.58
T = 17 vehicle trips
with 63% (11 vph) entering and 37% (6 vph) exiting.
0.46 0.25

WEEKDAY EVENING PEAK HOUR OF GENERATOR

$T = 0.66 * (X) + 1.41$ 35 Studies, Avg size = 146 units
 $T = 0.66 * (24) + 1.41$ $R^2 = 0.94$ AR = 0.67
T = 17.25
T = 17 vehicle trips
with 59% (10 vph) entering and 41% (7 vph) exiting.
0.42 0.29

Proposed Condominiums, Walpole, MA

Land Use Code (LUC) 220 - Multifamily Housing (Low-Rise)_

Source: Institute of Transportation Engineers (ITE) - 10th Edition

Average Vehicle Trips Ends vs: Dwelling units

Independent Variable (X): 24

SATURDAY DAILY

$T = 14.01 * (X) - 521.69$ 5 Studies, Avg size = 89 units

$T = 14.01 * (24) - 521.69$ $R^2 = 0.93$ AR = 8.14

T = -185.45

T = 196 vehicle trips 8.17

with 50% (98 vpd) entering and 50% (98 vpd) exiting.

4.08

4.08

SATURDAY MIDDAY PEAK HOUR OF GENERATOR

$T = 1.08 * (X) - 33.24$ 5 Studies, Avg size = 89 units

$T = 1.08 * (24) - 33.24$ $R^2 = 0.92$ AR = 0.70

T = -7.32

T = 17 vehicle trips

with 50% (8 vph) entering and 50% (9 vph) exiting.

0.33

0.37



TRAFFIC VOLUME NETWORKS

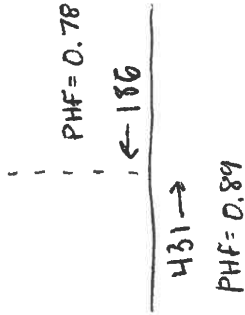


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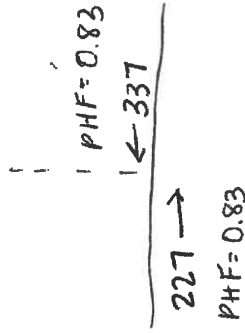
Waipole

RAW

AM 7:45-8:45



PM 4:30-5:30



Covid adjustment

2016 ATR

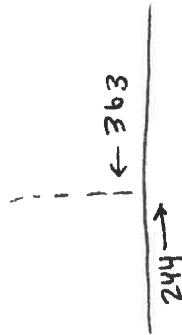
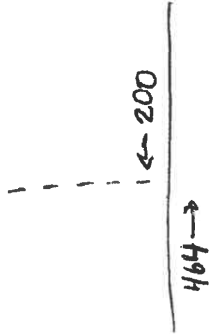
$$7609 \times 1.078 \times 1.01^5 = 8621$$

2021 ATR

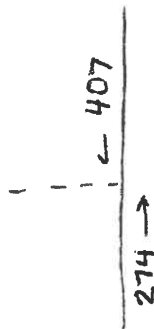
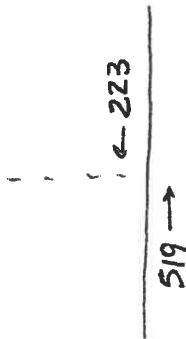
8003

$$\frac{8621}{8003} = 1.077$$

2021 Existing

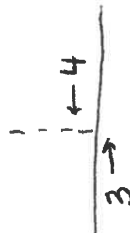
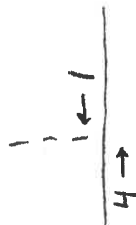


2028 No-Build

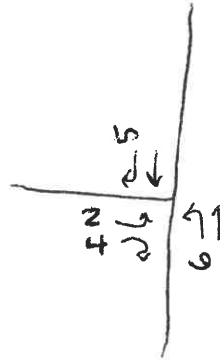
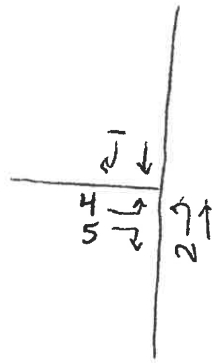


1.5% compounded growth rate

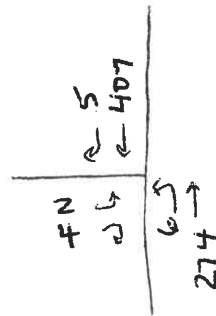
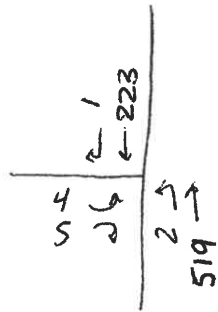
Background Project
1. in study area



Site Generated



2028 Build





TRIP DISTRIBUTION WORKSHEETS

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Walpole Gravity Model

Table 3. Residence MCD/County to Workplace MCD/County Flows for Massachusetts Sorted by Residence Geography, 2006-2010

For more information on sampling and estimation methods, confidentiality protection, and sampling and non-sampling errors, see [http://www.census.gov/ipeds/data/c2k10/tables/2010_2011_001.pdf](http://www.census.gov/ipeds/data/c2k10/tables/2010_2011/2010_2011_001.pdf)

Number	State	Residence		Workplace		Present Street (To/From North)	Present Street (To/From South)	Present Street (To/From North)	Present Street (To/From South)			
		MCD	State/U.S. Island Area/Foreign Country	MCD	State/U.S. Island Area/Foreign Country							
2,213	Massachusetts	Walpole town	Massachusetts	Walpole town	Massachusetts	100	100	0	2213	2213	yes	
2,089	Massachusetts	Walpole town	Massachusetts	Boston city	Massachusetts	10	90	100	206.9	1862.1	2069	yes
1,198	Massachusetts	Walpole town	Massachusetts	Norwood town	Massachusetts	100	100	100	1198	0	1198	yes
331	Massachusetts	Walpole town	Massachusetts	Dorham town	Massachusetts	100	100	100	331	0	331	yes
331	Massachusetts	Walpole town	Massachusetts	Quincy city	Massachusetts	30	70	100	89.3	231.7	331	yes
325	Massachusetts	Walpole town	Massachusetts	Newton city	Massachusetts	100	100	100	325	0	325	yes
321	Massachusetts	Walpole town	Massachusetts	Westwood town	Massachusetts	100	100	100	321	0	321	yes
276	Massachusetts	Walpole town	Massachusetts	Sharon town	Massachusetts	100	100	100	0	276	276	yes
251	Massachusetts	Walpole town	Massachusetts	Nashua town	Massachusetts	100	100	100	251	0	251	yes
246	Massachusetts	Walpole town	Massachusetts	Concord town	Massachusetts	70	30	100	172.2	73.8	246	yes
242	Massachusetts	Walpole town	Massachusetts	Foxborough town	Massachusetts	100	100	100	0	242	242	yes
149	Massachusetts	Walpole town	Massachusetts	Mansfield town	Massachusetts	100	100	100	0	149	149	yes
136	Massachusetts	Walpole town	Massachusetts	Brookline town	Massachusetts	100	100	100	136	0	136	yes
131	Massachusetts	Walpole town	Massachusetts	Framingham town	Massachusetts	100	100	100	0	131	131	yes
125	Massachusetts	Walpole town	Massachusetts	Brimley Town city	Massachusetts	100	100	100	125	0	125	yes
125	Massachusetts	Walpole town	Massachusetts	Weymouth Town city	Massachusetts	100	100	100	125	0	125	yes
102	Massachusetts	Walpole town	Massachusetts	Methuen town	Massachusetts	100	100	100	0	102	102	yes
91	Massachusetts	Walpole town	Massachusetts	Waltham city	Massachusetts	100	100	100	91	0	91	yes
87	Massachusetts	Walpole town	Massachusetts	Cambridge city	Massachusetts	100	100	100	87	0	87	yes
84	Massachusetts	Walpole town	Massachusetts	Saugus town	Massachusetts	50	50	100	42	42	84	yes
78	Massachusetts	Walpole town	Massachusetts	Natick town	Massachusetts	20	80	100	15.6	62.4	78	yes
73	Massachusetts	Walpole town	Massachusetts	Burlington town	Massachusetts	100	100	100	73	0	73	yes
73	Massachusetts	Walpole town	Massachusetts	Wareham town	Massachusetts	50	50	100	36.5	36.5	73	yes
71	Massachusetts	Walpole town	Massachusetts	Franklin Town city	Massachusetts	100	100	100	0	71	71	yes
64	Massachusetts	Walpole town	Massachusetts	Brockton city	Massachusetts	100	100	100	0	64	64	yes
57	Massachusetts	Walpole town	Massachusetts	Westborough town	Massachusetts	30	70	100	17.1	39.9	57	yes
55	Massachusetts	Walpole town	Massachusetts	Aston town	Massachusetts	100	100	100	55	0	55	yes
55	Massachusetts	Walpole town	Massachusetts	Lexington town	Massachusetts	100	100	100	55	0	55	yes
54	Massachusetts	Walpole town	Massachusetts	Bellingham town	Massachusetts	100	100	100	0	54	54	yes
52	Massachusetts	Walpole town	Rhode Island	Warrenton city	Massachusetts	100	100	100	0	52	52	yes
50	Massachusetts	Walpole town	Massachusetts	Holyoke city	Massachusetts	100	100	100	50	0	50	yes
48	Massachusetts	Walpole town	Massachusetts	Malden town	Massachusetts	100	100	100	0	48	48	yes
48	Massachusetts	Walpole town	Massachusetts	Randolph town	Massachusetts	100	100	100	48	0	48	yes
48	Massachusetts	Walpole town	Rhode Island	Providence city	Massachusetts	100	100	100	0	48	48	yes
47	Massachusetts	Walpole town	Massachusetts	Framingham town	Massachusetts	100	100	100	0	47	47	yes
44	Massachusetts	Walpole town	Massachusetts	Merrimack city	Massachusetts	100	100	100	44	0	44	yes
40	Massachusetts	Walpole town	Massachusetts	Taunton city	Massachusetts	100	100	100	0	40	40	yes
39	Massachusetts	Walpole town	Massachusetts	Watertown Town city	Massachusetts	100	100	100	39	0	39	yes
38	Massachusetts	Walpole town	Massachusetts	Tewksbury town	Massachusetts	100	100	100	38	0	38	yes
36	Massachusetts	Walpole town	Massachusetts	Woburn city	Massachusetts	100	100	100	36	0	36	yes
								4020	5885	8905		
								40.6	59.4			

Source: U.S. Census Bureau, 2006-2010 American Community Survey



CAPACITY ANALYSIS METHODOLOGY



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Levels of Service

Level of service (LOS) is a quantitative measure used to describe the operation of an intersection or roadway segment. The level of service definition is described by the quality of traffic flow and is primarily defined in terms of traffic delays. The primary result of capacity analyses² is the assignment of a level of service to traffic intersections or roadway segments under various traffic-flow conditions. Six levels of service are defined for traffic intersections and roadway segments. Levels of service range from LOS A to LOS F. LOS A represents very good operating conditions and LOS F represents very poor operating conditions.

Unsignalized Intersections

The level of service for an unsignalized intersection is determined by the methodology and procedures described in the 2010 *Highway Capacity Manual*.³ The level of service for unsignalized intersections is measured in terms of average delay for the critical movements (typically side street turning movements or mainline turning movements). The delay for the critical movements is a function of the available capacity for the movement and the degree of saturation of the lane group containing the critical movement. The delay calculation includes the effects of initial deceleration delay approaching a STOP sign, stopped delay, queue move-up time, and final acceleration delay from a stopped condition. The definitions for level of service at unsignalized intersections are also provided in the 2010 *Highway Capacity Manual*. Table A summarizes the relationship between level of service and average control delay for the critical movements at unsignalized intersections.

**TABLE A
LEVEL-OF-SERVICE CRITERIA FOR UNSIGNALIZED INTERSECTIONS^a**

Average Delay (seconds per vehicle)	Resulting Level of Service $v/c^b < 1.0$	Resulting Level of Service $v/c > 1.0$
≤ 10.0	A	F
10.1 to 15.0	B	F
15.1 to 25.0	C	F
25.1 to 35.0	D	F
35.1 to 50.0	E	F
>50.0	F	F

^a*Highway Capacity Manual*; Transportation Research Board; Elm, DC; 2010; page 19-2

^bVolume to capacity ratio.

²The capacity analysis methodology is based on procedures presented in the *Highway Capacity Manual*; Transportation Research Board; Washington, DC; 2010.

³*Highway Capacity Manual*; Transportation Research Board; Washington, DC; 2010.



The analytical methodologies used for the analysis of unsignalized intersections use conservative analysis parameters, such as high critical gaps. The critical gap is defined as the minimum time between successive main line vehicles for a side street vehicle to execute the appropriate turning maneuver. Actual field observations indicate that drivers on minor streets accept smaller gaps in traffic than those used in the analysis procedures and therefore experience less delay than calculated by the HCM methodology. **The analysis results overstate the actual delays experienced in the field.** It should be noted that the unsignalized intersections along heavily trafficked roadways operate at constrained levels and the resulting calculated results of the unsignalized intersection analyses should be considered highly conservative.

Signalized Intersections

Levels of service for signalized intersections are calculated using the methodology and procedures described in the 2010 *Highway Capacity Manual*. The methodology assesses the intersection based on type of signal operation, signal timing and phasing, progression, vehicle mix, and intersection geometrics. Level-of-service designations are based on the delay per vehicle. Table B summarizes the relationship between level of service and delay. The calculated delay values result in level-of-service designations which are applied to individual lane groups, to individual intersection approaches, and to the entire intersection.

TABLE B
LEVEL-OF-SERVICE CRITERIA FOR SIGNALIZED INTERSECTIONS^a

Delay per Vehicle (Seconds)	Resulting Level of Service $v/c^b < 1.0$	Resulting Level of Service $v/c^b > 1.0$
≤ 10.0	A	F
10.1 to 20.0	B	F
20.1 to 35.0	C	F
35.1 to 55.0	D	F
55.1 to 80.0	E	F
> 80.0	F	F

^a*Highway Capacity Manual*; Transportation Research Board; Macy, DC; 2010; page 18-6.

^bVolume to capacity ratio.



CAPACITY ANALYSIS WORKSHEETS



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4: Pleasant Street & Site Driveway
Lanes, Volumes, Timings

2028 Build AM Peak Hour



Lane Group	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	T			↑	↓	
Traffic Volume (vph)	4	5	2	519	223	1
Future Volume (vph)	4	5	2	519	223	1
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00
Frt	0.925					
Fit Protected	0.978					
Satd. Flow (prot)	1685	0	0	1863	1863	0
Fit Permitted	0.978					
Satd. Flow (perm)	1685	0	0	1863	1863	0
Link Speed (mph)	30			30	30	
Link Distance (ft)	567			703	535	
Travel Time (s)	12.9			16.0	12.2	
Peak Hour Factor	0.92	0.92	0.89	0.89	0.78	0.78
Adj. Flow (vph)	4	5	2	583	286	1
Shared Lane Traffic (%)						
Lane Group Flow (vph)	9	0	0	585	287	0
Enter Blocked Intersection	No	No	No	No	No	No
Lane Alignment	Left	Right	Left	Left	Left	Right
Median Width(ft)	12			0	0	
Link Offset(ft)	0			0	0	
Crosswalk Width(ft)	16			16	16	
Two way Left Turn Lane						
Headway Factor	1.00	1.00	1.00	1.00	1.00	1.00
Turning Speed (mph)	15	9	15			9
Sign Control	Stop			Free	Free	

Intersection Summary	
Area Type:	Other
Control Type:	Unsignalized
Intersection Capacity Utilization	38.9%
	ICU Level of Service A
Analysis Period (min)	15

4: Pleasant Street & Site Driveway
 HCM 6th TWSC

2028 Build AM Peak Hour

Intersection						
Int Delay, s/veh	0.1					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	Y		↑		↑	
Traffic Vol, veh/h	4	5	2	519	223	1
Future Vol, veh/h	4	5	2	519	223	1
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	89	89	78	78
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	4	5	2	583	286	1

Major/Minor	Minor2	Major1		Major2	
Conflicting Flow All	874	287	287	0	0
Stage 1	287	-	-	-	-
Stage 2	587	-	-	-	-
Critical Hdwy	6.42	6.22	4.12	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.318	2.218	-	-
Pot Cap-1 Maneuver	320	752	1275	-	-
Stage 1	762	-	-	-	-
Stage 2	556	-	-	-	-
Platoon blocked, %				-	-
Mov Cap-1 Maneuver	319	752	1275	-	-
Mov Cap-2 Maneuver	319	-	-	-	-
Stage 1	760	-	-	-	-
Stage 2	556	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	12.8	0	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1275	-	469	-	-
HCM Lane V/C Ratio	0.002	-	0.021	-	-
HCM Control Delay (s)	7.8	0	12.8	-	-
HCM Lane LOS	A	A	B	-	-
HCM 95th %tile Q(veh)	0	-	0.1	-	-

4: Pleasant Street & Site Driveway
Lanes, Volumes, Timings

2028 Build PM Peak Hour



Lane Group	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	↘			↖	↗	
Traffic Volume (vph)	2	4	6	274	407	5
Future Volume (vph)	2	4	6	274	407	5
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00
Frt	0.910				0.998	
Flt Protected	0.984			0.999		
Satd. Flow (prot)	1668		0	0	1861	1859
Flt Permitted	0.984			0.999		
Satd. Flow (perm)	1668		0	0	1861	1859
Link Speed (mph)	30			30	30	
Link Distance (ft)	567			703	535	
Travel Time (s)	12.9			16.0	12.2	
Peak Hour Factor	0.92	0.92	0.83	0.83	0.83	0.83
Adj. Flow (vph)	2	4	7	330	490	6
Shared Lane Traffic (%)						
Lane Group Flow (vph)	6	0	0	337	496	0
Enter Blocked Intersection	No	No	No	No	No	No
Lane Alignment	Left	Right	Left	Left	Left	Right
Median Width(ft)	12			0	0	
Link Offset(ft)	0			0	0	
Crosswalk Width(ft)	16			16	16	
Two way Left Turn Lane						
Headway Factor	1.00	1.00	1.00	1.00	1.00	1.00
Turning Speed (mph)	15	9	15			9
Sign Control	Stop			Free	Free	

Intersection Summary	
Area Type:	Other
Control Type:	Unsignalized
Intersection Capacity Utilization	31.7%
	ICU Level of Service A
Analysis Period (min)	15

4: Pleasant Street & Site Driveway
 HCM 6th TWSC

2028 Build PM Peak Hour

Intersection						
Int Delay, s/veh	0.2					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	T		L		T	
Traffic Vol, veh/h	2	4	6	274	407	5
Future Vol, veh/h	2	4	6	274	407	5
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	83	83	83	83
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	2	4	7	330	490	6

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	837	493	496	0	-	0
Stage 1	493	-	-	-	-	-
Stage 2	344	-	-	-	-	-
Critical Hdwy	6.42	6.22	4.12	-	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	2.218	-	-	-
Pot Cap-1 Maneuver	337	576	1068	-	-	-
Stage 1	614	-	-	-	-	-
Stage 2	718	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	334	576	1068	-	-	-
Mov Cap-2 Maneuver	334	-	-	-	-	-
Stage 1	609	-	-	-	-	-
Stage 2	718	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	12.9	0.2	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1068	-	464	-	-
HCM Lane V/C Ratio	0.007	-	0.014	-	-
HCM Control Delay (s)	8.4	0	12.9	-	-
HCM Lane LOS	A	A	B	-	-
HCM 95th %tile Q(veh)	0	-	0	-	-



SIGHT DISTANCE WORKSHEETS



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Sight Distance Calculations

Prospect Street and Proposed Site Driveway, Walpole, MA

Inputs

Posted Speed Limit = 30 mph NB & SB

Direction 1 =	Prospect Street Northbound	85% Speed =	39	mph	Grade =	0	t =	2.5 s	a =	11.2 ft/s ²
Direction 2 =	Prospect Street Southbound	85% Speed =	39	mph	Grade =	0	t =	2.5 s	a =	11.2 ft/s ²
							Left: t _g =	7.5 s		
							Right: t _g =	6.5 s		

SSD = Reaction Distance + Braking Distance

Reaction Distance = 1.47 x V x t

Braking Distance = $V^2 / (30 \times ((a/32.2) + G))$

ISD = 1.47 x V x t_g

Where

- t = reaction time (sec)
- t_g = time gap for minor road vehicle to enter the major road
- V = travel speed (mph)
- G = roadway grade
- a = deceleration rate (ft/s²)

Calculations

	Reaction Distance (ft)	Brake Distance (ft)	SSD (ft)
Prospect Street Northbound	143.3	145.8	289
Prospect Street Southbound	143.3	145.8	289

For 39 mph:

Left Turn ISD =	430	ft
Right Turn ISD =	373	ft

For 39 mph:

Left Turn ISD =	430	ft
Right Turn ISD =	373	ft

**PROJECT INFORMATION-COMPREHENSIVE PERMIT
SITE APPROVAL APPLICATION/ RENTAL**

General Site Project Site Control Financial Qualifications & Certification Notifications & Fees

Contacts

Site Approval Application/Homeownership

Neponset Village LLC

Project Information

Submit Print

Unit Mix Building Information Project Information Sustainable Development Attachments

Upload

Attachment:

3.1 Preliminary Site Layout Plan(s)

Choose File

No file chosen

Upload

Uploaded Attachments

3.1 Preliminary Site Layout Plan(s)

10365.0 - Pleasant Street - Walpole - Site Plan Set - 2021-05-26.pdf

Delete

3.1 Preliminary Site Layout Plan(s)

Emergency Access Fire Truck Turning - 2021-06-02.pdf

Delete

3.2 Graphic Representations of Project/Preliminary Architectural Plans

Neponset Village Landscape Render Plan.pdf

Delete

3.3 Narrative Description of Design Approach

Design Narrative.docx

Delete

3.4 Tabular Zoning Analysis

Tabular Waiver Requests.pdf

Delete

3.5 Completed Sustainable Development Principles Evaluation Assessment Form

Sustainable Development Form.pdf

Delete

3.1 Preliminary Site Layout Plan(s) (required):

Please provide preliminary site layout plans of the entire Site prepared, signed and stamped by a registered architect or engineer. Plans should be prepared at a scale of 1"=100' or 1" =200', and should show:

- Proposed site grading
- Existing lot lines
- Easements (existing and proposed)
- Access to a public way must be identified
- Required setbacks
- Proposed site circulation (entrances/egresses, roadways, driveways, parking areas, walkways, paths, trails)
- Building and structure footprints (label)
- Utilities (existing and proposed)
- Open space areas
- Schematic landscaping and screening
- Wetland and other restricted area boundaries and buffer zones

Please provide one (1) set of full size (30"x40") plans along with one (1) set of 11"x17" reproductions and one (1) electronic set of plans. Please note that MassHousing cannot accept USB flash drives.

3.2 Graphic Representations of Project/Preliminary Architectural Plans (required):

- Typical floor plans
- Unit plans showing dimensions, bedrooms, bathrooms and overall unit layout
- Exterior elevations, sections, perspectives and illustrative rendering

3.3 Narrative Description of Design Approach (required):

Provide a narrative description of the approach to building massing, style, and exterior materials; site layout, and the relationship of the project to adjacent properties, rights of way and existing development patterns. The handbook called Approach to Chapter 40B Design Reviews prepared by the Cecil Group in January 2011 may be helpful in demonstrating the nature of the discussion that MassHousing seeks in this narrative.

3.4 Tabular Zoning Analysis (required):

Zoning analysis in tabular form comparing existing zoning requirements to the waivers that you will request from the Zoning Board of Appeals for the proposed project, showing required and proposed dimensional requirements including lot area, frontage, front, side and rear setbacks, maximum building coverage, maximum lot coverage, height, number of stories, maximum gross floor area ratio, units per acre, units per buildable acre; number of parking spaces per unit/square foot and total number of parking spaces (proposed and required).

3.5 Completed Sustainable Development Principles Evaluation Assessment Form (required):

(see attached form)

**Application for Chapter 40B Project Eligibility / Site Approval
for MassHousing-Financed and New England Fund ("NEF") Homeownership Projects**

Section 3: PROJECT INFORMATION

In order to issue Site Approval, MassHousing must find (as required by 760 CMR 56.04 (4)) that the proposed project appears generally eligible under the requirements of the housing subsidy program and that the conceptual project design is generally appropriate for the site.

Construction Type: New Construction

Total Dwelling Units:	24	Total Number of Affordable Units:	6
Number of Market Units:	18	Number of AMI 50% Affordable Units:	0
		Number of AMI 80% Affordable Units:	6

Unit Information:

Unit Type	Bedrooms	Baths	# Of Units	Unit Sq. Ft.	Sales Price	Condo/HO Fee
Market	2 Bedroom	2.5 Bat	17	1,348	\$569,900	\$320
Market	3 Bedroom	1 Bath	1	1,380	\$585,000	\$320
Affordable Unit - Below 80%	2 Bedroom	2.5 Bat	5	1,380	\$274,200	\$320
Affordable Unit - Below 80%	3 Bedroom	2.5 Bat	1	1,380	\$309,600	\$320

Approach to calculating any additional fees relating to Condominium Association or Homeowners Association:

The condominium fees will not be bifurcated. All fees are the same for both the Market and Affordable units.

Percentage of Units with 3 or More Bedrooms: 8

** Note that the January 17, 2014 Interagency Agreement Regarding Housing Opportunities for Families with Children requires that at least 10% of the units in the Project must have three (3) or more bedrooms. Evidence of compliance with this requirement must be provided at Final Approval.*

Handicapped Accessible Units - Total:	6	Market Rate:	18	Affordable:	10
Gross Density (units per acre):	0.0002	Net Density (units per buildableacre):	0.0002		

Building Information

Building Type	Building Style	Construction Type	Stories	Height	GFA	Number Bldg
Residential	Townhouse	Construction	2	25	4,718	7

Will all features and amenities available to market unit residents also be available to affordable unit residents?

Yes

If not, explain the differences:

Parking

Total Parking Spaces Provided: 53 **Ratio of Parking Spaces to Housing Units:** 2.21

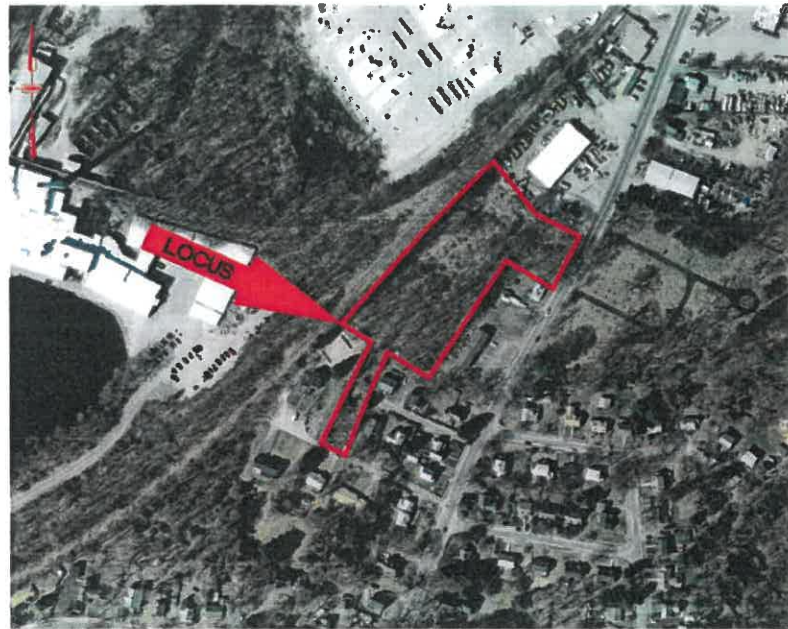
Lot Coverage

Buildings: 14%	Parking and Paved Areas: 30%
Usable Open Space: 56%	Unusable Open Space: 0%
Lot Coverage: 44%	

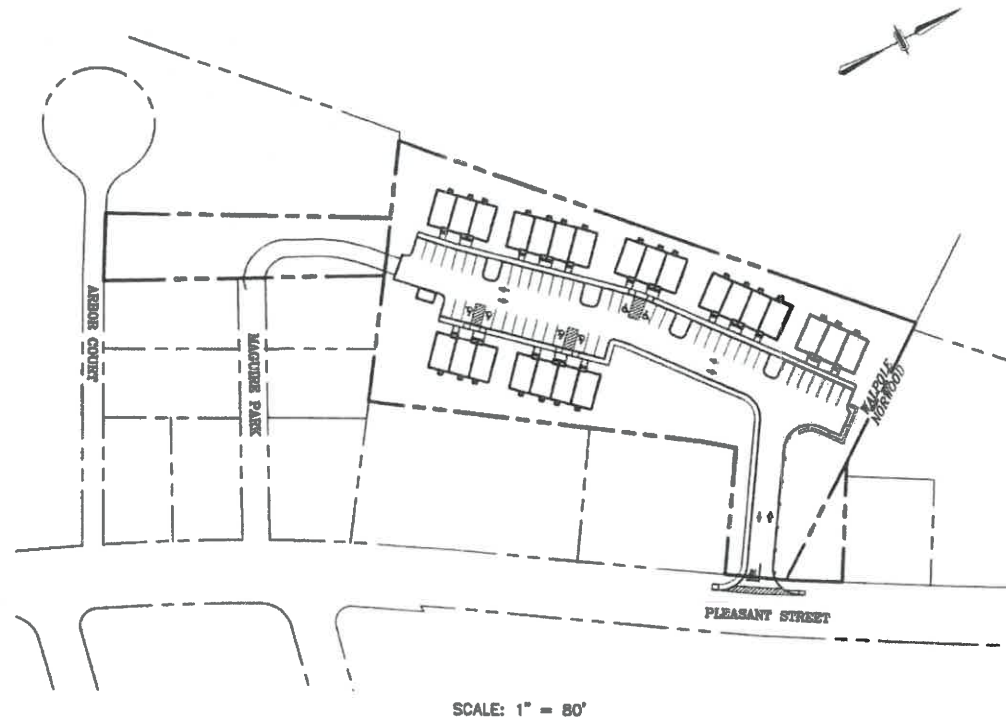
Does project fit definition of "Large Project" (as defined in 760 CMR 56.03 (6))?

No

NEPONSET VILLAGE MASSHOUSING PLANS 5 PLEASANT STREET WALPOLE, MASSACHUSTTS 02081



MASS GIS 2008 AERIAL PHOTO
SCALE: 1" = 200'



SCALE: 1" = 80'

DESCRIPTION

- COVER SHEET
- NOTES & LEGEND
- EXISTING CONDITIONS
- DEMOLITION AND EROSION CONTROL
- SITE LAYOUT PLANS
- SITE GRADING & DRAINAGE PLANS
- SITE UTILITY PLANS
- DETAIL SHEETS

SHEET

- 1
- 2
- 3
- 4
- 5
- 6
- 7
- 8-12

PREPARED FOR:

MCSHARRY BROS., INC.
P.O. BOX 206
ABINGTON, MA 02351

**PREPARED ON:
JUNE 2, 2021**



4 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 02324
PHONE: 508.697.3191, FAX: 508.697.5996
WEBSITE: www.coneco.com

ENGINEER:
DAMIEN J. DMITRUK, P.E.
CONECO ENGINEERS & SCIENTISTS, INC.
BRIDGEWATER, MA 02324

MASSACHUSETTS REGISTERED PROFESSIONAL ENGINEER #55388

DATE: _____

SURVEYOR:
TIMOTHY S. BODAH, P.L.S.
CONECO ENGINEERS & SCIENTISTS, INC.
BRIDGEWATER, MA 02324

MASSACHUSETTS REGISTERED PROFESSIONAL LAND SURVEYOR #46110

DATE: _____

NEPONSET VILLAGE			
5 PLEASANT STREET, WALPOLE, MASSACHUSTTS 02081			
REVISIONS			
NO.	DATE	DESCRIPTION	DR/CK

LEGEND

EXISTING	PROPOSED	DESCRIPTION
----	----	PROPERTY LINE
----	----	PROPERTY LINE ABUTTER
----	----	EASEMENT LINE
105	50	MAJOR GROUND CONTOUR
49	49	MINOR GROUND CONTOUR
-----	-----	RECHARGE BOUNDARY
=====	=====	EDGE OF PAVEMENT
=====	=====	CURB
=====	=====	BUILDING
~~~~~	~~~~~	TREE LINE
=====	=====	EROSION CONTROL LINE
=====	=====	DRAINAGE LINE
=====	=====	GUARD RAIL
=====	=====	POST AND RAIL FENCE
=====	=====	CHAIN LINK FENCE
=====	=====	GUARD RAIL
=====	=====	GAS LINE
=====	=====	WATER LINE
=====	=====	SEWER LINE
-----	-----	OVERHEAD WIRE
-----	-----	TELEPHONE
⊙	⊙	SEWER MANHOLE
⊙	⊙	DRAIN MANHOLE
⊙	⊙	CATCH BASIN
⊙	⊙	TEST PIT
⊙	⊙	UTILITY POLE
⊙	⊙	GUY WIRE
⊙	⊙	LIGHT POLE
⊙	⊙	BOUND W/ DRILL HOLE
⊙	⊙	WATER VALVE
⊙	⊙	GAS VALVE
⊙	⊙	HYDRANT
⊙	⊙	PARKING SPACE COUNT
⊙	⊙	SEWER CLEAN OUT
⊙	⊙	FLARED END SECTION
⊙	⊙	DUMPSTER
⊙	⊙	BORING

## ABBREVIATIONS

ABBREV.	DESCRIPTION
BIT.	BITUMINOUS
BLOG	BUILDING
BM	BENCH MARK
CB	CATCH BASIN
CBDH	CONCRETE BOUND DRILL HOLE
CLF	CHAIN LINK FENCE
CO	CLEAN OUT
CONC.	CONCRETE
CPD	CONCRETE PAD
DCB	DOUBLE CATCH BASIN
DH	DRILL HOLE
DIA.	DIAMETER
DM.	DIAMETER
DMH	DRAIN MANHOLE
EHH	ELECTRIC HANDHOLE
ELEV.	ELEVATION
ELEC.	ELECTRIC
EM	ELECTRIC MANHOLE
EOP	EDGE OF PAVEMENT
EXIST, EX.	EXISTING
FES	FLARED END SECTION
FFE	FIRST FLOOR ELEVATION
FT	FOOT OR FEET
GG	GAS GATE
GR	GUARD RAIL
GV	GATE VALVE
GW	GROUND WATER
HGW	HIGH GROUND WATER
HW	HEADWALL
HYD	HYDRANT
INV., I	INVERT
IP	IRON PIPE
L	LENGTH
LP	LIGHT POLE
LS	LANDSCAPING
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
MISC	MISCELLANEOUS
MW	MONITORING WELL
NO	NUMBER
NTS	NOT TO SCALE
N/E	NOT ENCOUNTERED
N/F	NOW OR FORMERLY
OHW	OVERHEAD WIRE
OW	OVERHEAD OBSERVATION WELL
PCC	PRECAST CONCRETE CURB
PL	PROPERTY LINE
PROP., P	PROPOSED
PVC	POLYVINYL CHLORIDE PIPE
R	RIM
R&R	REMOVE & RESET/REPLACE
RD	REINFORCED CONCRETE PIPE
RD#	ROAD
RD#	ROOF DRAIN NUMBER
ROW	RIGHT OF WAY
RR	RAILROAD
S	SLOPE
STC	STORMCEPTOR CATCH BASIN (WATER QUALITY CATCH BASIN)
SEC.	SECTION
SF	SQUARE FEET
SMH	SEWER MANHOLE
SW	SIDEWALK
TB	TEST BORING
TR	TO BE REMOVED
TC	TOP OF CURB
TYP.	TYPICAL
UP	UTILITY POLE
VGC	VERTICAL GRANITE CURB
WG/V	WATER GATE/VALVE
WM	WATER METER
WMH	WATER MAN HOLE

## NOTES

### GENERAL:

- THE CONTRACTOR SHALL NOTIFY "DIGSAFE" (1-888-DIGSAFE) AT LEAST 72 HOURS (3 BUSINESS DAYS) BEFORE EXCAVATING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
- UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS.
- SITE SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER OR OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
- SITE CLEARING SHALL BE LIMITED TO THE EROSION CONTROL LINE AND/OR THE LIMIT OF GRADING IN AREAS WHERE EROSION CONTROL LINE IS NOT REQUIRED. CARE SHOULD BE TAKEN TO PROTECT EXISTING TREES OUTSIDE OF THIS LINE, THEREBY MAINTAINING A NATURAL BUFFER TO THE GREATEST EXTENT POSSIBLE.
- DEGRADED AND DAMAGED EROSION CONTROLS TO BE REPLACED BY THE CONTRACTOR UNTIL FINAL SOIL STABILIZATION METHODS HAVE BEEN ESTABLISHED.
- BUILDING HEIGHTS SHALL CONFORM TO LATEST ARCHITECTURAL DESIGN PLANS.
- ALL PROPOSED ACCESSIBLE PARKING SPACES, RAMPS, AND ACCESS ROUTES SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (A.D.A.) STANDARDS FOR ACCESSIBLE DESIGN, MASSACHUSETTS 521 CMR ARCHITECTURAL ACCESS BOARD, AND MASSDOT STANDARDS UNLESS OTHERWISE NOTED.
- ALL PROPOSED ACCESSIBLE PARKING SPACES SHALL HAVE A MAXIMUM SLOPE OF 2.0% AND A MINIMUM SLOPE OF 1.5%.
- ALL PROPOSED ACCESSIBLE ACCESS ROUTES SHALL HAVE A MAXIMUM SLOPE OF 5.0% AND A MAXIMUM CROSS SLOPE OF 2.0%.
- ALL PROPOSED CATCH BASINS TO COMPLY WITH AMERICANS WITH DISABILITIES ACT STANDARDS WHICH WILL HAVE PERFORATED GRATE, NOT SLOTTED, STYLE COVERS UNLESS OTHERWISE NOTED.
- DRAINAGE AND SEWER STRUCTURES SHALL BE SET FLUSH WITH PAVEMENT, CONCRETE, AND ALL SURFACE TYPES ALONG ACCESSIBLE ROUTES.
- AREAS OF PROPOSED STORMWATER INFILTRATION FACILITIES SHALL BE ROPED OR FENCED OFF TO PROTECT THE IN SITU SOIL FROM COMPACTION AND SEDIMENTATION. HEAVY EQUIPMENT AND TEMPORARY SEDIMENT BASINS SHALL NOT BE ALLOWED IN THESE AREAS.

### LAYOUT & MATERIALS:

- DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
- CONCRETE BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LAND SURVEYOR.

### EXISTING CONDITIONS INFORMATION:

- THE PROPERTIES ARE REFERENCED BY THE TOWN OF WALPOLE ASSESSOR'S MAP 20 LOT 54 & MAP 20 LOT 63 AND THE TOWN OF NORWOOD ASSESSOR'S MAP 10 SHEET 2 LOT 2
- OWNER OF RECORD ACCORDING TO ASSESSOR'S RECORDS: MCSHARRY BROS INC. BOOK 36191, PAGE 0361(WALPOLE)
- ELEVATIONS REFER TO NAVD 88.
- TOPOGRAPHIC INFORMATION AND EXISTING SITE FEATURES WERE OBTAINED FROM MAPLEWOOD CONDOMINIUMS SITE PLAN BY NORWOOD ENGINEERING COMPANY, INC. LAST REVISED 6/2/2016.
- THE PROPERTY IS LOCATED IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 25021C0187E DATED JULY 17, 2012.
- UNDERGROUND UTILITY LOCATION AS SHOWN HEREON ARE TAKEN FROM AVAILABLE RECORD AND FIELD INFORMATION AND ARE APPROXIMATE ONLY. BEFORE PLANNING ANY CONSTRUCTION, DIGSAFE AND THE VARIOUS UTILITY COMPANY ENGINEERING DEPARTMENTS SHOULD BE CONSULTED.
- TREE SYMBOLS ARE FOR GRAPHIC PURPOSES ONLY AND DO NOT REPRESENT ACTUAL CANOPY LINES.

### LANDSCAPING:

- ALL AREAS CLEARED AND/OR DISTURBED SHALL BE BROUGHT TO WITHIN 4 INCHES OF FINAL GRADE AND FINISHED WITH 4 INCHES OF LOAM AND SEED EXCEPT WHERE OTHER FINISHES ARE PROPOSED (REFER TO PLANS).
- CONTRACTOR IS RESPONSIBLE FOR REPLACING (IN KIND) ALL DEAD OR DYING PLANT MATERIAL FOR A PERIOD OF 2 YEARS AFTER INITIAL PLANTING.

### UTILITIES:

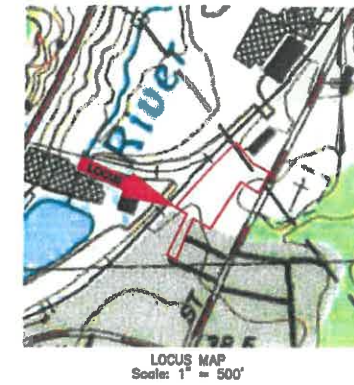
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVES. THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT. FAILURE TO PROVIDE OR PERFORM THE ABOVE PRIOR TO PERFORMING ANY WORK SHALL NOT BE GROUNDS FOR EXTRA PAYMENTS TO THE CONTRACTOR.
- SET CATCH BASIN RIMS, AND INVERTS OF DRAINS AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND DRAINAGE PLAN.
- RIM ELEVATIONS FOR DRAIN MANHOLES AND OTHER SUCH ITEMS ARE APPROXIMATE AND SHALL BE ADJUSTED AS FOLLOWS:
  - PAVEMENTS, CONCRETE SURFACES, AND ALL SURFACE TYPES ALONG ACCESSIBLE ROUTES-- SET FLUSH WITH FINISH GRADES.
  - LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS-- SET 1 INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.
- THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.
- THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITY COMPANY.
- UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:
  - STORM DRAINAGE PIPES SHALL BE DOUBLE WALL, SMOOTH INTERIOR HIGH DENSITY POLYETHYLENE (HDPE)

## SITE DEVELOPMENT TABLES

TOTAL SITE AREA: 121,579 S.F. (2.79± ACRES)

## ZONING TABLE

ZONE: GENERAL RESIDENCE		
USES: RESIDENTIAL		
	REQUIRED	PROVIDED
<b>LOTS</b>		
MIN. AREA	15,000 S.F.	121,579 S.F.
MIN. FRONTAGE	100 FT	110 FT
<b>BUILDINGS</b>		
MAX. BUILDING LOT COVERAGE	30%	14.1%
MAX. IMPERVIOUS LOT COVERAGE	50%	43.7%
MIN. USABLE OPEN SPACE	40%	56.3%
MIN. FRONT YARD	30 FT	197.4 FT
MIN. SIDE YARD	10 FT	17.9 FT
MIN. REAR YARD	30 FT	15.1 FT
MAX. BUILDING HEIGHT	35 FT	35 FT



LOCUS MAP  
Scale: 1" = 500'

NO.	DATE	DESCRIPTION	DRAWN BY

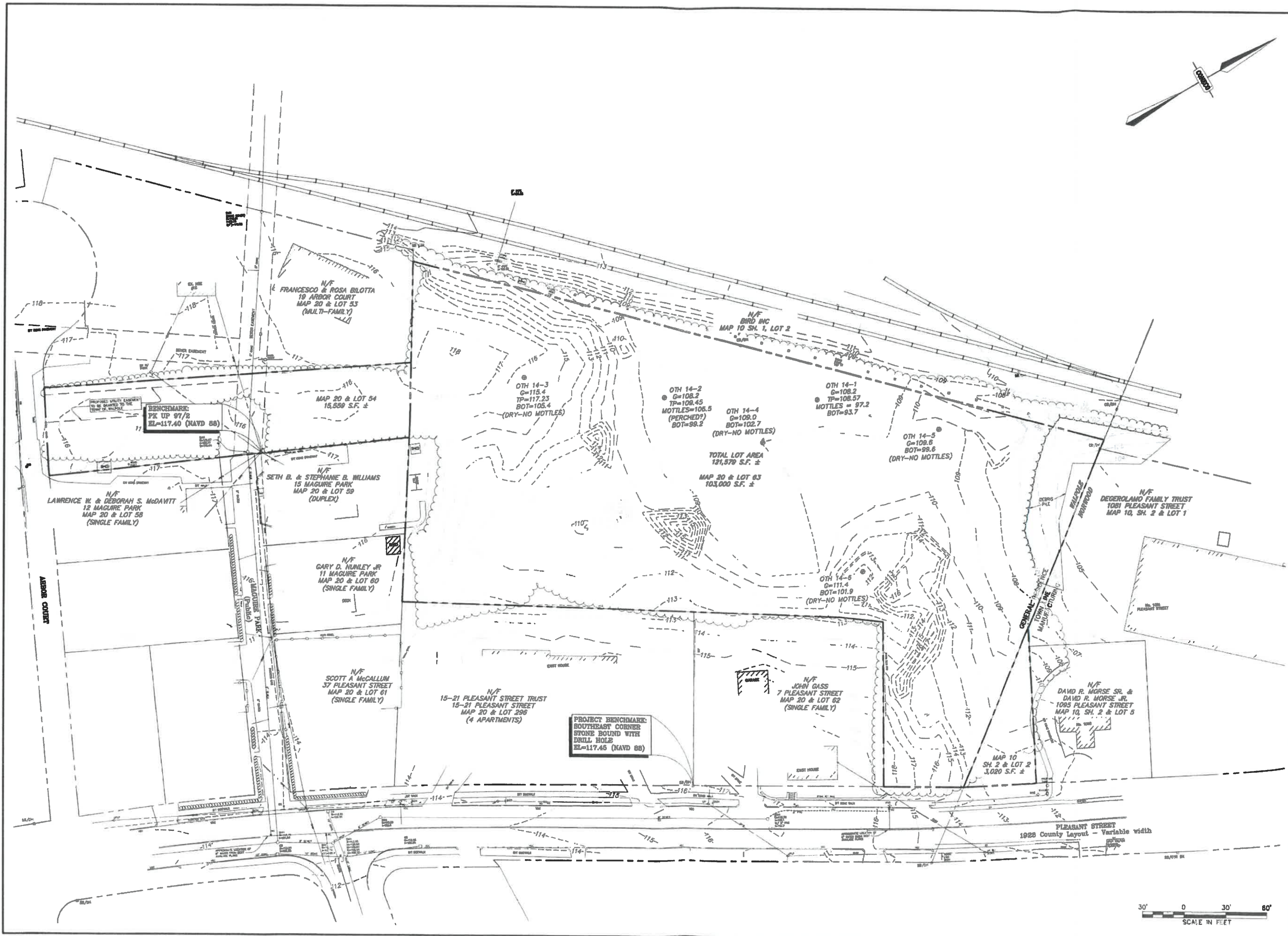
**MCSHARRY BROS., INC.**  
P.O. BOX 206  
ABINGTON, MA 02351

**MCSHARRY BROS., INC.**  
5 PLEASANT STREET  
WALPOLE, MASSACHUSETTS 02081

**CONECO**  
*Engineers & Scientists*  
PHONE: 603-646-3356 WEBSITE: www.coneco.com

DATE	06/02/2021
DESIGNED: MVB	CHECKED: DJD
DRAFTED: MVB	IN CHARGE: JEN
SCALE:	AS SHOWN
PROJECT NO.	10365.0
SHEET NO.	2

NOTES & LEGEND  
MASSHOUSING PLANS



REV.	DATE	DESCRIPTION	BY/CHK

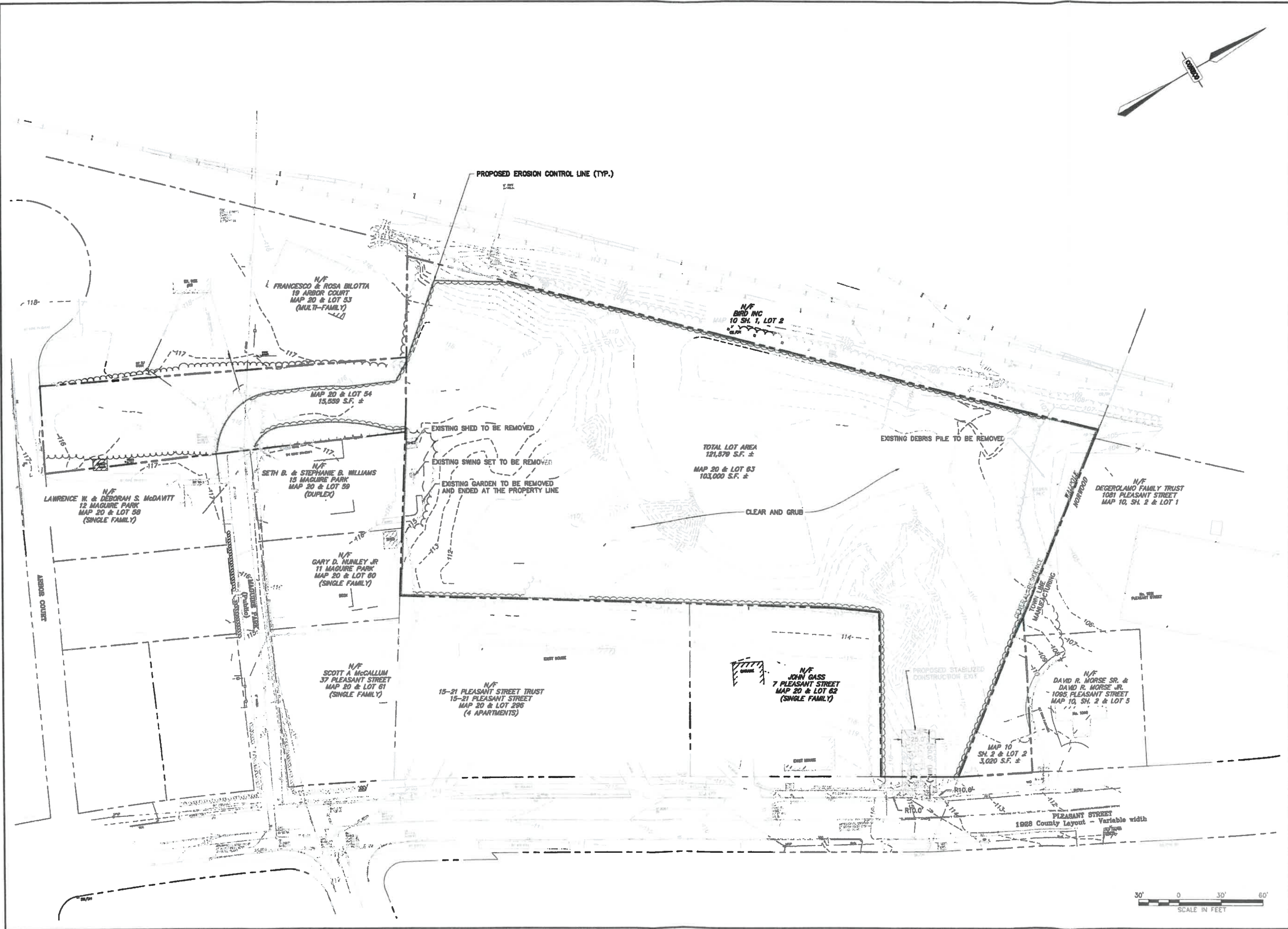
PROJECT NO.  
**MC SHARRY BROS., INC.**  
 P.O. BOX 206  
 ABRINGTON, MA 02631  
 EXISTING CONDITION PLAN

PROJECT NO.  
**NEPONSET VILLAGE**  
 5 PLEASANT STREET  
 WALPOLE, MASSACHUSETTS 02081  
 MASSHOUSING PLANS

**CONECO**  
**Engineers & Scientists**  
 PHONE: 508-548-3355 WEBSITE: WWW.CONECO.COM

DATE	06/02/2021
DESIGNED: MVB	CHECKED: DJD
DRAFTED: MVB	IN CHARGE: JEN
SCALE:	1" = 30'
PROJECT NO.	10368.0
SHEET NO.	<b>3</b>





REVISIONS	
NO.	DATE

PROJECT NO. MCHENRY BROS., INC. P.O. BOX 200 ABRINGTON, MA 02861	DEMOLITION AND EROSION CONTROL PLAN
PROJECT NO. WECOMSET VILLAGE 5 PLEASANT STREET WALPOLE, MASSACHUSETTS 02081	MASSHOUSING PLANS

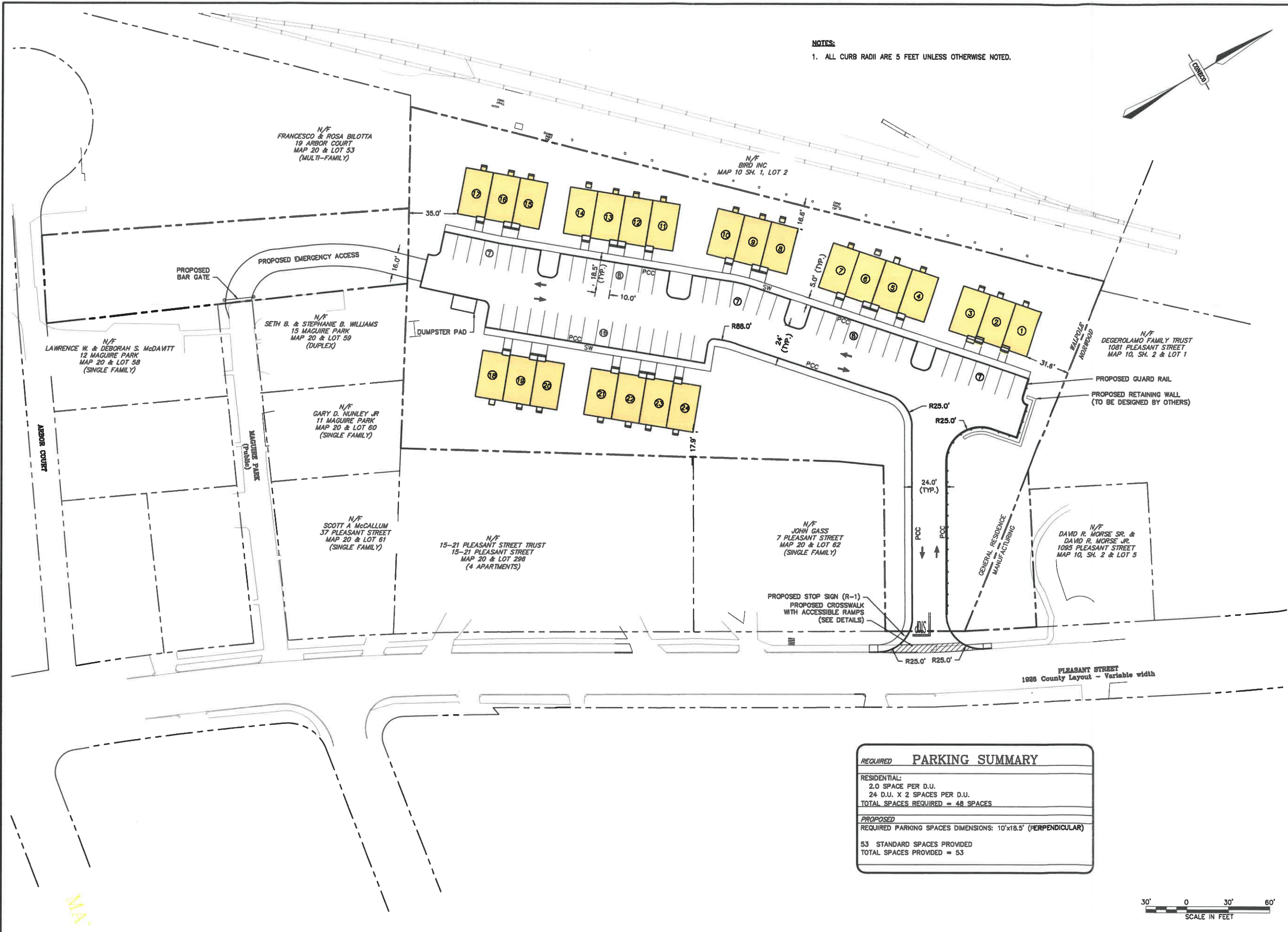
  

**CONECO**  
**Engineers & Scientists**  
 PHONE: 508-348-3355 WEBSITE: www.coneco.com

DATE	06/02/2021
DESIGNED: MVB	CHECKED: DJD
DRAFTED: MVB	IN CHARGE: JEN
SCALE:	1" = 30'
PROJECT NO.	10385.0
SHEET NO.	<b>4</b>

OF 12

**NOTES:**  
 1. ALL CURB RADII ARE 5 FEET UNLESS OTHERWISE NOTED.



REQUIRED PARKING SUMMARY	
<b>REQUIRED</b>	<b>PARKING SUMMARY</b>
<b>RESIDENTIAL:</b>	2.0 SPACE PER D.U.
	24 D.U. X 2 SPACES PER D.U.
	TOTAL SPACES REQUIRED = 48 SPACES
<b>PROPOSED</b>	REQUIRED PARKING SPACES DIMENSIONS: 10'x18.5' (PERPENDICULAR)
	53 STANDARD SPACES PROVIDED
	TOTAL SPACES PROVIDED = 53



REVISIONS	
NO.	DATE

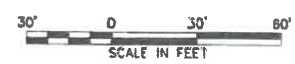
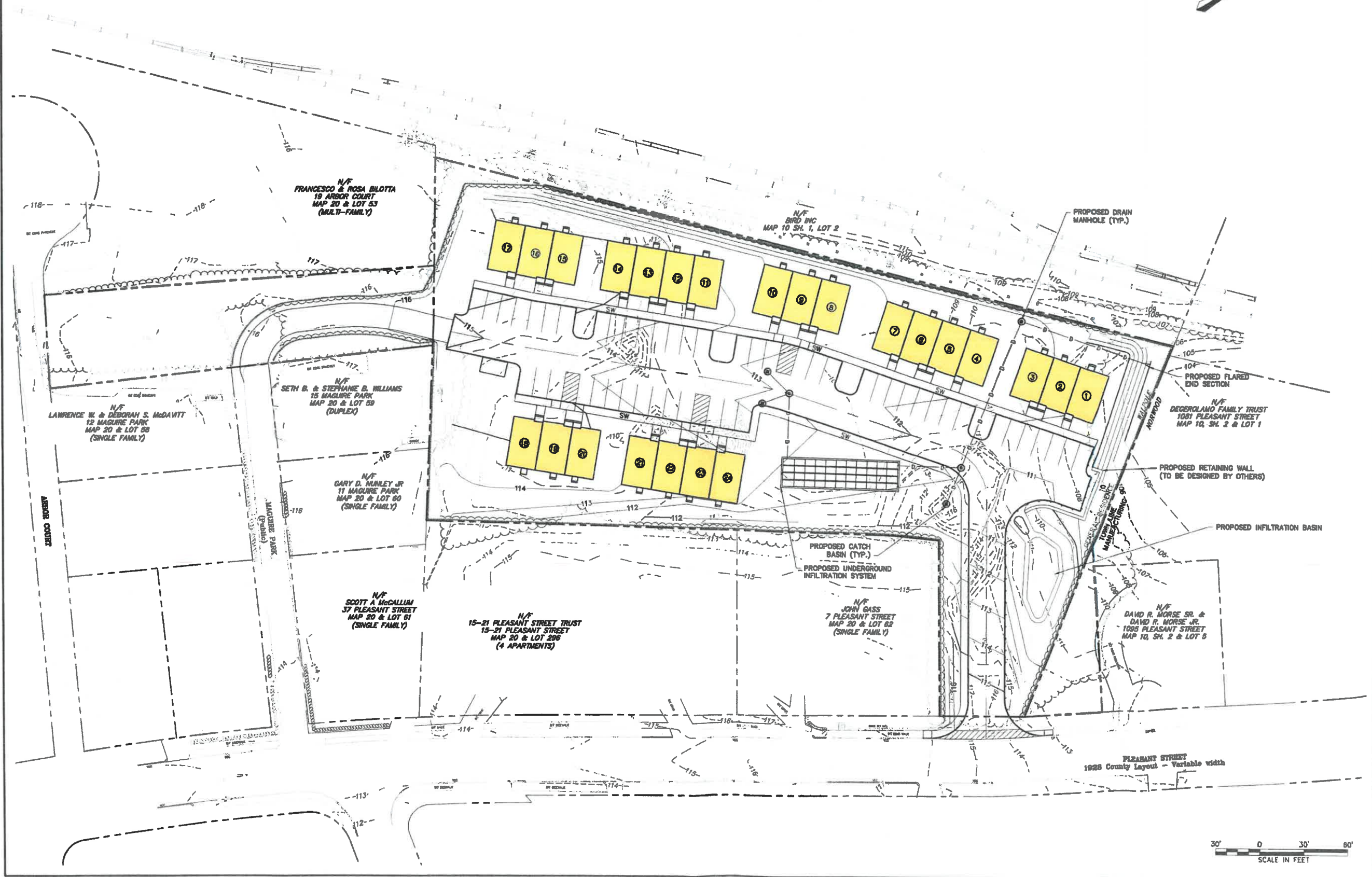
PREPARED BY: MCSHARRY BROS., INC. P.O. BOX 208 ABRINGTON, MA 02561	PROJECT TITLE: SITE LAYOUT PLAN
REVIEWER: NEPONSET VILLAGE 5 PLEASANT STREET WALPOLE, MASSACHUSETTS 02081	DRAWING NO.: MASSHOUSING PLANS

**CONECO**  
 Engineers & Scientists  
 PHONE: 800-546-3355    WEBSITE: www.coneco.com

DATE:	08/02/2021
DESIGNED:	MVB    CHECKED: DJD
DRAFTED:	MVB    IN CHARGE: JEN
SCALE:	1" = 30'
PROJECT NO.:	10388.0
SHEET NO.:	5

MA.



NO.	DATE	DESCRIPTION

MCHARRY BROS., INC.  
 P.O. BOX 206  
 ABRINGTON, MA 02951

SITE GRADING AND DRAINAGE PLAN

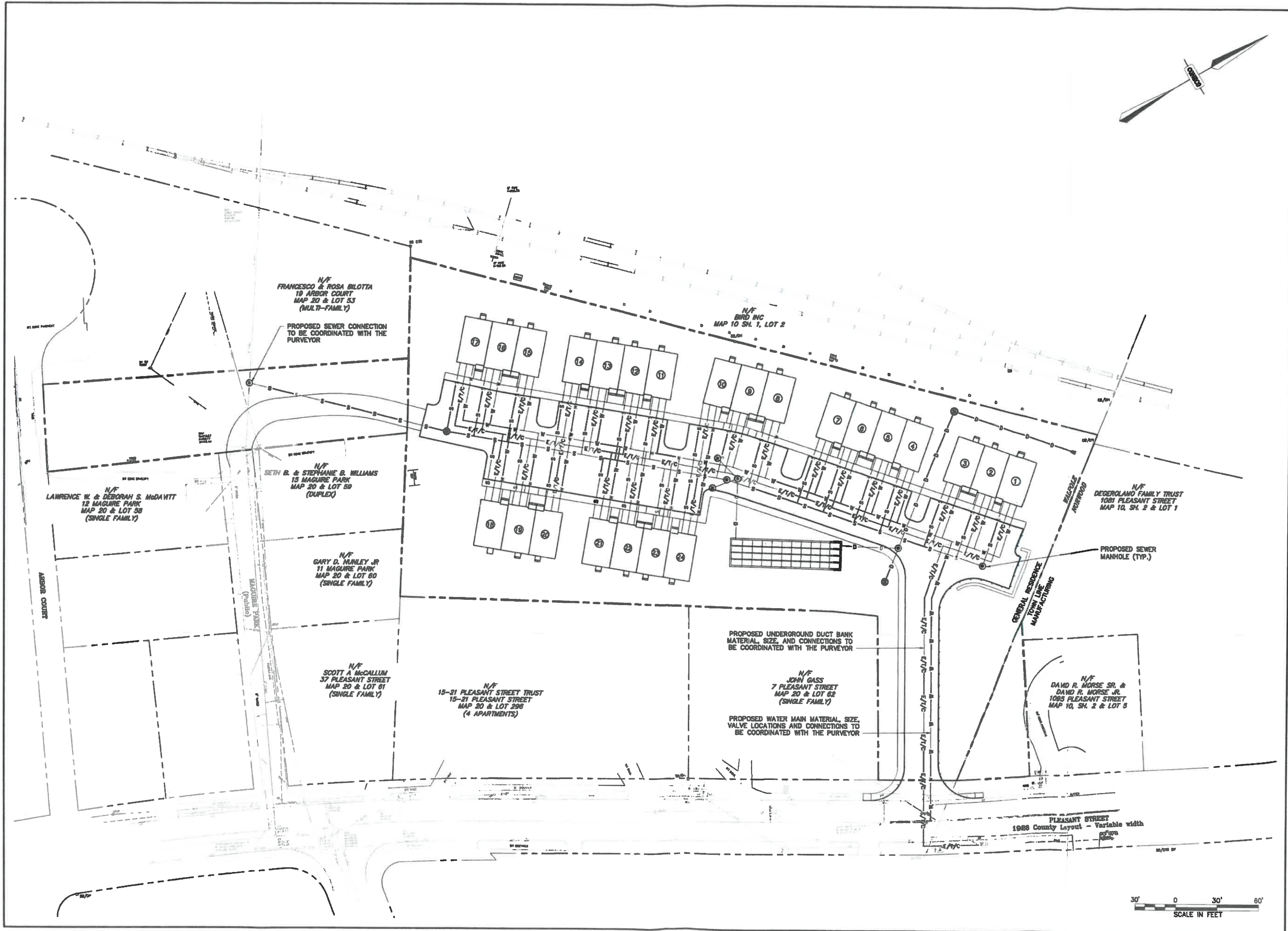
REFONSET VILLAGE  
 5 PLEASANT STREET  
 WALPOLE, MASSACHUSETTS 02081

MASSHOUSING PLANS

**CONECO**  
 Engineers & Scientists  
 PHONE: 800-948-3385 WEBSITE: WWW.CONECO.COM

DATE	06/02/2021
DESIGNED: MVB	CHECKED: DJD
DRAFTED: MVB	IN CHARGE: JEN
SCALE:	1" = 30'
PROJECT NO.	10388.0
SHEET NO.	<b>6</b>

OF 12



NO.	DATE	DESCRIPTION	BY/CHK

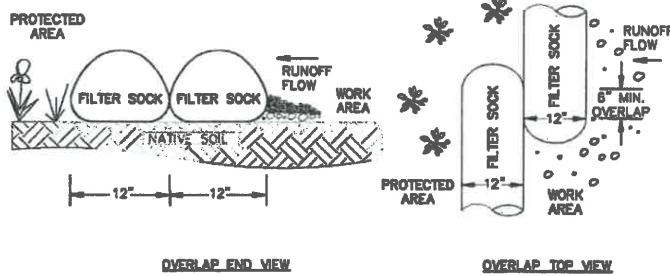
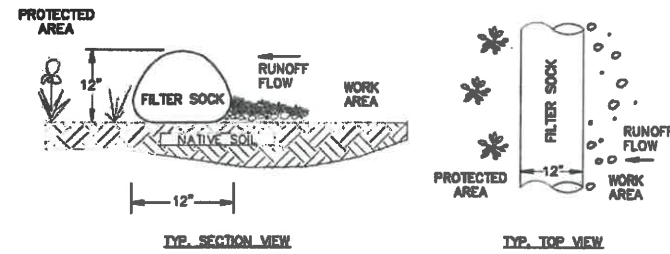
PREPARED BY: **MCHEARREY BROS., INC.**  
 P.O. BOX 2001  
 ABBINGTON, MA 02881

PROJECT NO: **NEPONSET VILLAGE**  
**6 PLEASANT STREET**  
**WALPOLE, MASSACHUSETTS 02081**

SHEET NO: **7**  
 OF 12

**CONECO**  
 Engineers & Scientists  
 PHONE: 508-546-3355 WEBSITE: WWW.CONECO.COM

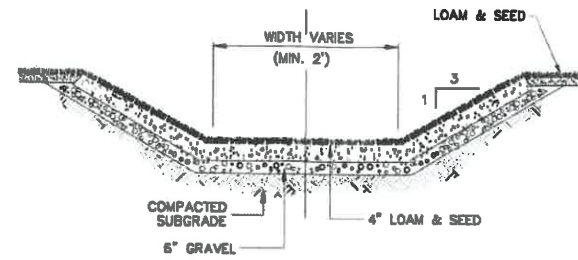
DATE	06/02/2021
DESIGNED: MVB	CHECKED: DJD
DRAFTED: MVB	IN CHARGE: JEN
SCALE:	1" = 30'
PROJECT NO.	10388.0
SHEET NO.	<b>7</b>



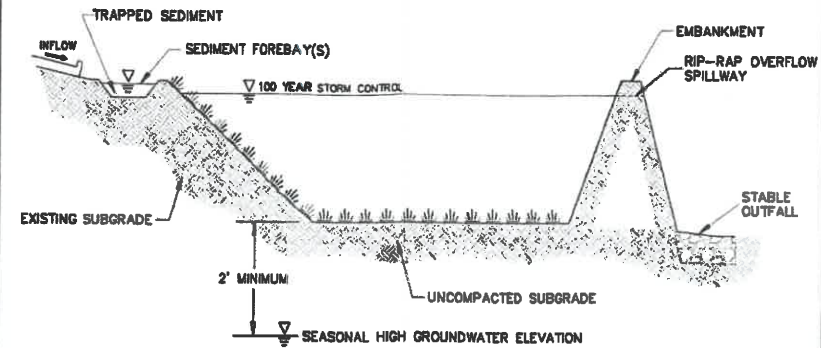
**NOTES:**

1. EACH FILTER SOCK SHALL CONSIST OF COMPOST MATERIAL WRAPPED IN BURLAP. COMPOST MATERIAL AND BURLAP CASING SHALL BE APPROVED BY ENGINEER PRIOR TO INSTALLATION.
2. CONTRACTOR SHALL PAY FOR COMPOST MATERIAL TESTING IF REQUIRED.
3. FILTER SOCKS SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. SEDIMENT SHALL BE REMOVED FROM FACE OF SOCK WHEN IT REACHES 1/3 HEIGHT OF SOCK.
4. COMPOST FILTER SOCK TO BE STAKED WITH A 4' BEANPOLE AT A MAXIMUM DISTANCE OF 10'. STAKE CLOSER AS NEEDED.

**12" DIA. COMPOST FILTER SOCK DETAIL**  
N.T.S.



**GRASS SWALE**  
N.T.S.

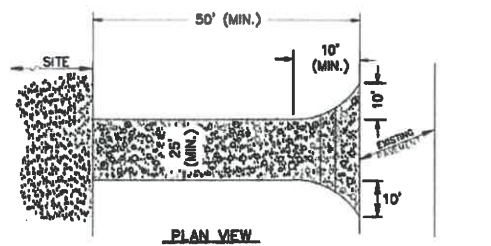


**PROFILE**

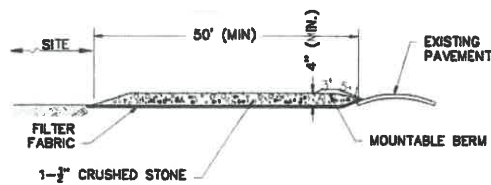
**NOTES:**

- MIX NATIVE SOILS AND COMPOST AGED TO KILL SEED STOCK FOR INFILTRATION BASIN BOTTOM. SEED INFILTRATION BASIN BOTTOM WITH LOW MAINTENANCE GRASSES.

**INFILTRATION BASIN DETAIL**  
N.T.S.



**PLAN VIEW**

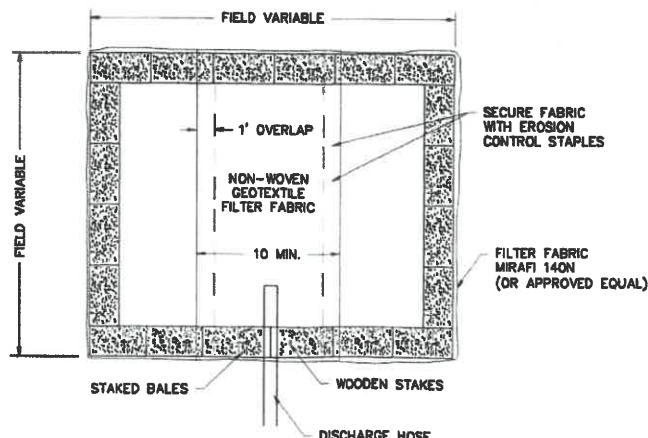


**CROSS-SECTION**

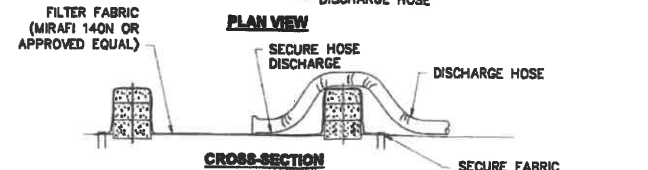
**NOTES:**

1. ENTRANCE WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO REAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED.
3. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.

**STABILIZED CONSTRUCTION EXIT**  
N.T.S.



**PLAN VIEW**

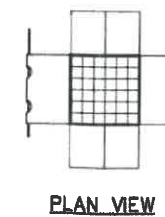


**CROSS-SECTION**

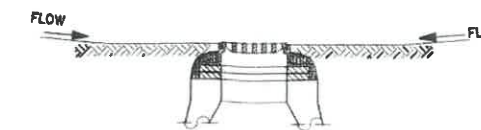
**NOTES:**

1. NUMBER OF BALES MAY VARY DEPENDING ON SITE CONDITIONS.
2. THE BASIN TO BE SIZED TO PREVENT DISCHARGE WATER FROM OVERTOPPING BASIN.
3. KEEP AS FAR FROM WETLANDS AS PRACTICAL.
4. CLEAN AND REMOVE AS SOON AS DEWATERING IS COMPLETE.

**TYPICAL DEWATERING HAYBALE BASIN**  
N.T.S.



**PLAN VIEW**



**SECTION VIEW**

**NOTES:**

1. INSTALL SILTSACK IN ALL PROPOSED CATCH BASINS UNTIL AFTER BINDER COURSE IS PLACED AND HAYBALES HAVE BEEN REMOVED.
2. INSTALL SILTSACK IN ALL EXISTING CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK. SILT SACKS TO REMAIN UNTIL BINDER COURSE HAS BEEN PLACED AND EROSION CONTROLS HAVE BEEN REMOVED.
3. GRATE TO BE PLACED OVER SILTSACK.
4. SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED.

**SILTSACK SEDIMENT TRAP**  
N.T.S.

NO.	DATE	DESCRIPTION	BY/CHK

MCNEAREY ERGOS, INC.  
P.O. BOX 206  
ABINGTON, MA 02861

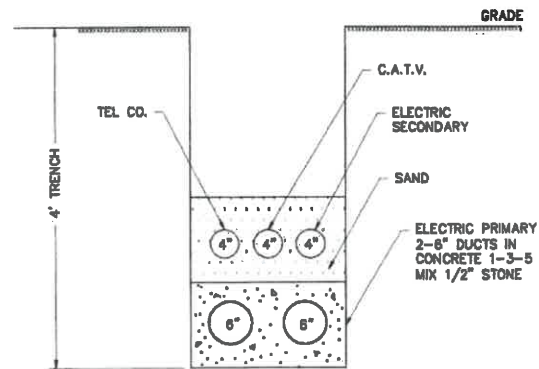
DETAILS  
SHEET 1 OF 5

REPOSENET VILLAGE  
5 PLASANT STREET  
WALPOLE, MASSACHUSETTS 02081

MASSHOUSING PLANS

**CONECO**  
Engineers & Scientists  
PHONE: 800-548-3358 WEBSITE: www.coneco.com

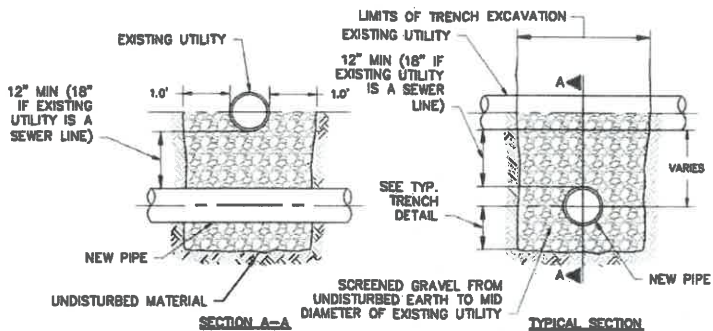
DATE	08/02/2021
DESIGNED: MVB	CHECKED: DJD
DRAFTED: MVB	IN CHARGE: JEN
SCALE:	N.T.S.
PROJECT NO.	10285.0
SHEET NO.	



**NOTES:**

1. ELECTRIC SECONDARY DUCT IN SAND.
2. ELECTRIC PRIMARY DUCT IN CONCRETE 1-3-5 MIX 1/2" STONE.
3. ALL PVC CONDUIT AND 36" RADIUS ELBOW 6" SCHEDULE #40.
4. RISER POLE - 6" PVC ELBOW 36" RADIUS - PULLING STRING INSTALLED IN ALL OUTLETS - 2 - SETS OF AS BUILT DRAWINGS
5. CONCRET SLAB FOR TRANSFORMERS SHALL BE 1-2-3 MIX 1" STONE WITH 1/2" RODS.
6. DUCT BANK TRENCH CONFIGURATION AND MATERIALS TO BE CONFIRMED WITH UTILITY PURVEYORS PRIOR TO CONSTRUCTION.
7. THIS DETAIL IS FOR ILLUSTRATION ONLY. ALL DUCT BANK DETAILS, TRENCHES AND MATERIALS MUST CONFORM TO THE CURRENT REQUIREMENTS OF EACH UTILITY COMPANY USED ON THIS PROJECT.
8. CONTRACTOR HAS TO COORDINATE WITH ELECTRICAL SITE PLANS.

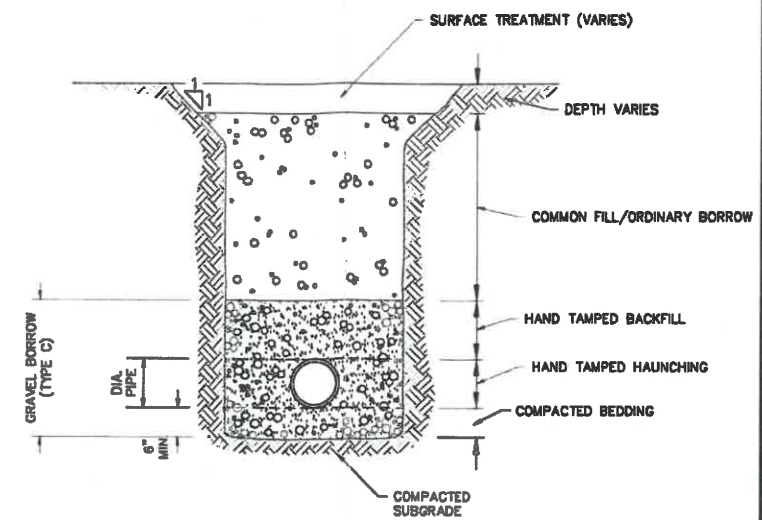
**DUCT BANK DETAIL**  
N.T.S.



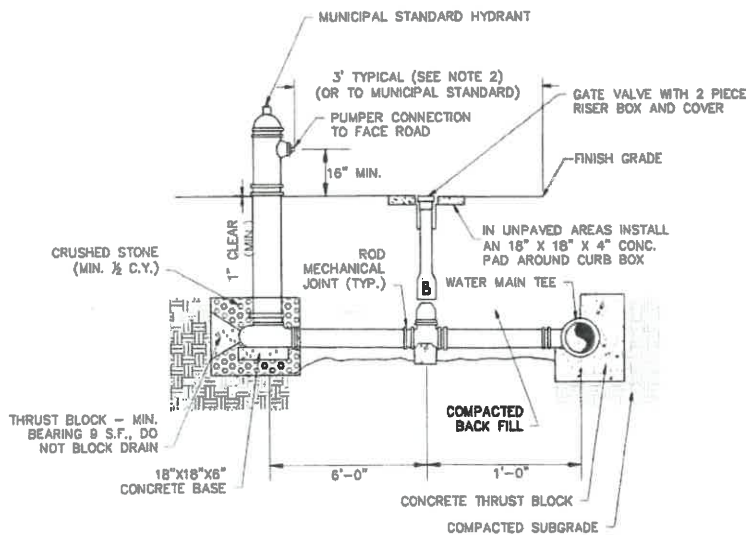
**NOTE:**

1. TO THE EXTENT POSSIBLE, NEW WATER MAINS SHALL CROSS OVER EXISTING SEWERS. WATER MAINS SHALL BE CONCRETE ENCASED IF THEY ARE INSTALLED UNDER AN EXISTING SEWER FOR A DISTANCE 10' PERPENDICULAR TO THE INTERSECTION. TO THE EXTENT POSSIBLE, ONE FULL LENGTH OF NEW MECHANICAL JOINT WATER PIPE SHALL BE INSTALLED UNDER THE SEWER CROSSING SO THAT THE WATER MAIN PIPE JOINTS WILL BE AS FAR AWAY FROM THE SEWER CROSSING AS POSSIBLE.

**UTILITY CROSSING DETAIL**  
N.T.S.



**UTILITY TRENCH**  
N.T.S.



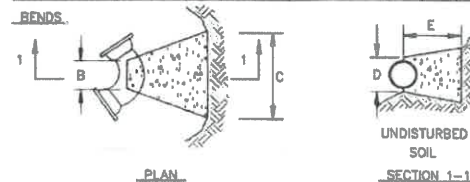
**NOTES:**

1. CONCRETE THRUST BLOCKS TO BE USED ONLY WHERE THEY CAN BEAR ON UNDISTURBED EARTH AS SHOWN. USE CLAMPS AND TIE RODS OR OTHER ACCEPTABLE METHOD OF JOINT RESTRAINT.
2. HYDRANT IN SIDEWALK AREAS TO BE LOCATED TO PROVIDE MINIMUM CLEAR SIDEWALK PASSAGE WIDTH OF 3 FEET AT HYDRANT.
3. HYDRANT TO MEET ALL TOWN STANDARD REQUIREMENTS. COORDINATION WITH FIRE DEPARTMENT PRIOR TO INSTALLATION TO ENSURE THAT MODEL IS CONSISTING WITH TOWNS SYSTEMS AND OPERATION.

**FIRE HYDRANT INSTALLATION**  
N.T.S.

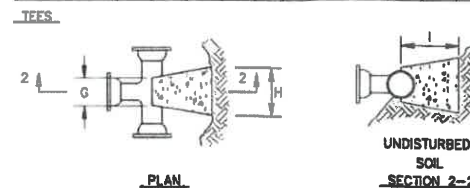
**TABLE OF DIMENSIONS**

BENDS	B	C	D	E	F	BENDS	B	C	D	E	F
6" 11-1/4"	8"	15"	12"	24"	12"	6" 45°	8"	30"	12"	24"	14"
6" 22-1/2"	"	18"	"	"	13"	6" 90°	"	30"	"	"	27"
8" 11-1/4"	"	20"	"	"	12"	8" 45°	"	30"	"	"	24"
8" 22-1/2"	"	22"	"	"	17"	8" 90°	"	36"	"	"	36"
12" 11-1/4"	"	30"	"	"	15"	12" 45°	"	40"	"	"	40"
12" 22-1/2"	"	35"	"	"	25"	12" 90°	"	60"	"	"	52"



**TABLE OF DIMENSIONS**

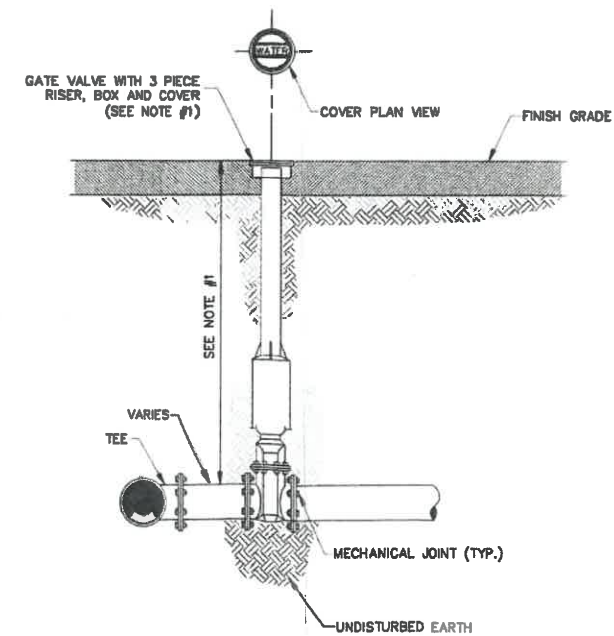
TEES	G	H	I	J	TEES	G	H	I	J
6"x6"x6"	12"	24"	24"	18"	12"x12"x6"	12"	24"	24"	18"
8"x8"x8"	"	"	"	"	12"x12"x8"	"	"	"	24"
8"x8"x8"	"	"	"	24"	12"x12"x12"	"	36"	"	36"



**NOTES:**

1. PROVIDE BLOCKS FOR TAPPING SLEEVES, DEAD ENDS, GATE VALVES, ELBOWS, AND VERTICAL BENDS (SAME SIZE AS REQUIRED FOR TEES). PROVIDE ANCHOR RODS AT VERTICAL BENDS AND GATE VALVES.
2. CONCRETE SHALL NOT BE PLACED AGAINST PIPE BEYOND FITTING.

**CONCRETE THRUST BLOCK**  
N.T.S.



**NOTE:**

1. DEPTH OF BURIAL, GATE VALVE, ROAD BOX & CONNECTION SHALL BE DETERMINED BY THE ONSET WATER DEPARTMENT.
2. CONCRETE THRUST BLOCKS TO BE USED ONLY WHERE THEY CAN BEAR ON UNDISTURBED EARTH. USE CLAMPS AND TIE RODS OR OTHER ACCEPTABLE METHOD OF JOINT RESTRAINT WHERE SOIL CONDITIONS PROHIBIT THE USE OF THRUST BLOCKS.

**WATER GATE**  
N.T.S.

NO.	DATE	DESCRIPTION	BY/CHK

MCSEARRE BROS., INC.  
P.O. BOX 206  
ARINGTON, MA 02261

DETAILS  
SHEET 2 OF 6

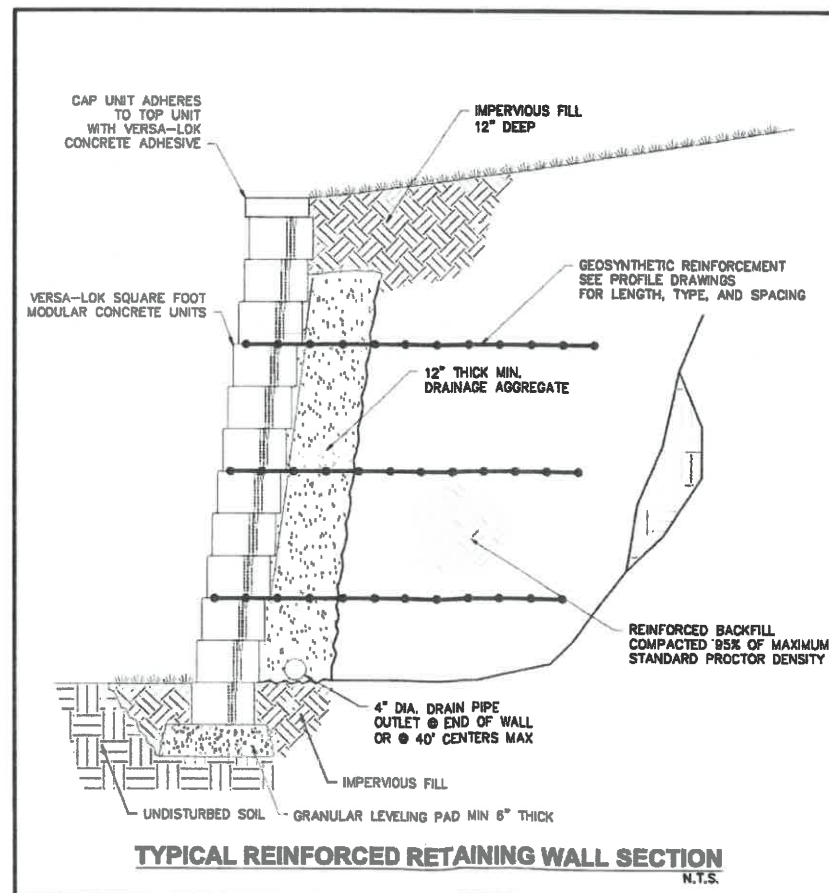
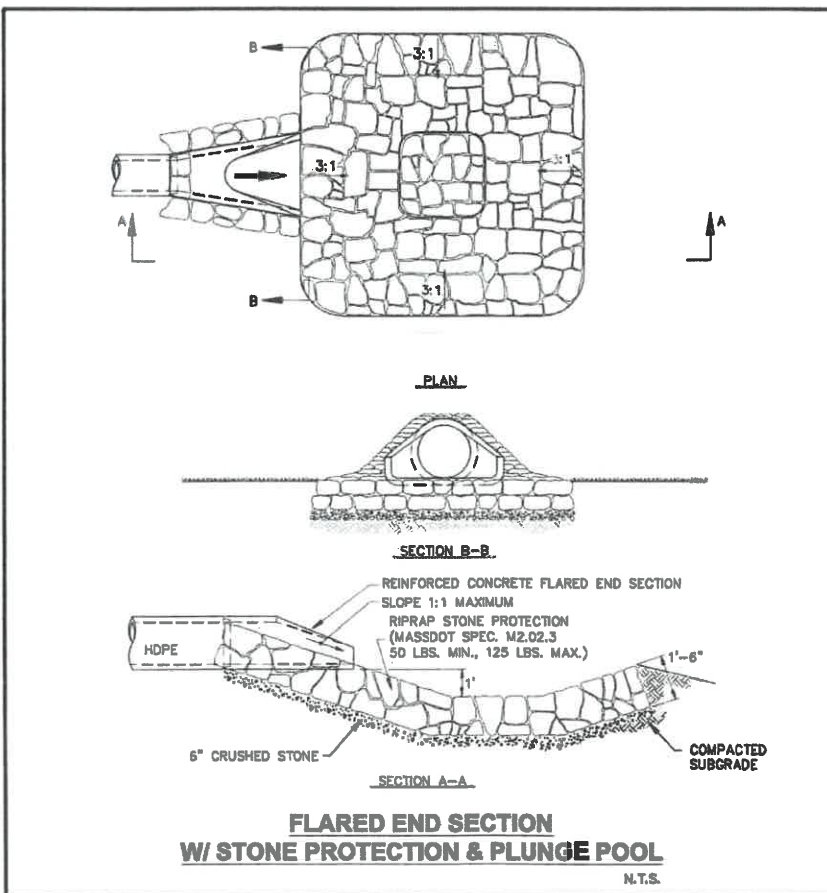
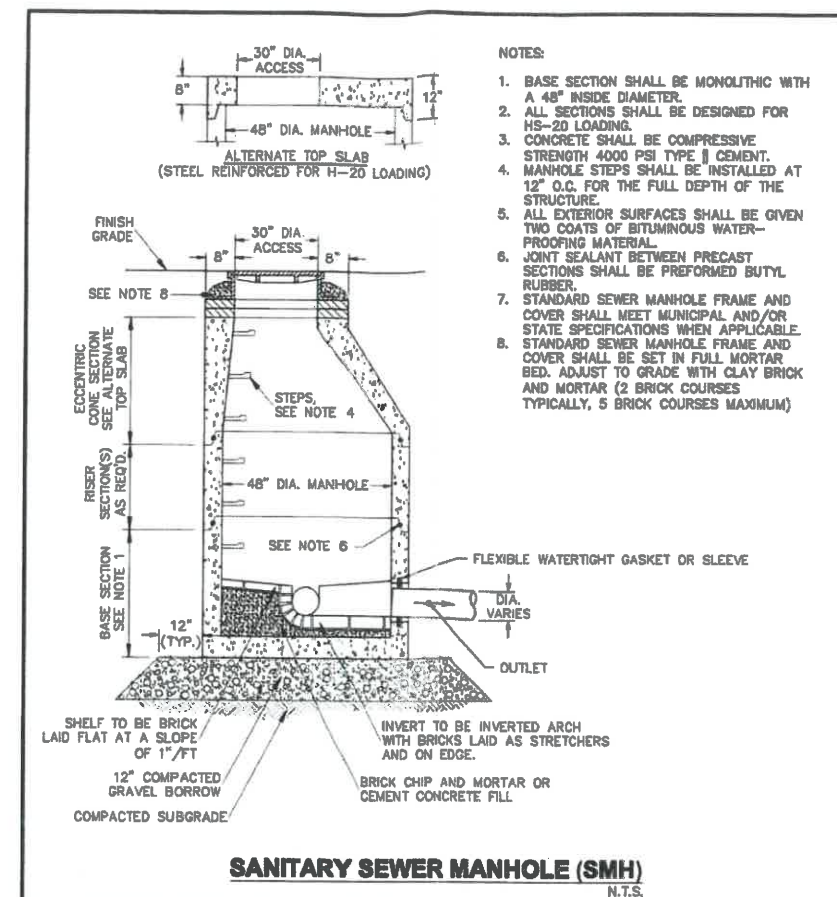
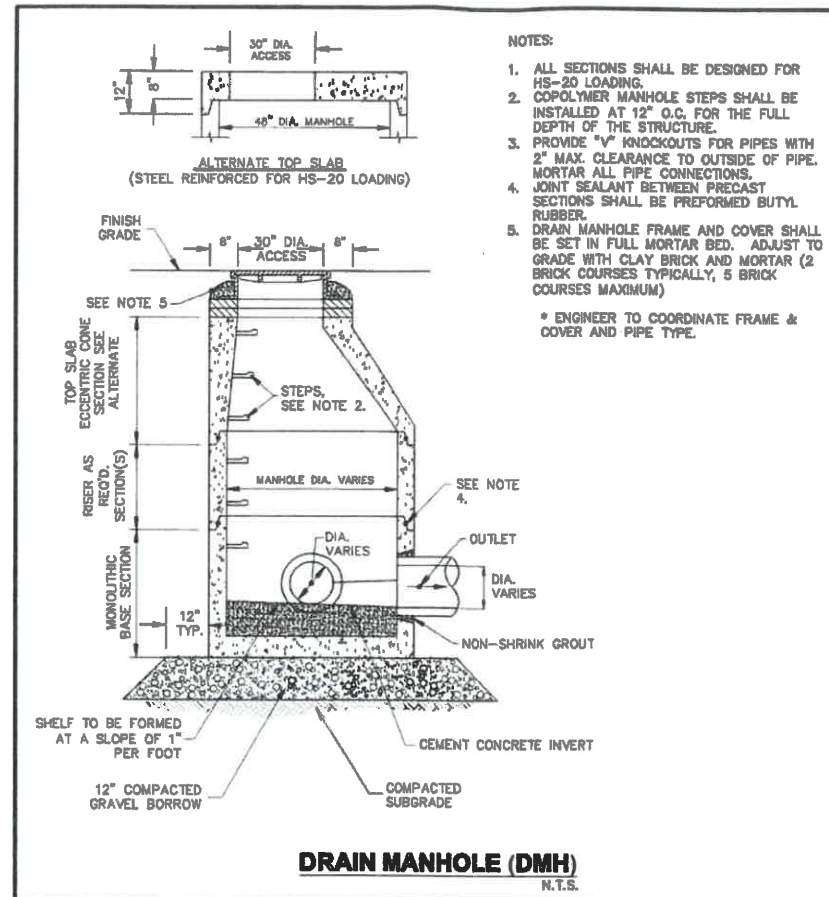
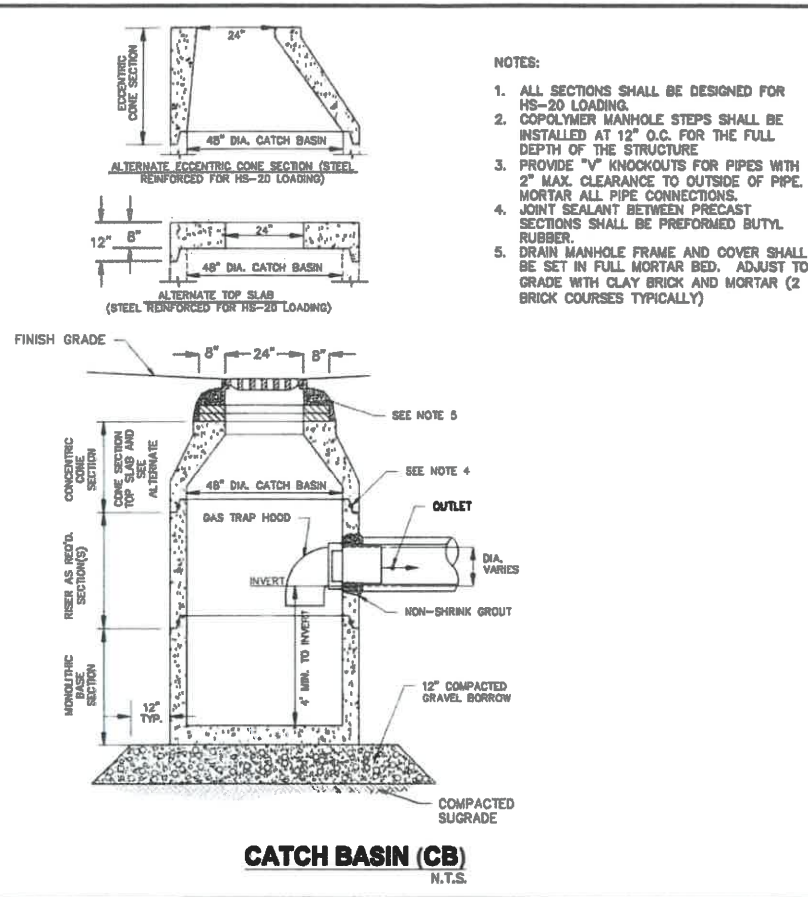
NEPONSET VILLAGE  
5 PLEASANT STREET  
WALPOLE, MASSACHUSETTS 02081

MASSHousing PLANS



DATE	06/02/2021
DESIGNED: MVB	CHECKED: DJD
DRAFTED: MVB	IN CHARGE: JEN
SCALE	N.T.S.
PROJECT NO.	10365.0
SHEET NO.	9





NO.	DATE	DESCRIPTION	DR/CK

MC SHARPE BROS., INC.  
P.O. BOX 208  
ABINGTON, MA 06851

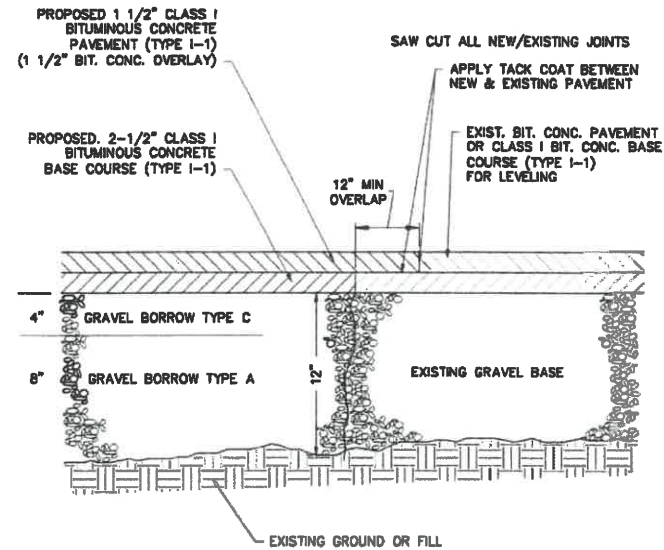
DETAILS  
SHEET 3 OF 6

NEPONSET VILLAGE  
5 PIPASANT STREET  
WALPOLE, MASSACHUSETTS 06061

MASSHOUSING PLANS

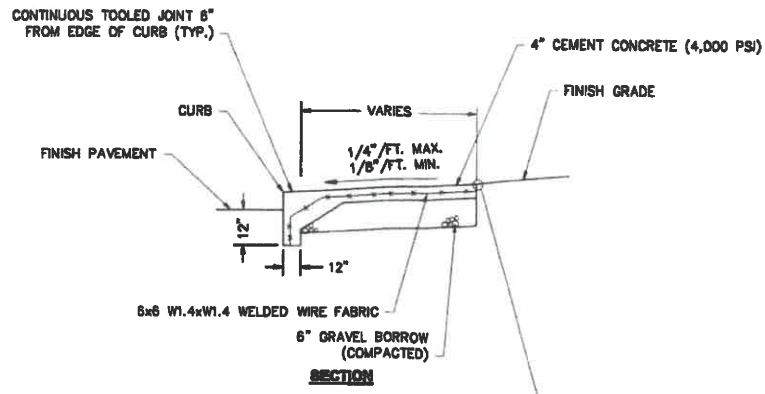
**CONECO**  
Engineers & Scientists  
PHONE: 508-648-3335  
WEBSITE: www.coneco.com

DATE	06/02/2021
DESIGNED: MVB	CHECKED: DJD
DRAFTED: MVB	IN CHARGE: JEN
SCALE:	N.T.S.
PROJECT NO.	10365.0
SHEET NO.	10



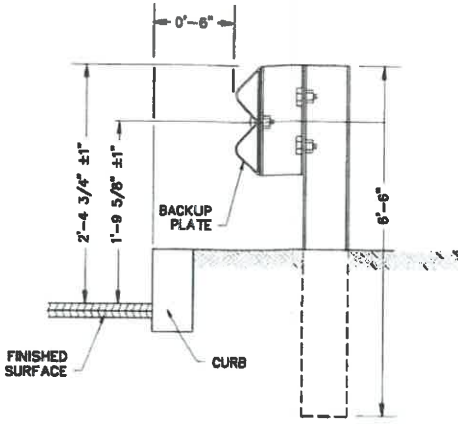
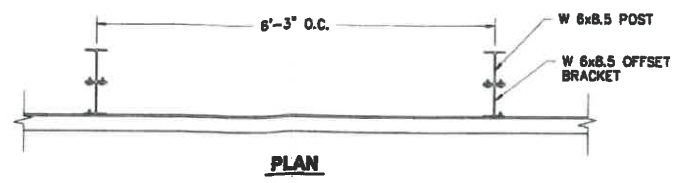
- NOTES:
1. GRAVEL BORROW TYPE C IS MASS HIGHWAY SECTION M1.03.0, 2 INCHES LARGEST DIMENSION.
  2. GRAVEL BORROW TYPE A IS MASS HIGHWAY SECTION M1.03.0, 8 INCHES LARGEST DIMENSION.
  3. GRAVEL BORROW SHALL BE COMPACTED TO 95% PROCTOR DENSITY.

**TYPICAL PAVEMENT SECTION**  
N.T.S.

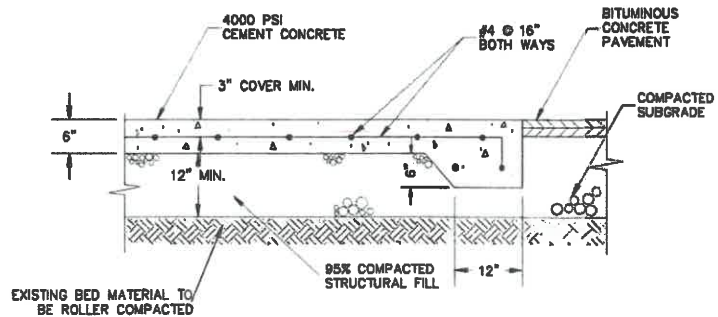


- NOTES:
1. PROVIDE EXPANSION JOINTS AT MIN. 18 FT. O.C. WITH PRE-MOLDED JOINT FILLER.
  2. PROVIDE TOOLED CONTROL JOINTS AT 4' O.C.
  3. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.

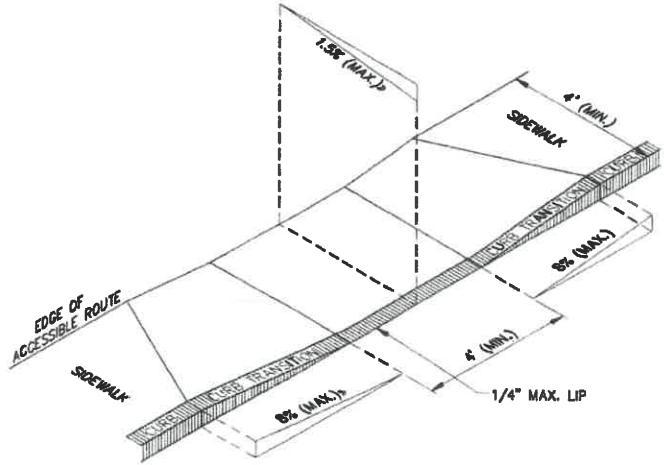
**MONOLITHIC CONCRETE SIDEWALK & CURB**  
N.T.S.



**STEEL BEAM GUARDRAIL**  
N.T.S.

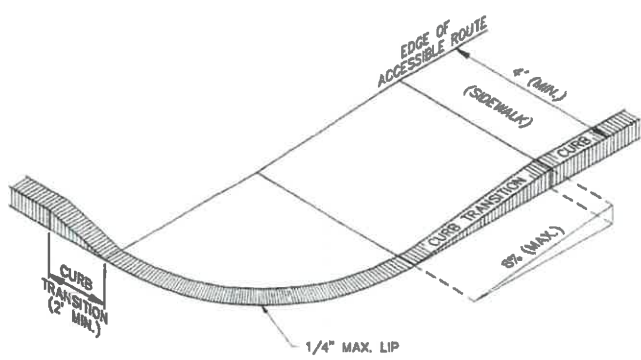


**CONCRETE DUMPSTER PAD**  
N.T.S.



- NOTES:
1. THE MAXIMUM ALLOWABLE ROUTE (SIDEWALK) AND CURB RAMP CROSS SLOPES SHALL BE 1.5%.
  2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 8%.
  3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMPS SHALL BE 8%.
  4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
  5. CURB TREATMENT VARIES. SEE PLANS FOR CURB TYPE.
  6. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
  7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
  8. ALL WHEELCHAIR RAMPS SHALL BE EQUIPPED WITH TRUNCATED DOME DETECTABLE WARNING SURFACE.

**ACCESSIBLE CURB RAMP - TYPE 'A'**  
N.T.S.



- NOTES:
1. THE MAXIMUM ALLOWABLE ROUTE (SIDEWALK) AND CURB RAMP CROSS SLOPES SHALL BE 1.5%.
  2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 8%.
  3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMPS SHALL BE 8%.
  4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
  5. CURB TREATMENT VARIES. SEE PLANS FOR CURB TYPE.
  6. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
  7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
  8. ALL WHEELCHAIR RAMPS SHALL BE EQUIPPED WITH TRUNCATED DOME DETECTABLE WARNING SURFACE.

**ACCESSIBLE CURB RAMP - TYPE 'B'**  
N.T.S.

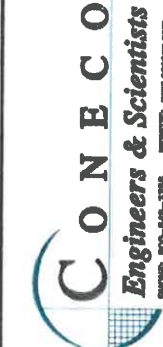
NO.	DATE	DESCRIPTION	BY/CHK

MC SHARRY BROS., INC.  
P.O. BOX 206  
ABINGTON, MA 02351

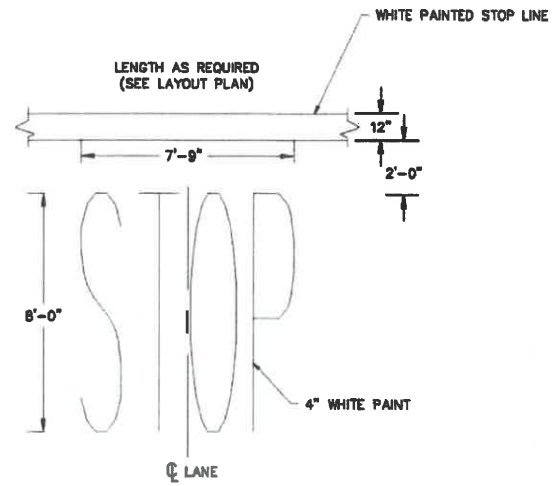
DETAILS  
SHEET 4 OF 6

NEPONSET VILLAGE  
6 PLEASANT STREET  
WALPOLE, MASSACHUSETTS 02081

MASSHOUSING PLANS

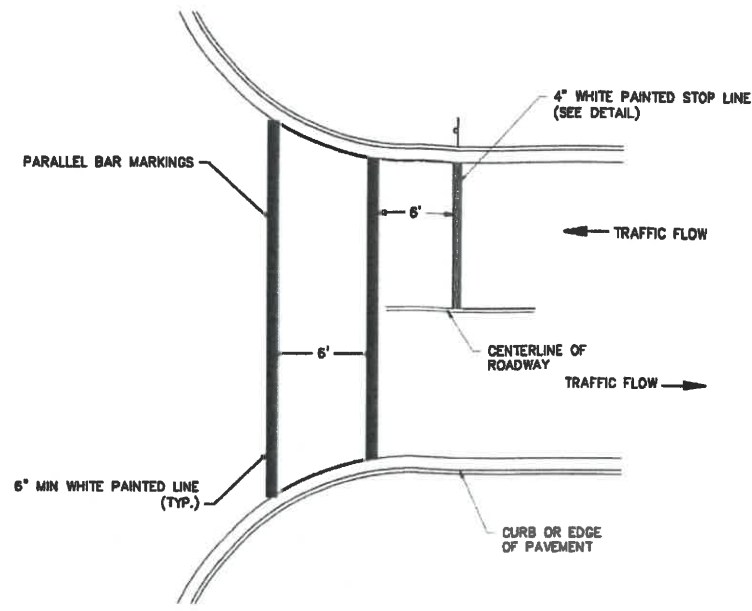


DATE:	06/02/2021
DESIGNED: MVB	CHECKED: DJD
DRAFTED: MVB	IN CHARGE: JSH
SCALE:	N.T.S.
PROJECT NO.:	10385.0
SHEET NO.:	11



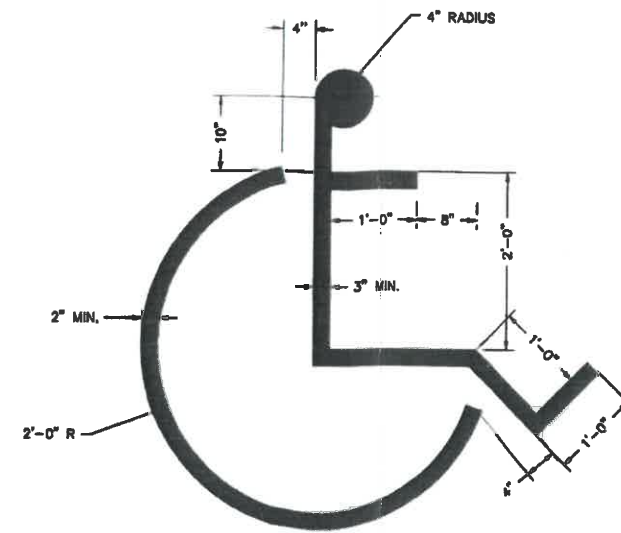
NOTE:  
PAVEMENT MARKINGS TO BE INSTALLED IN  
LOCATIONS SHOWN ON THE PLANS

**PAINTED PAVEMENT MARKINGS**  
N.T.S.



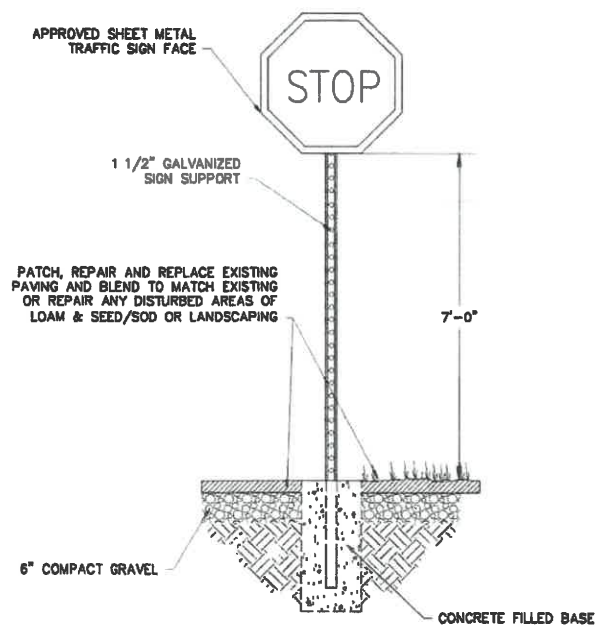
NOTE:  
PAVEMENT MARKINGS TO BE INSTALLED IN  
LOCATIONS SHOWN ON THE PLANS.

**PAINTED PAVEMENT MARKING**  
N.T.S.

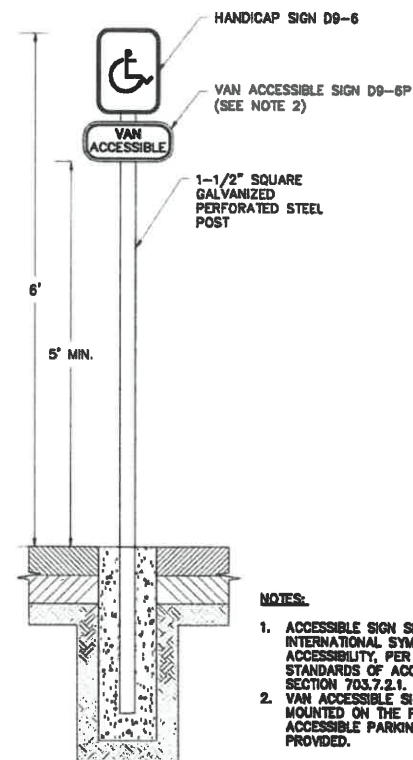


NOTE:  
1. SYMBOL SHALL BE CENTERED  
IN THE PARKING STALL.  
2. SYMBOL SHALL BE BLUE.

**ACCESSIBLE PARKING STALL SYMBOL**  
N.T.S.

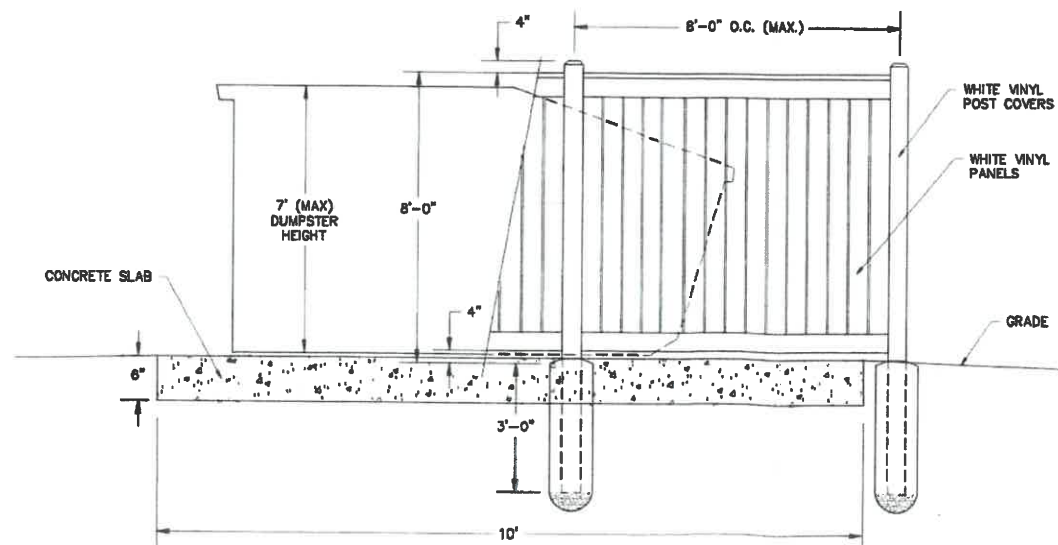


**STOP SIGN (R1-1)**  
N.T.S.



NOTES:  
1. ACCESSIBLE SIGN SHALL INCLUDE THE  
INTERNATIONAL SYMBOL OF  
ACCESSIBILITY, PER THE ADA  
STANDARDS OF ACCESSIBLE DESIGN,  
SECTION 703.7.2.1.  
2. VAN ACCESSIBLE SIGN SHALL BE  
MOUNTED ON THE POST WHERE VAN  
ACCESSIBLE PARKING SPACES ARE  
PROVIDED.

**ACCESSIBLE PARKING SIGN (D9-6)&(D9-6P)**  
N.T.S.



NOTES:  
1. ALL WOOD TO BE NO. 1 GRADE CEDAR AND FREE OF EXCESSIVE CHIPS, CRACKS, WARPS OR  
KNOTS, UNLESS NOTED OTHERWISE ON DRAWING.  
2. ALL FASTENERS TO BE HOT DIPPED GALVANIZED

**DUMPSTER ENCLOSURE**  
N.T.S.

NO.	DATE	DESCRIPTION	BY/CHK

DESIGNED BY:  
**MCSHARRY BROS., INC.**  
P.O. BOX 206  
ABINGTON, MA 02381

PROJECT NO:  
**NEPONSET VILLAGE**  
6 PLEASANT STREET  
WALPOLE, MASSACHUSETTS 02081

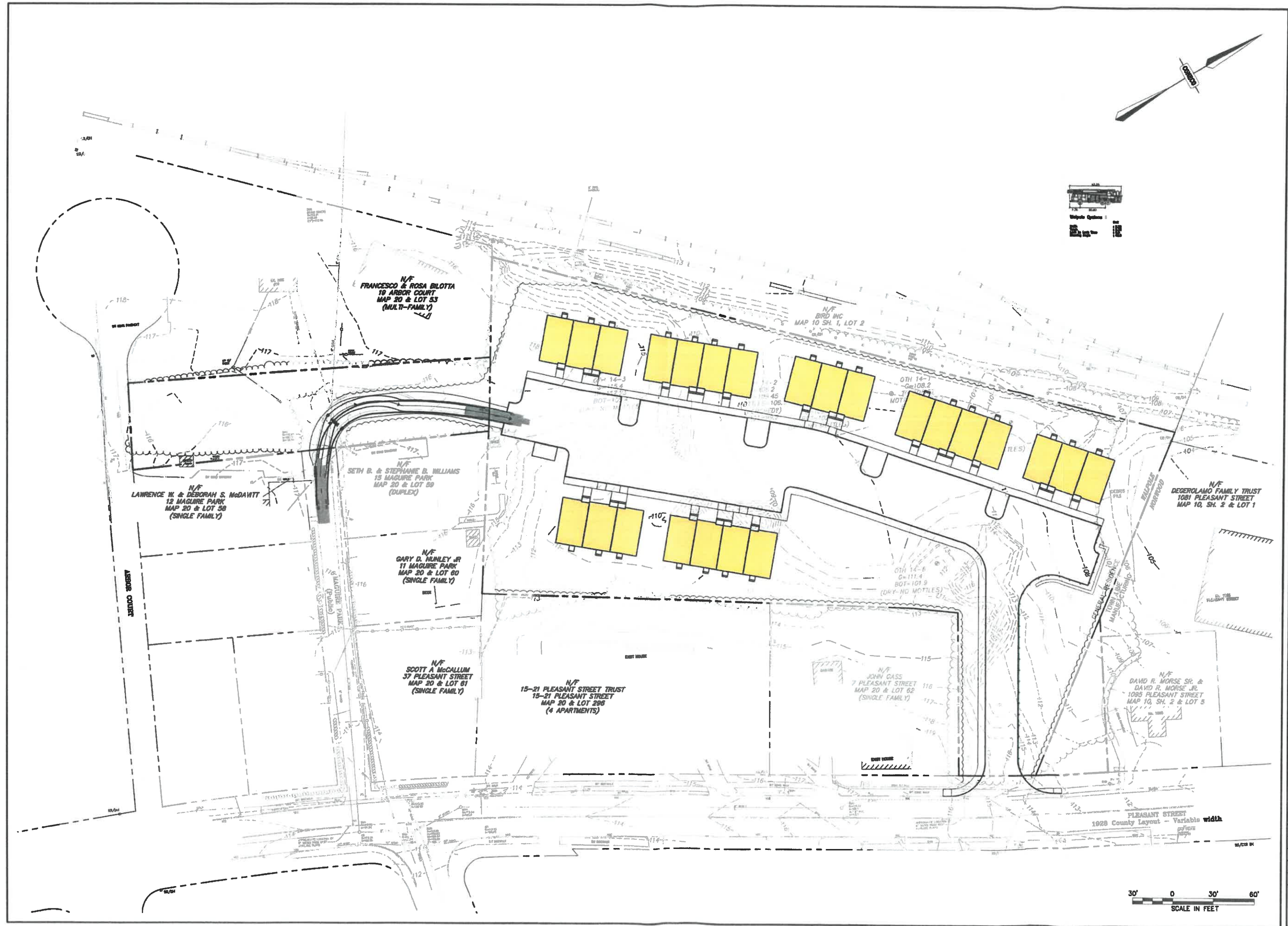
DATE: 06/02/2021  
DESIGNED: MVB CHECKED: DJD  
DRAFTED: MVB IN CHARGE: JEN  
SCALE: N.T.S.  
PROJECT NO. 10385.0  
SHEET NO. 12 OF 12

REVISIONS

DETAILS  
STREET 6 OF 6

MASSHOUSING PLANS

**CONECO**  
Engineers & Scientists  
PHONE: 800-946-3265  
WEBSITE: WWW.CONECO.COM



NO.	DATE	REVISIONS DESCRIPTION	DR/CK

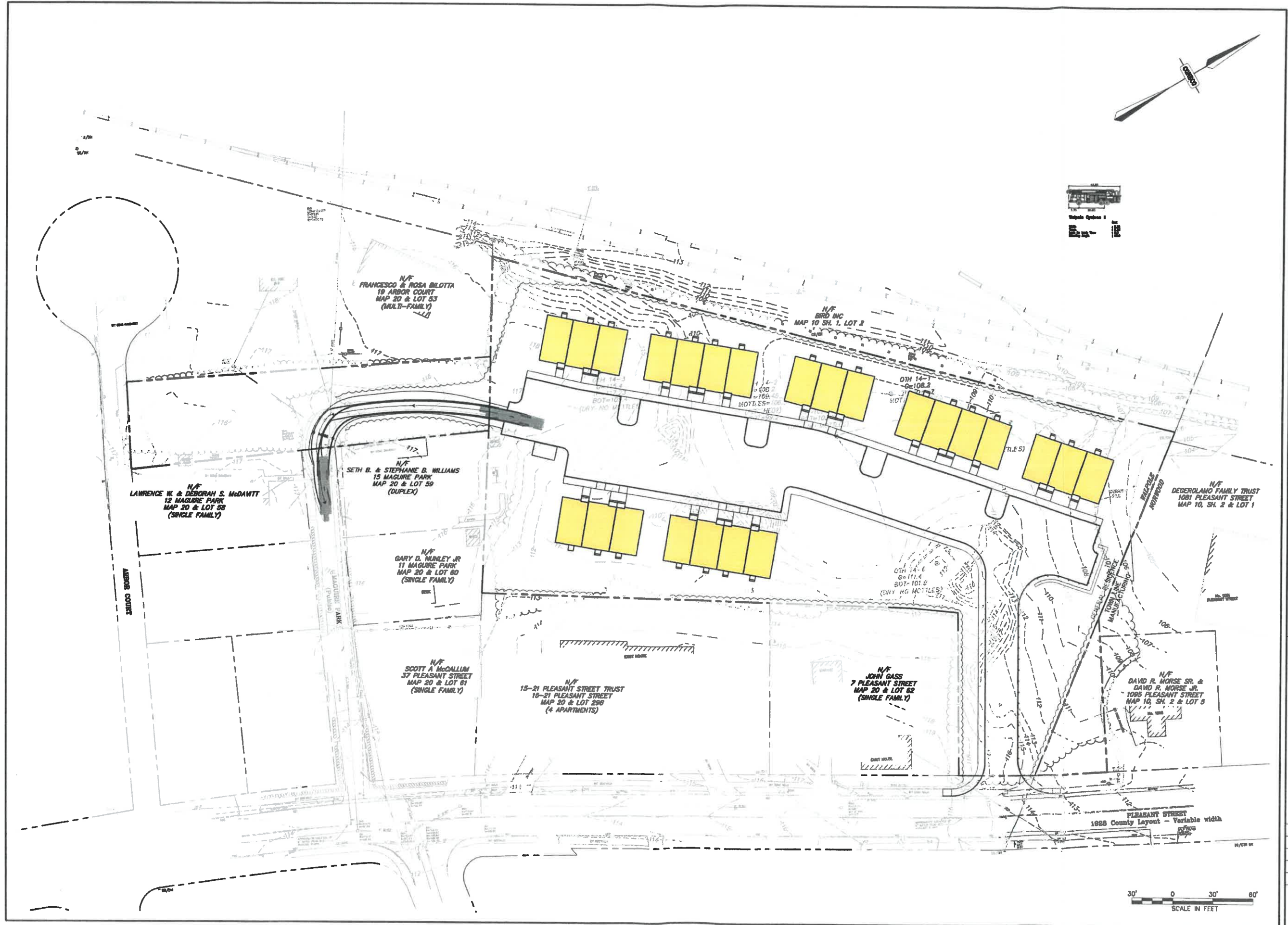
PREPARED BY: **MC SHARRY BROS., INC.**  
 P.O. BOX 206  
 ABRINGTON, MA 02861  
 PROJECT NO.: **WALPOLE TOWER TRUCK**  
 ENTERING EMERGENCY ACCESS

PROJECT: **WEPONSET VILLAGE**  
 6 PLEASANT STREET  
 WALPOLE, MASSACHUSETTS 02801  
 DRAWING NO.: **MASSHOUSING PLANS**

**CONECO**  
 Engineers & Scientists  
 PHONE: 508-548-3355 WEBSITE: www.coneco.com

DATE	08/02/2021
DESIGNED: DJD	CHECKED: JEN
DRAFTED: DJD	IN CHARGE: JEN
SCALE:	1" = 30'
PROJECT NO.	10368.0
SHEET NO.	<b>1</b>


OF 2



NO.	DATE	DESCRIPTION	BY/CR

**MCWHARREY BROS., INC.**  
 P.O. BOX 208  
 ABINGTON, MA 02651

**NEPONSET VILLAGE**  
 6 PLEASANT STREET  
 WALPOLE, MASSACHUSETTS 02081


**CONECO**  
**Engineers & Scientists**  
 PHONE: 603-946-3355    WEBSITE: www.coneco.com

DATE: 06/02/2021  
 DESIGNED: D.J.D.    CHECKED: JEN  
 DRAFTED: D.J.D.    IN CHARGE: JEN  
 SCALE: 1" = 30'  
 PROJECT NO.: 10388.0  
 SHEET NO.:

**2**  
 OF 2





NEPONSET VILLAGE  
1 PLEASANT ST, E. WALPOLE MASSACHUSETTS 02032

TRAVERSE



TYPICAL 4 UNIT BUILDING FRONT ELEVATION  
1/4" = 1'-0"



TYPICAL 4 UNIT BUILDING LEFT ELEVATION  
1/4" = 1'-0"

# Pleasant Street Townhomes

Walpole, MA 12/29/20

**The MZO GROUP**  
DESIGNERS ■ ARCHITECTS ■ PLANNERS  
IN THE *MIQUELLE* TRADITION

335 Main Street, Suite 201 ■ Stoughton, Massachusetts 02180  
Voice 781-279-4446 ■ Fax 781-279-4448 ■ E-Mail: mzo@mzogroup.com ■ www.mzogroup.com

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F.G. INSULATED DOOR AND SIDELITE  
**TYPICAL 4 UNIT BUILDING REAR ELEVATION**  
 1/4" = 1'-0"



**TYPICAL 4 UNIT BUILDING RIGHT ELEVATION**  
 1/4" = 1'-0"

# Pleasant Street Townhomes

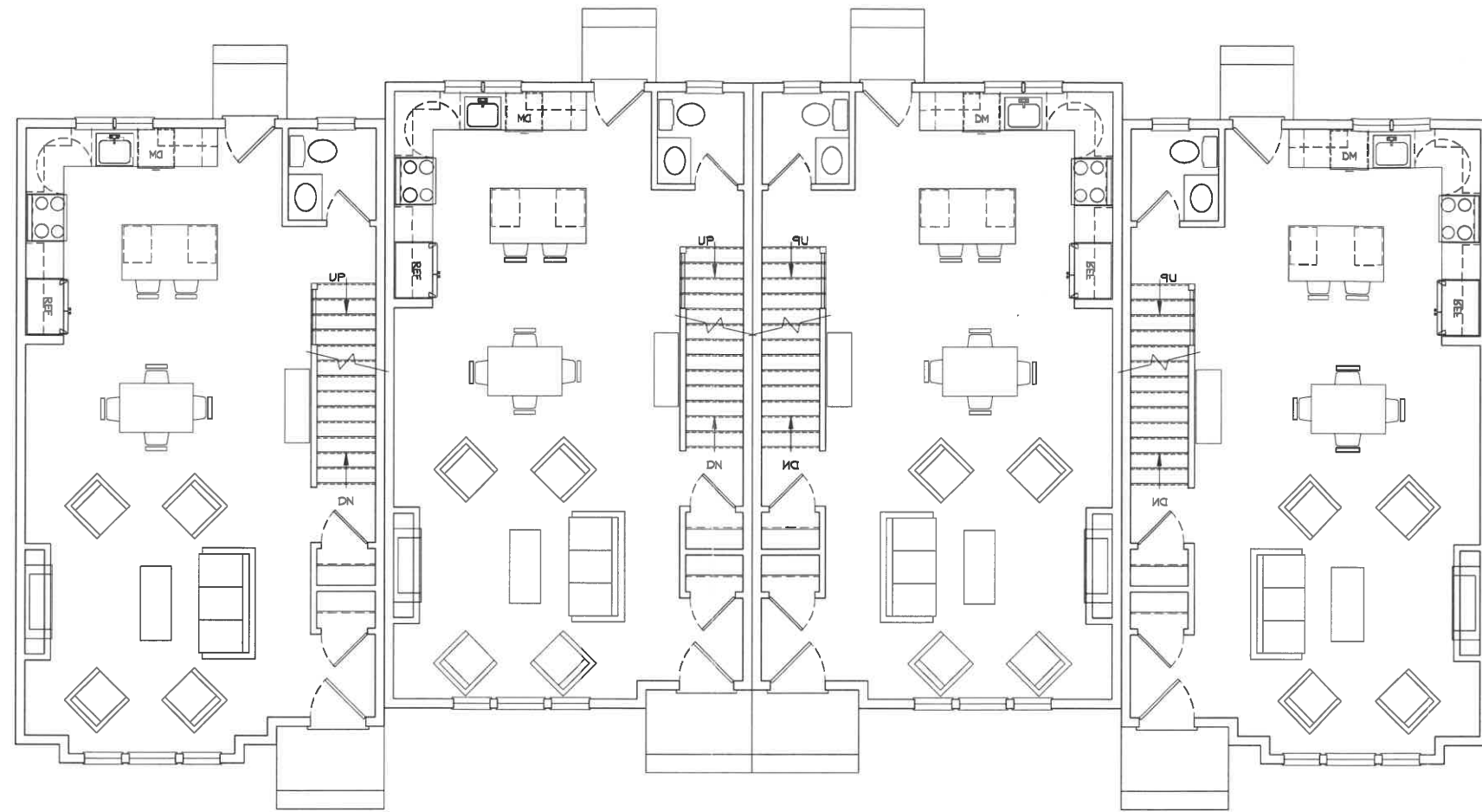
Walpole, MA 12/29/20

**The MZO GROUP**  
 DESIGNERS ■ ARCHITECTS ■ PLANNERS  
 IN THE *MIQUELLE* TRADITION

355 Main Street, Suite 201 ■ Stoughton, Massachusetts 02180  
 Voice: 781-279-4446 ■ Fax: 781-279-4448 ■ E-Mail: mzo@mzogroup.com ■ www.mzogroup.com

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 ARCHITECTURAL GROUP, INC.





4 UNIT BUILDING FIRST FLOOR PLAN  
 1/4" = 1'-0"

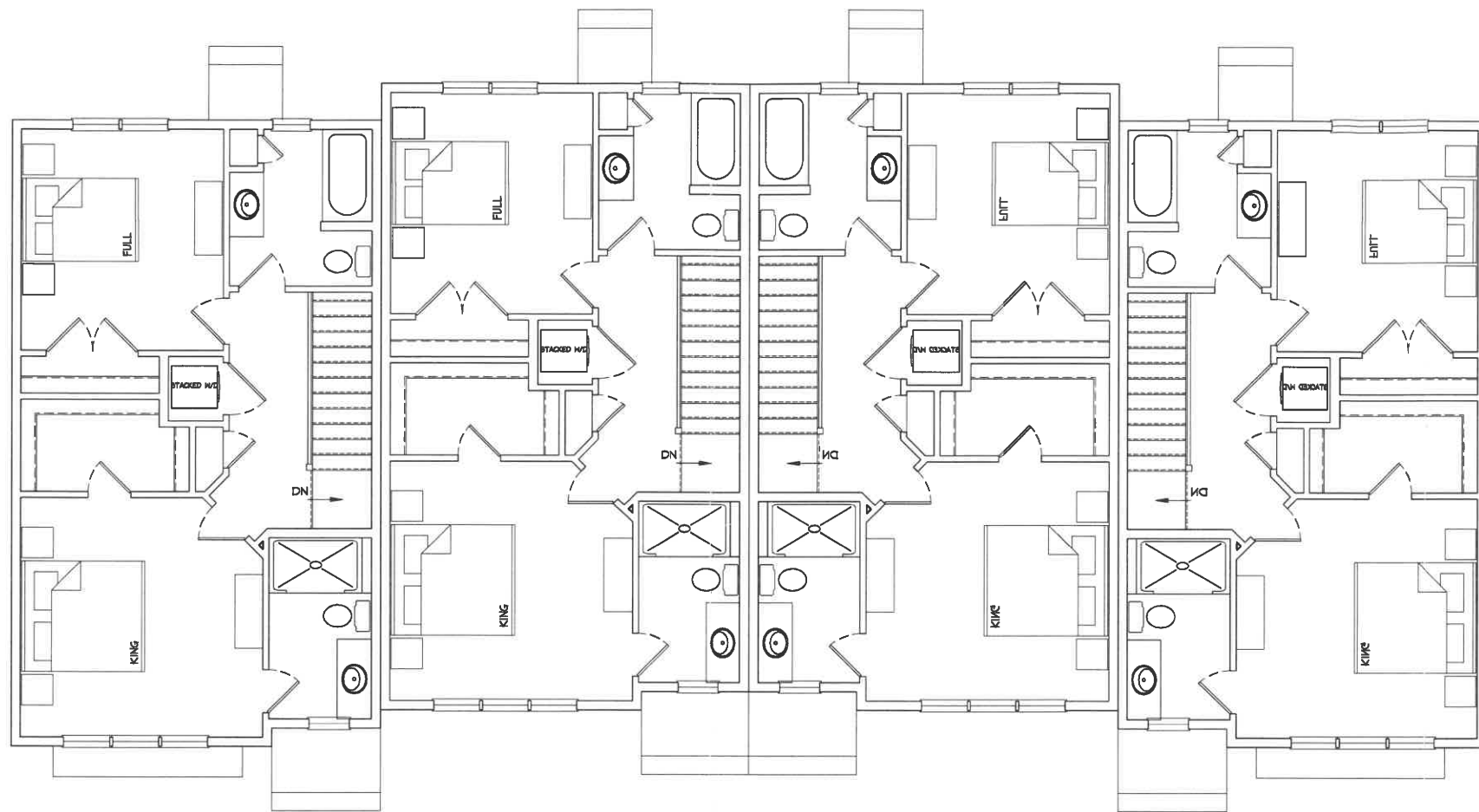
# Pleasant Street Townhomes

Walpole, MA 03-06-20

**The MZO GROUP**  
 DESIGNERS ■ ARCHITECTS ■ PLANNERS  
 IN THE *MIQUELLE* TRADITION

335 Main Street, Suite 201 ■ Stoughton, Massachusetts 02180  
 Voice 781-279-4446 ■ Fax 781-279-4448 ■ E-Mail: mzo@mzogroup.com ■ www.mzogroup.com

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4 UNIT BUILDING SECOND FLOOR PLAN  
 1/4" = 1'-0"

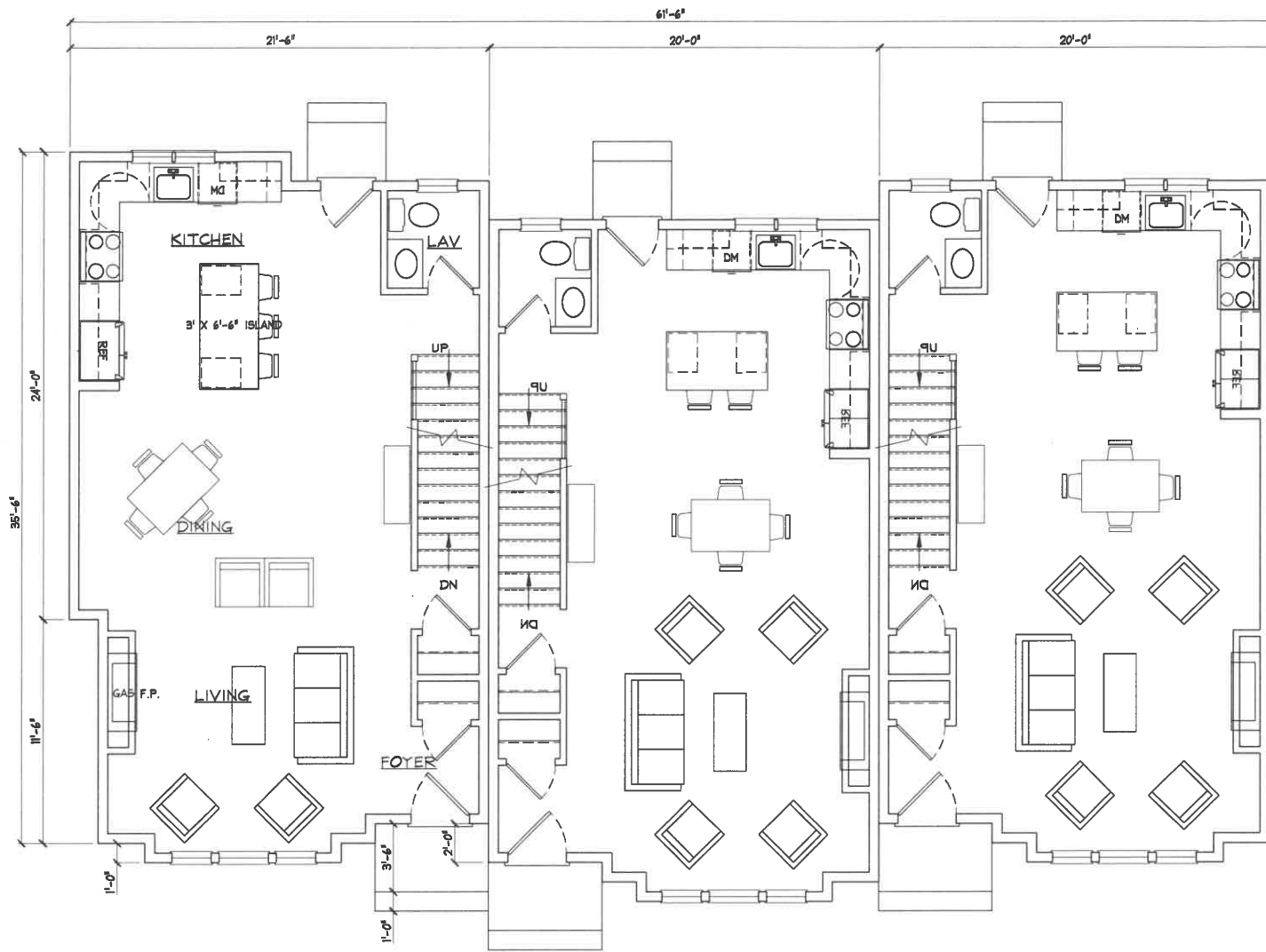
# Pleasant Street Townhomes

Walpole, MA 03-06-20

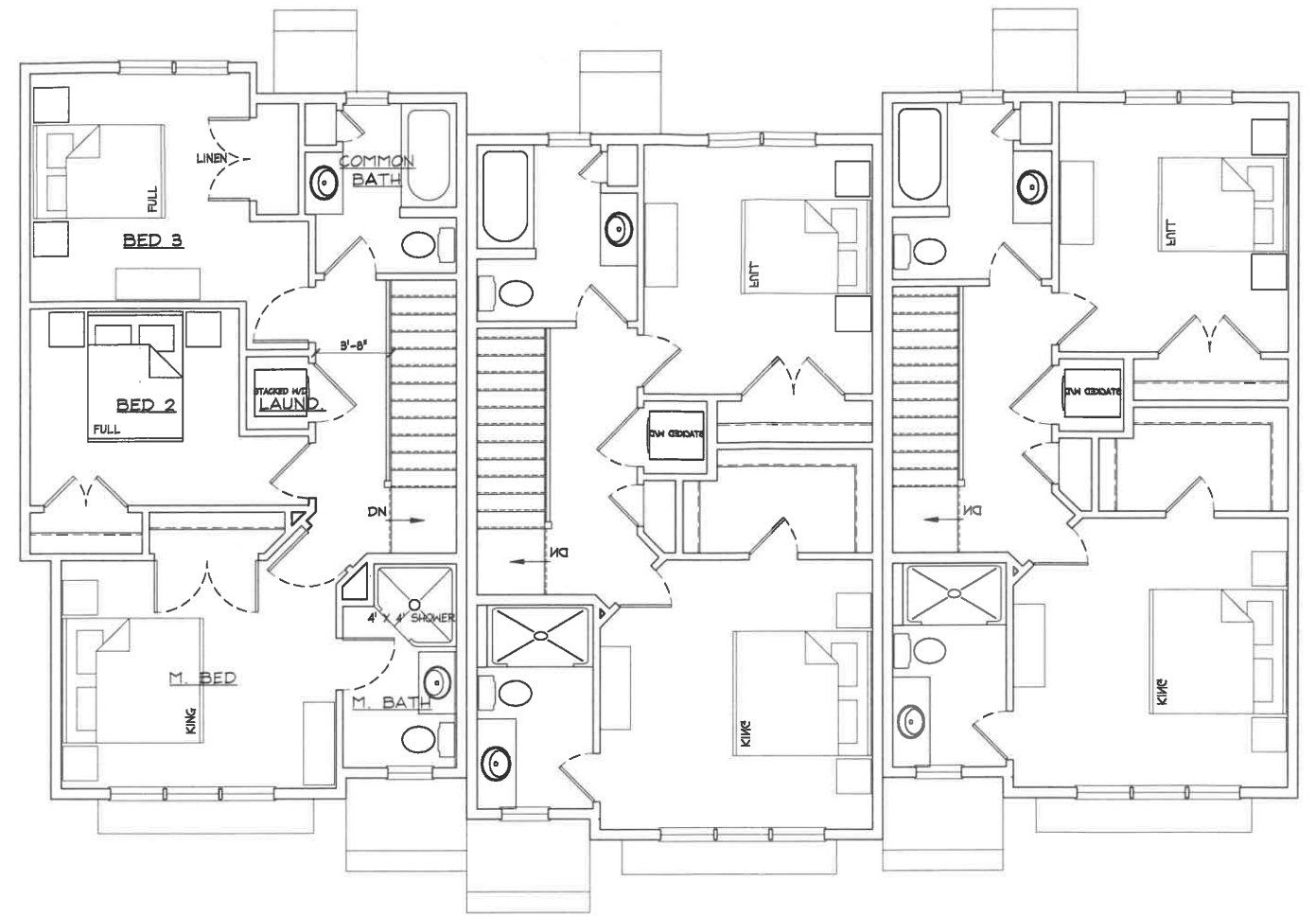
**The MZO GROUP**  
 DESIGNERS ■ ARCHITECTS ■ PLANNERS  
 IN THE *MIQUELLE* TRADITION

355 Main Street, Suite 201 ■ Stoughton, Massachusetts 02180  
 Voice 781-279-4446 ■ Fax 781-279-4448 ■ E-Mail: mzo@mzogroup.com ■ www.mzogroup.com

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TYPICAL 3 UNIT BUILDING WITH 3 BED UNIT FIRST FLOOR PLAN  
 1/4" = 1'-0"



TYPICAL 3 UNIT BUILDING WITH 3 BED UNIT SECOND FLOOR PLAN  
 1/4" = 1'-0"

# Pleasant Street Townhomes

Walpole, MA 08/30/21

**The MZO GROUP**  
 DESIGNERS ■ ARCHITECTS ■ PLANNERS  
 IN THE *Miquele* TRADITION

335 Main Street, Suite 201 ■ Southam, Massachusetts 02180  
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 ARCHITECTURAL GROUP, INC.

## **Design Narrative**

The Neponset Village site plan and architectural design is the culmination of discussions with our civil, landscape architectural and architectural team members, as well as preliminary discussions with the Town of Walpole.

Four (4) triple and three (3) quadruple colonial style townhome buildings, all 2-story with surface parking, with pitched roofs have been placed on the site so that 17 of the units are located at the far rear of the site. The homes are approximately 280 feet from the entrance, abutting the railroad line. The remaining 7 units are on the front side of the site, to the rear of the existing multi-family building on Pleasant Street. To create more useable green space in the gazebo area the landscape architects and civil engineers have designed the stormwater to be below ground. There is one detention pond near the entrance, abutting the Norwood commercial/industrial zone.

The buildings will utilize earth tone colors, a variety of exterior materials and white trim. Multiple colors will be selected to create textural interest and multiple building jogs have been incorporated to break up the building lengths and provide visual interest.

SECTION	DESCRIPTION	WAIVER	NOTES
Town of Walpole Zoning Bylaw Section 2.2.A	Special Permits	Waive all provisions	The Applicant will submit all relevant materials and the Board will make its Decision in accordance with its Comprehensive Permit Rules and Regulations.
Table 5-B.1 3. Residential: d i, - iii	<p>Dwelling for occupancy by more than three (3) families provided that;</p> <ul style="list-style-type: none"> <li>i. such dwelling is connected or is to be connected with the public sewer system at the time of construction;</li> <li>ii. such dwelling is located on a lot having an area of at least thirty thousand (30,000) square feet with an additional ten thousand (10,000) square feet for each dwelling unit in excess of three (3) to be accommodated;</li> <li>dwelling or is a vacant lot;</li> <li>iii. a fifty (50) foot buffer zone shall be required where the adjacent lot has a single family</li> <li>iiii. if there is to be more than one (1) principle building on a lot, there shall be minimum of 10,000 square feet of lot area per</li> </ul>	<p>Waiver of Special Permit</p> <p>Waiver of 10,000 s.f. per unit, and waiver of 50 ft. buffer.</p>	<p>The Applicant will provide all information as part of the Comprehensive Permit, which will control this matter in lieu of a Special Permit.</p> <p>The plan shows 24 units on 121,579 +/- s.f. and a driveway, landscaped common area and units in the fifty-foot buffer.</p>

SECTION	DESCRIPTION	WAIVER	NOTES
Section 5-D.3.E.	<p>dwelling unit, regardless of how many buildings are on the lot or how many units are in a building.</p> <p>Activities approved as part of any Site Plan Review Process.</p>	Requirement for Site Plan Review.	The Applicant will submit all materials otherwise required for Site Plan Review as part of the Comprehensive Permit. Accordingly, these activities should be allowed as part of the Comprehensive Permit instead of Site Plan Review.
Section 6-B-1	In all districts no building shall be constructed on any part of a lot which does not have an area in which a circle, the diameter of which is not less than 80% of the minimum required lot frontage, tangent to the exterior street line from which the required frontage and minimum setback are derived and within all other lot lines, may be located.	Request Waiver to construct the Project as shown on the plans. If necessary.	Town Counsel has previously given an opinion that the land in Norwood may be used to satisfy frontage and circle requirements as long as the same is not used in any way. If there is a change to this opinion this waiver would be required.
Section 6-B-1. A	In all districts no building shall be constructed on a lot having less than the required lot frontage.	Request Waiver to allow frontage of 56.88 feet, if necessary.	Town Counsel has previously given an opinion that the land in Norwood may be used to satisfy frontage and circle requirements as long as the same is not used in

SECTION	DESCRIPTION	WAIVER	NOTES
Table 6-B.1 and Section 6-C.3.A	Required Lot Frontage for a lot in the General Residence Zone.	Lot frontage required in GR zone is 100 feet. Request waiver to allow creation of a lot with 56.88 feet, if necessary.	any way. If there is a change to this opinion this waiver would be required. Town Counsel has previously given an opinion that the land in Norwood may be used to satisfy frontage and circle requirements as long as the same is not used in any way. If there is a change to this opinion this waiver would be required.
Table 6-B.1.	Required Minimum Rear Yard Setback for a lot in the General Residence Zone.	Rear yard setback requirement is thirty (30) feet. Request waiver to allow rear yard setback as shown on the attached setback plan.	Buildings are set within 16.6 ft. of the railroad where a 30 ft. rear setback is required.
6-C.4.B.	Number of Buildings per lot. In General Residence (GR) Districts, the Board of Appeals may by Special Permit allow more than one principal building on a lot	Waiver of Special Permit	A waiver is requested as there will be more than one building per lot and there are dimensional waivers required. The Applicant will provide all necessary information in accordance with the Comprehensive Permit Rules and Regulations and standards for the issuance thereof.
Section 6-C-11	Projections (roof, eave, chimney or cornice) - no more than 18 inches into setbacks.	Buildings as shown on the plan are within the setback, if needed.	

SECTION	DESCRIPTION	WAIVER	NOTES
Section 13	Uncovered/Unenclosed (porches, decks, platforms, landings or stoops) which are part of egress shall not encroach more than 48 inches into setbacks. Uncovered steps that are part of any required egress shall not come within five (5) feet of any lot line. Site Plan Review.	Waiver of Site Plan Review.	The Board will be acting in the capacity of the Planning Board and Site Plan Approval is part of the Comprehensive Permit.
Section 7.c	One (1) free standing sign.	One identification sign as shown on the plan.	
<b>Stormwater Management &amp; Erosion Control Bylaw</b>			
Land Disturbance Permit	Land disturbance of greater than 40,000 square feet, associated with construction or reconstruction of structures.	Waiver of Land Disturbance Permit.	The Board will be acting in the capacity of the Conservation Commission and will receive all materials associated with a Land Disturbance Permit as part of the Comprehensive Permit.



## SUSTAINABLE DEVELOPMENT CRITERIA SCORECARD

Project Name: Neponset Village  
Project Number: _____  
Program Name: _____  
Date: _____

MassHousing encourages housing development that is consistent with sustainable development designs and green building practices. Prior to completing this form, please refer to the Commonwealth's Sustainable Development Principles (adopted May 2007) available at: [Sustainable Development Principles](#)

### DEVELOPER SELF-ASSESSMENT

(for consistency with the Sustainable Development Principles)

#### Redevelop First

Check "X" below if applicable

*If Rehabilitation:*

- Rehabilitation/Redevelopment/Improvements to Structure
- Rehabilitation/Redevelopment/Improvements to Infrastructure

*If New Construction:*

- Contributes to revitalization of town center or neighborhood
- Walkable to: 
  - (a) transit
  - (b) downtown or village center
  - (c) school
  - (d) library
  - (e) retail, services or employment center
- Located in municipally-approved growth center

Explanation (Required)

**Optional – Demonstration of Municipal Support:**

Check "X" below if applicable

- Letter of Support from the Chief Elected Official of the municipality*
- Housing development involves municipal funding
- Housing development involves land owned or donated by the municipality

**Other acceptable evidence: Zoning variance issued by ZBA for project; Minutes from Board of Selectman meeting showing that project was discussed and approved, etc.*

**Explanation (Required)**

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**Method 2:** Development meets a minimum of **five (5)** of the Commonwealth's *Sustainable Development Principles*, as shown in the next section below.

If the development involves strong **municipal support** (evidence of such support must be submitted as an attachment), the development need only meet **four (4)** of the *Sustainable Development Principles*. However, one (1) of the Principles met must be **Protect Land and Ecosystems**.

Please explain at the end of each category how the development follows the relevant *Sustainable Development Principle(s)* and explain how the development demonstrates each of the checked "X" statements listed under the *Sustainable Development Principle(s)*.

**(1) Concentrate Development and Mix Uses**

Support the revitalization of city and town centers and neighborhoods by promoting development that is compact, conserves land, protects historic resources, and integrates uses. Encourage remediation and reuse of existing sites, structures, and infrastructure rather than new construction in undeveloped areas. Create pedestrian friendly districts and neighborhoods that mix commercial, civic, cultural, educational, and recreational activities with open spaces and homes.

Check "X" below if applicable

- Higher density than surrounding area
- Mixes uses or adds new uses to an existing neighborhood
- Includes multi-family housing
- Utilizes existing water/sewer infrastructure
- Compact and/or clustered so as to preserve undeveloped land
- Reuse existing sites, structures, or infrastructure
- Pedestrian friendly
- Other (discuss below)

**Explanation (Required)**

Development is located in Walpole directly abutting the Town of Norwood commercial/industrial district. The Walpole side is all residential with sidewalks. The rear abutter is Hollingsworth & Vose, a large manufacturer. Area consists of mostly single family with a 6 unit apartment development directly in front the proposed development.

## (2) Advance Equity & Make Efficient Decisions

Promote equitable sharing of the benefits and burdens of development. Provide technical and strategic support for inclusive community planning and decision making to ensure social, economic, and environmental justice. Ensure that the interests of future generations are not compromised by today's decisions.

Promote development in accordance with smart growth and environmental stewardship.

*Check "X" below if applicable*

- Concerted public participation effort (beyond the minimally required public hearings)
- Streamlined permitting process, such as 40B or 40R
- Universal Design and/or visitability
- Creates affordable housing in middle to upper income area and/or meets regional need
- Creates affordable housing in high poverty area
- Promotes diversity and social equity and improves the neighborhood
- Includes environmental cleanup and/or neighborhood improvement in an Environmental Justice Community
- Other (discuss below)

### Explanation (Required)

As a 40(b) project the development will contain 25% affordable units (80% of the HUD median income). As well, the market rate units will be 2 bedroom and will likely sell at a price point less than the surrounding single family housing units.

## (3) Protect Land and Ecosystems

Protect and restore environmentally sensitive lands, natural resources, agricultural lands, critical habitats, wetlands and water resources, and cultural and historic landscapes. Increase the quantity, quality and accessibility of open spaces and recreational opportunities.

*Check "X" below if applicable*

- Creation or preservation of open space or passive recreational facilities
- Protection of sensitive land, including prime agricultural land, critical habitats, and wetlands
- Environmental remediation or clean up
- Responds to state or federal mandate (e.g., clean drinking water, drainage, etc.)
- Eliminates or reduces neighborhood blight
- Addresses public health and safety risk
- Cultural or Historic landscape/existing neighborhood enhancement
- Other (discuss below)

**Explanation (Required)**

**(4) Use Natural Resources Wisely**

Construct and promote developments, buildings, and infrastructure that conserve natural resources by reducing waste and pollution through efficient use of land, energy, water and materials.

Check "X" below *if applicable*

- Uses alternative technologies for water and/or wastewater treatment
- Uses low impact development (LID) or other innovative techniques
- Other (discuss below)

**Explanation (Required)**

Site stormwater technologies include Stormceptor units, subsurface storage for better aesthetics.

**(5) Expand Housing Opportunities**

Support the construction and rehabilitation of homes to meet the needs of people of all abilities, income levels and household types. Build homes near jobs, transit, and where services are available. Foster the development of housing, particularly multifamily and single-family homes, in a way that is compatible with a community's character and vision and with providing new housing choices for people of all means.

Check "X" below *if applicable*

- Includes rental units, including for low/mod households
- Includes homeownership units, including for low/mod households
- Includes housing options for special needs and disabled population
- Expands the term of affordability
- Homes are near jobs, transit and other services
- Other (discuss below)

**Explanation (Required)**

Development includes 25% affordable units. Site is less than a mile to the Route 1 corridor and a multitude of shops, restaurants and commercial businesses.

**(6) Provide Transportation Choice**

Maintain and expand transportation options that maximize mobility, reduce congestion, conserve fuel and improve air quality. Prioritize rail, bus, boat, rapid and surface transit, shared-vehicle and shared-ride services, bicycling and walking. Invest strategically in existing and new passenger and freight transportation infrastructure that supports sound economic development consistent with smart growth objectives.

*Check "X" below if applicable*

- Walkable to public transportation
- Reduces dependence on private automobiles (e.g., provides previously unavailable shared transportation, such as Zip Car or shuttle buses)
- Increased bike and ped access
- For rural areas, located in close proximity (i.e., approximately one mile) to a transportation corridor that provides access to employment centers, retail/commercial centers, civic or cultural destinations
- Other (discuss below)

**Explanation (Required)**

Site is less than a mile to Route 1, Norwood, MA.

**(7) Increase Job and Business Opportunities**

Attract businesses and jobs to locations near housing, infrastructure, and transportation options. Promote economic development in industry clusters. Expand access to education, training and entrepreneurial opportunities. Support growth of local businesses, including sustainable natural resource-based businesses, such as agriculture, forestry, clean energy technology and fisheries.

*Check "X" below if applicable*

- Permanent jobs
- Permanent jobs for low- or moderate-income persons
- Jobs near housing, service or transit
- Housing near an employment center
- Expand access to education, training or entrepreneurial opportunities
- Support local businesses
- Support natural resource-based businesses (i.e., farming, forestry or aquaculture)
- Re-uses or recycles materials from a local or regional industry's waste stream
- Support manufacture of resource-efficient materials, such as recycled or low-toxicity materials
- Support businesses that utilize locally produced resources such as locally harvested wood or agricultural products
- Other (discuss below)

**Explanation (Required)**

Development is close to Main Street, Walpole and the Route 1 corridor in Norwood.

**(8) Promote Clean Energy**

Maximize energy efficiency and renewable energy opportunities. Support energy conservation strategies, local clean power generation, distributed generation technologies, and innovative industries. Reduce greenhouse gas emissions and consumption of fossil fuels.

*Check "X" below if applicable*

- Energy Star or equivalent*
- Uses renewable energy source, recycled and/or non-/low-toxic materials, exceeds the state energy code, is configured to optimize solar access, and/or otherwise results in waste reduction and conservation of resources
- Other (discuss below)

*All units are required by MassHousing to be Energy Star Efficient. Please include in your explanation a description of how the development will meet Energy Star criteria.

**Explanation (Required)**

New construction will include Energy Star rated windows, building envelope efficiency including framing techniques and 100% foam insulation, on-demand hot water heaters, high efficiency appliances.

**(9) Plan Regionally**

Support the development and implementation of local and regional, state and interstate plans that have broad public support and are consistent with these principles. Foster development projects, land and water conservation, transportation and housing that have a regional or multi-community benefit. Consider the long term costs and benefits to the Commonwealth.

*Check "X" below if applicable*

- Consistent with a municipally supported regional plan
- Addresses barriers identified in a Regional Analysis of Impediments to Fair Housing
- Measurable public benefit beyond the applicant community
- Other (discuss below)

**Explanation (Required)**

Public benefit includes both affordable and modestly priced market rate homes.

*For further information regarding 40B applications, please contact Greg Watson, Manager, Comprehensive Permit Programs, at (617) 854.1880 or gwatson@masshousing.com*

**SITE CONTROL**

General Site Project Site Control Financial Qualifications & Certification Notifications & Fees

Contacts

Site Approval Application/Homeownership

Neponset Village LLC

Site Control

Submit

Print

Site Control

Attachments

Upload

Attachment:

4.1 Evidence of Site Control



Choose File

No file chosen

Upload

Uploaded Attachments

4.1 Evidence of Site Control Deed.pdf

Delete

4.1 Evidence of Site Control Neponset Village LLC P&S August 2021.pdf

Delete

4.1 Evidence of Site Control (required):

Copies of all applicable, fully executed documents (deed, ground lease, purchase and sale agreement, option agreement, land disposition agreement, agreements to purchase easements) showing evidence of site control, including any required easements, along with copies of all amendments and extensions. Copies of all plans referenced in documents must be included.



RECEIVED AND RECORDED  
NORFOLK COUNTY  
REGISTRY OF DEEDS  
DEDHAM, MA  
OFFICE  
C O F F I C E  
WILLIAM P. O'BONNELL, REGISTER

Bk 36191 Pg 361 #67301  
08-01-2018 @ 02:52p  
N O T  
MASSACHUSETTS STATE EXCISE TAX  
Norfolk Registry of Deeds  
Date: 08-01-2018 @ 02:52pm  
City: 1379 Doc#: 67301  
Fee: \$2,052.00 Const: \$450,000.00

## QUITCLAIM DEED

We, **Susan LaCivita**, as Trustee and **Philip P. LaCivita**, as successor Trustee of the **Pleasant Street Realty Trust**, u/d/t dated December 16, 2000 recorded with Norfolk County Registry of Deeds at Book 18356, Page 583, and as Co-Personal Representatives of the Estate of **Walter P. LaCivita**, Norfolk Probate and Family Court – Docket No. NO09P0716EP, and as Trustees of **The Walter P. LaCivita Revocable Trust**, of Norwood and Walpole, Norfolk County, Massachusetts, respectively,

for consideration paid, in the amount of Four Hundred Fifty Thousand and 00/100 (\$450,000.00) Dollars

grant to **McSharry Bros., Inc.**, a duly organized Massachusetts corporation having a principal place of business at 7 Leah Drive, Rockland, Plymouth County, Massachusetts 02370

*with Quitclaim Covenants*

### Parcel 1.

A certain parcel of land situated in Walpole and Norwood, being that parcel of land in Walpole, containing 2 acres 15,680 square feet, more or less, and also 3,000 square feet, more or less in Norwood, shown on a Plan of Land in Norwood and Walpole, Mass., Norwood Engineering Co., Arnold L. Schaier, C.E. Dec. 9, 1954, filed with Norfolk Registry of Deeds as Plan No. 902 of 1956, Book 3487, Page 496, being more particularly bounded and described according to said plan as follows:

SOUTHEASTERLY by Pleasant Street, in two distances, 53.12 feet, more or less, and 56.88 feet, more or less, respectively;

SOUTHWESTERLY by land of Patrick J. Reardon, 119.90 feet;

SOUTHEASTERLY by land of said Reardon, in two courses, 32.10 feet and 317.49 feet, respectively;

**PROPERTY ADDRESS:** Pleasant Street, East Walpole & Norwood, MA  
and 28 Maguire Park, East Walpole, MA

N O T N O T  
A N A N  
O F F I C I A L O F F I C I A L  
SOUTHWESTERLY by land of Costello, Verrochi, Costello and LaCivita, in two courses, 134.43 feet and 112.86 feet, respectively;

NORTHWESTERLY by land of Old Colony Railroad Co., in two distances, 443.96 feet and 73.53 feet, respectively;

NORTHEASTERLY by land of said Railroad, 7.05 feet;

NORTHEASTERLY by remaining land shown on the above-mentioned plan, in two distances, 141.45 feet and 12.89 feet, respectively; and,

NORTHEASTERLY by land shown as Robert U. & Olive M. Thomas, 100.00 feet.

**Parcel 2.**

The land in Walpole, known as East Walpole and situated northerly and westerly off Pleasant Street, East Walpole, bounded and described as follows:

Beginning at a corner of the granted premises and thence N. 41-00E on land of Joseph LaCivita, 267.05 feet to a stake on the fence at land of Walter S. Bagley; thence S. 42-53-30E on Walter S. Bagley's land, 54.39 feet to a stake situated 3.62 feet from a corner of a barn; thence S. 38-52W, 261.19 feet on land of heirs of Thomas Maguire to a stake; thence N. 49-14W, 63.80 feet to point of beginning, containing 15,615 square feet, more or less. With the right to travel over a piece of land 15 feet wide in common with adjoining owners.

Meaning and intending hereby to convey all of Lot 123-4 as shown on Plan D1 of the Assessor's Plans for the Town of Walpole on file in the Assessor's Office and also as received with the Norfolk Registry of Deeds.

Grantors hereby release all rights of homestead, if any, and state under the penalties of perjury that there are no persons entitled to any benefits of homestead.

For title for Parcel 1 see deed from Walter P. LaCivita to Susan LaCivita and Walter P. LaCivita, Co-Trustees of Pleasant Street Realty Trust u/d/t dated December 16, 2000, which deed was recorded on March 4, 2003 at Norfolk Deeds at Book 18356, Page 590. For title for Parcel 2 see deed recorded at Norfolk Deeds at Book 7341, Page 114 and the Estate of Walter P. LaCivita, Probate and Family Court, Norfolk Division Docket No. 09P0716EP and The Walter P. LaCivita Revocable Trust. A copy of the death certificate for Walter P. LaCivita is recorded at Norfolk Deeds at Book 30128, Page 166.

[SIGNATURE PAGE TO FOLLOW]

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Executed as a sealed instrument this 31st day of July, 2018.

**PLEASANT STREET REALTY TRUST,  
ESTATE OF WALTER P. LaCIVITA, and  
THE WALTER P. LaCIVITA REVOCABLE TRUST**



Susan LaCivita, as Trustee and Co-Personal Representative



Philip P. LaCivita, as Trustee and Co-Personal Representative

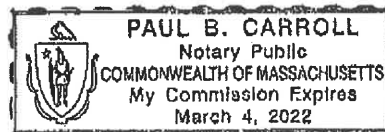
COMMONWEALTH OF MASSACHUSETTS

Norfolk, ss

On this 31st day of July 2018, before me, the undersigned notary public, personally appeared the above-named **Susan LaCivita** and **Philip P. LaCivita**, as Trustees and Co-Personal Representatives, aforesaid, and proved to me through satisfactory evidence of identification, which were a Massachusetts Driver's Licenses to be the persons whose names are signed on the preceding or attached document, and acknowledged to me that they signed it voluntarily for its stated purpose.



Paul B. Carroll - Notary Public  
My commission expires: 3/4/22



## PURCHASE and SALE AGREEMENT

Agreement is made this 23rd day of August, 2021, by and between the below named parties as follows:

1. **PARTIES.** **McSharry Bros, Inc.**, a Massachusetts Corporation duly organized and existing under the laws of the Commonwealth of Massachusetts and having a principal office address of 7 Leah Drive, Rockland, MA 02370, hereinafter referred to as “SELLER,” agrees to SELL, and **NEPONSET VILLAGE, LLC**, a duly organized Limited Liability Company organized and existing under the laws of the Commonwealth of Massachusetts and having a principal office address of 4 First Street, Bridgewater, MA 02324, hereinafter referred to as “BUYER,” agrees to BUY, upon the terms and conditions herein set forth, the following described premises.
2. **DESCRIPTION OF PREMISES.** The land and any other remnants, along with any and all other improvements thereon, comprised of Walpole Assessors’ Parcel Identification Numbers: 20-54 and 20-63; and Norwood Assessor’s Parcel Identification Number: 10-2-2, together consisting of approximately 2.79 acres know as and numbered as Vacant Land Off Pleasant Street. The Premises are more particularly described as Parcel 1 and Parcel 2 in a Deed recorded at the Norfolk County Registry of Deeds Book 36191, 361. Note: the lots also have frontage on Arbor Court and Maguire Park in Walpole. Regardless of how otherwise bounded or described, the intent of the parties is that SELLER desires and agrees to sell, and BUYER desires and agrees to purchase, all of the land owned by SELLER on or off Pleasant Street in Walpole and Norwood, Norfolk County, Massachusetts, as of the date of this Agreement (the “Premises”).
3. **APPURTENANT RIGHTS.** Included in the sale as part of the Premises are all rights, privileges and easements appertaining to and benefiting the Premises, including, without limitation, gravel, rock, and other mineral rights, and any and all right, title and interest of SELLER in and to any adjacent parcels of land, streets, roadways, cart paths, and rights of way, as well as SELLER’s interest, if any, in and to licenses and permits relating to the Premises.

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4. **DEED; TITLE.** The Premises are to be conveyed by a good and sufficient quitclaim deed running to BUYER, or to the nominee designated by BUYER by written notice given to SELLER as hereinafter provided at least seven (7) days before the deed is to be delivered also as hereinafter provided. Said deed shall convey a good and clear record and marketable title thereto, free from encumbrances, except:
- (a) provisions of existing building, as applicable, and zoning laws;
  - (b) such real estate taxes for the then current fiscal year as are not yet due and payable on the date of the delivery of such deed;
  - (c) any liens for municipal betterments assessed after the date of this Agreement, but any lien for such betterment assessments which SELLER had previously elected to pay in installments shall be paid in full at or prior to the time for performance by SELLER regardless of when the installments would otherwise be due;
  - (d) easements, restrictions and reservations of record, if any, provided such easements, restrictions and reservations of record do not prohibit the permitting and development of the Premises for low and moderate income, affordable housing (a so-called "40B" project). As used herein, the term "development" shall **not** include the issuance of individual lot building permits by the Town of Walpole.
5. **PLANS.** If said deed refers to one or more plans of land necessary to be recorded therewith, SELLER shall deliver such plan or plans with the deed, in form adequate for recording or registration.
6. **REGISTERED TITLE.** In addition to the foregoing, if the title to the Premises is registered, said deed shall be in form sufficient to entitle BUYER to a Certificate of Title for the Premises, and SELLER shall deliver with said deed all additional documents, if any, necessary to enable BUYER to obtain such Certificate of Title.
7. **PURCHASE PRICE.** The Premises shall be transferred for Nine Hundred Thousand and No/100 Dollars (\$900,000.00) contingent upon the BUYER receiving all permits to

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develop the Premises for 24 units of low and moderate income, affordable housing (the “40B project”).

8. **TIME FOR PERFORMANCE; DELIVERY OF DEED.** The SELLER hereby agrees to convey or cause to be conveyed good, clear record and marketable title by Quitclaim Deed to BUYER, and BUYER agrees to close title on the earlier of the following dates (the “Closing Date”): (a) twelve (12) months from the date of this Agreement, or (b) thirty days after the BUYER obtaining all permits necessary for the development of the 40B project as contemplated herein, all appeal periods having expired with no appeal taken. The closing shall be held at the office of BUYER’s counsel, Philip H. Macchi, Macchi & Macchi, LLC, 1256 Washington Street, Norwood, Massachusetts, at 10:00 a.m., unless the parties otherwise agree. Time is of the essence of this Agreement.

9. **OPTION TO EXTEND CLOSING DATE.** In addition, BUYER shall have the unilateral option and right, in his sole discretion, to extend the Closing Date for a maximum of four consecutive six-month extension periods. BUYER shall exercise his option to so extend for the first such six-month extension period by giving written notice to SELLER, in the manner hereinbelow specified, 15 days prior to the original Closing Date. BUYER’s right to further extend the Closing Date for the second six-month period may be exercised by giving SELLER written notice of his intention to so further extend at least 15 days prior to the expiration of the first six-month extension period. BUYER’s right to further extend the Closing Date for the third and fourth extension periods may be exercised in a similar manner. The “outside” Closing Date shall, therefore, be on the day and date which is three years from the date of this Agreement.

BUYER’s rights to so extend the Closing Date are further conditioned upon his continuing to use reasonably diligent efforts to complete any remaining due diligence investigations and to obtain all required permits and other approvals whether from federal, state or municipal boards or other authorities having jurisdiction.

10. **SELLER’S COOPERATION.** As soon as practicable, SELLER shall promptly provide to BUYER any and all survey, environmental, air-quality, physical, geotechnical, and

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topographical studies, reports, plans, or other pertinent information regarding the Premises, and compliance of the Premises with all applicable laws and regulations, in SELLER's possession, custody or control that SELLER has not already provided to BUYER (the "Property Information"). In addition, the parties shall endeavor to cause their respective Licensed Site Professionals (LSPs) to communicate and cooperate in the preparation of, at a minimum, a sketch plan of those portions of the Premises that they believe should reasonably be tested for the presence of hazardous wastes and other environmental contamination.

11. **CONTROL.** From the date of this Agreement through either: (a) the closing as set forth above or (b) the termination of this Agreement, SELLER hereby grants BUYER control over the Premises for the purposes of applying for a Comprehensive Permit as required by 760 CMR 56.04(c).
  
12. **PERMITS.** BUYER shall seek to obtain various permits, licenses, approvals, to develop the 40B project in accordance with Walpole Zoning Bylaw Section 6230, M.G.L. c. 40B § 20-23, 760 CMR 56, and any other applicable local, state, or federal bylaw, regulation, or statute. SELLER agrees to cooperate fully in this effort by executing, as the Owner, applications and documents that may be required in this process should an original signature be required notwithstanding the Consent and Limited Power of Attorney granted to BUYER attached hereto and incorporated by reference. Any and all costs associated with these efforts shall be borne by BUYER. Any desired applications for variances or special permits or any permits, licenses or approvals the denial of which would not allow reapplication for the same within a certain period of time shall be subject to SELLER's approval which shall not be unreasonably withheld, conditioned or delayed.
  
13. **RIGHT OF ENTRY; INSURANCE.** SELLER grants to BUYER, his employees, licensees, contractors, engineers, and other agents, rights of access and entry onto the Premises from time to time until the Closing Date but at BUYER's sole cost, expense, risk, and hazard and in such manner as BUYER may reasonably determine, and without any damage being imposed upon the Premises, for purposes of conducting surveys, soil

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sampling and tests, percolation tests, environmental testing, sub-soil borings, wetlands delineations, groundwater analyses, and other tests and studies in the course of performing BUYER's due diligence as to optimum development of the Premises. In general, SELLER understands and acknowledges that BUYER intends to conduct any and all such other research and investigation as BUYER deems necessary or desirable in order to determine all applicable regulatory requirements, and the economic and financial feasibility of the permitting and development of the Premises as contemplated. In consideration and as a condition of such grant of access and entry, BUYER hereby indemnifies SELLER against, of and from any and all damages caused by BUYER, his employees, licensees, contractors, engineers, and other agents in the course of conducting his due diligence on the Premises. In addition, BUYER shall procure, if necessary, one or more policies of liability insurance insuring SELLER against any such damages and shall provide one or more Certificates of Commercial General Liability Insurance in limits of at least One Million (\$1,000,000.00) Dollars for each occurrence and not less than Two Million (\$2,000,000.00) Dollars for general aggregate coverage naming SELLER as an additional insured and underwritten by one or more carriers reasonably satisfactory to SELLER. Furthermore, as soon as practicable after any significant excavation, BUYER shall restore the subsurface and surface of the Premises to substantially the same condition as they were in immediately prior to such excavation.

14. **CONDITIONS TO BUYER'S PERFORMANCE.** BUYER's obligations to perform under this Agreement are contingent upon and subject to satisfaction of each of the conditions set forth below in this Article 14 (the "Conditions"). The Conditions are as follows:

- (a) *Title.* Good, marketable and indefeasible fee simple title to the Premises, free and clear of all liens and other encumbrances, and subject only to such exceptions as may be approved by BUYER;
- (b) *Title Insurance.* BUYER's ability to obtain an owner's American Land Title Association Policy of Title Insurance issued by a title insurance company approved by BUYER in at least the amount of the Purchase Price, subject only to those exceptions as approved by BUYER;

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- (c) Zoning. The receipt of final un-appealable permits for a Comprehensive Permit under Walpole Zoning Bylaw Section Zoning Bylaw Section 6230, M.G.L. c. 40B §20-23, 760 CMR 56 and any other applicable governmental regulations affecting the Premises, whether federal, state or municipal, all of which are deemed satisfactory to BUYER for purposes developing the 40B Project;
- (d) Engineering and Environmental Tests. Satisfactory, in BUYER's sole and absolute discretion, environmental and engineering results for all tests and studies as BUYER deems reasonably necessary to conduct in connection with his evaluation of the Premises for BUYER's contemplated development. In the event that the presence of hazardous waste shall be revealed during the course of BUYER's due diligence, SELLER shall be responsible for any resulting and required environmental clean-up and remediation necessary to comply with all applicable hazardous waste laws, whether state or federal;
- (e) Plan of Areas to be Tested. The preparation of any sketch or other plan of those portions of the Premises that reasonably should be tested for environmental contamination as contemplated in accordance with the provisions of Article 12 above;
- (f) Endangered Species. BUYER shall also investigate in the course of his due diligence and be satisfied that no portion of the Premises serves as the habitat of any endangered, threatened or special concern plant or animal species native to Massachusetts, pursuant to the Massachusetts Endangered Species Act, or the Federal Endangered Species Act, or any regulations adopted under either of said Acts that would materially interfere with his contemplated development of the Premises;
- (g) Wetlands. BUYER shall also investigate during the course of his due diligence and be satisfied that no portion of the Premises is subject to any federal, state or municipal wetlands regulations, or lies within any flood hazard area, inland wetlands, or any water resource protection, flood plain or conservation overlay district that would materially interfere with his contemplated development of the Premises;

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- (h) Water Table Levels. The presence of suitable, in BUYER's sole and absolute discretion, water table levels;
- (i) MEPA. BUYER shall determine the applicability and effect, if any, of MEPA and NEPA laws and regulations upon his contemplated development of the Premises.

15. **POSSESSION AND CONDITION OF PREMISES.** Full possession of the Premises free of all tenants and occupants is to be delivered at the time of the delivery of the deed, said Premises to be then (a) in the same condition as they now are, reasonable use and wear thereof excepted, and (b) not in violation of any of said building and zoning laws, and (c) in compliance with the provisions of any instrument referred to in Article 4 hereof. BUYER shall be entitled to inspect the Premises prior to delivery of the deed in order to determine whether the condition thereof complies with the terms of this Article 15.

16. **EXTENSION OF CLOSING DATE TO PERFECT TITLE, ETC.** If SELLER shall be unable to give title or to make conveyance, or to deliver possession of the Premises, all as herein stipulated, or if at the closing said Premises do not conform with the provisions hereof, then SELLER shall use reasonable efforts to remove any defects in title, or to deliver possession as provided herein, or to make the Premises conform to the provisions hereof, as the case may be, in which event the Closing Date shall be extended for a period of not more than 30 days as determined by SELLER. If SELLER reasonably determines, and BUYER agrees, that more than 30 days will be required by SELLER in order to remove title defects, deliver possession, or make the Premises conform, then the Closing Date shall be extended for such further time as the parties may agree. BUYER agrees that reasonable efforts shall not require SELLER to expend more than Twenty Thousand and 00/100 (\$20,000) Dollars, inclusive of attorney's fees. In addition to the foregoing, SELLER shall have the affirmative obligation to pay or otherwise secure the discharge, or obtain the release, of: (i) any and all voluntary mortgages and other voluntary liens and encumbrances and/or real estate taxes existing as of the Closing Date, and (ii) any other municipal betterments which are liens existing as of the date of this Agreement.

17. **FAILURE TO PERFECT TITLE OR MAKE PREMISES CONFORM, ETC.** If, at the expiration of any such extended time, SELLER shall have failed so to remove any

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defects in title, deliver possession, or make the Premises conform, as the case may be, all as herein agreed, BUYER shall have the option, exercisable by written notice to SELLER at least ten business days prior to the scheduled Closing Date, to either (a) have all payments made hereunder forthwith refunded to BUYER, whereupon all other obligations of the parties hereto **shall** cease and this Agreement shall become null and void, and without recourse to the parties hereto, or (b) proceed with this Agreement and accept a deed to the Premises subject to any defects in title or any other failure to comply with the provisions of this Agreement, but subject to a reduction in the purchase price to be negotiated by the parties as a reasonable estimate of the cost to BUYER of removing such title defect or otherwise bringing the Premises into compliance with the provisions of this Agreement.

18. **BUYER'S ELECTION TO ACCEPT TITLE.** BUYER shall, in addition, have the election, at either the original or any extended time for performance, to accept such title as SELLER can deliver to the Premises in their then condition and to pay the remainder of the total purchase price without deduction and, in which case, SELLER shall convey such title.
19. **EFFECT OF ACCEPTANCE OF DEED.** The acceptance of a deed by BUYER or his nominee, as the case may be, shall be deemed to be a full performance and discharge of every agreement and obligation herein contained or expressed, except such as are, by the terms hereof, to be performed after the delivery of said deed.
20. **USE OF PURCHASE MONEY TO CLEAR TITLE.** At the closing, SELLER may, if SELLER so desires, use all or part of the purchase price to clear the title of any encumbrances or interests provided that all instruments necessary for this purpose are recorded by and at the expense of SELLER simultaneously with the deed or at such later time as shall be reasonably acceptable to BUYER and provided further, with respect to discharges of mortgages from insurance companies, banks, credit unions, and other institutional lenders, such discharges may be recorded within a reasonable time after the recording of the deed in accordance with local, customary conveyancing practices.

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21. **INSURANCE.** Until delivery of the deed, SELLER shall maintain general liability insurance in present amounts on the Premises, along with any other coverages it may have as of the date hereof or as may be placed upon the Premises at any time prior to the Closing Date.
22. **ADJUSTMENTS.** Real estate taxes for the then current fiscal year shall be apportioned as of the Closing Date, and the net amount thereof shall be added to or deducted from, as the case may be, the purchase price payable by BUYER at the time of delivery of the deed.
23. **ADJUSTMENT OF UNASSESSED AND UNABATED TAXES.** If the amount of said taxes is not known at the time of delivery of the deed, they shall be apportioned on the basis of the taxes assessed for the preceding fiscal year, with a reapportionment as soon as the new tax rate and valuation can be ascertained; and, if the taxes which are to be apportioned shall thereafter be reduced by abatement, the amount of such abatement, less the reasonable cost of obtaining the same, shall be apportioned between the parties, provided that neither party shall be obligated to institute or prosecute proceedings for an abatement unless otherwise agreed.
24. **NO BROKER.** BUYER and SELLER represent to each other that neither party has engaged or otherwise dealt with any broker, salesperson, finder, or any other intermediary in connection with this purchase of the Premises. BUYER and SELLER agree that each will hold harmless and indemnify the other from any loss, cost, damage, and expense, including reasonable attorney's fees, incurred by the other for a commission or finder's fee as a result of the falseness of these representations. The provisions of this Article 24 shall survive delivery of the deed.
25. **NOTICES.** All notices required or permitted to be given hereunder shall be in writing and deemed duly given when (a) mailed by registered or certified mail, return receipt requested, postage prepaid, (b) hand delivered, (c) sent by facsimile transmission with confirmation

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of transmission, (d) sent by overnight delivery service or (e) sent via e-mail with receipt confirmed by the receiving party, addressed:

If to SELLER to:      McSharry Bros, Inc.  
                                 Attn: Mark McSharry, President  
                                 7 Leah Drive  
                                 Rockland, MA 02370

if to BUYER to:      Neponset Village, LLC  
                                 Attn: Robert Lincoln, Manager  
                                 4 First Street  
                                 Bridgewater, MA 02324

with a copy to:      Philip H. Macchi, Esq.  
                                 Macchi & Macchi, LLC  
                                 1256 Washington Street  
                                 Norwood, MA 02062  
                                 pmacchi@macchi-law.com

26. **SELLER'S OBLIGATIONS AND COVENANTS.**

- (a) From the date of this Agreement to the Closing Date SELLER shall, at its sole cost and expense:
- (i) maintain and operate the Premises in substantially the same condition and manner as the Premises are now maintained and operated by SELLER;
  - (ii) execute and deliver to BUYER all written consents and authorizations as may be necessary, in the opinion of BUYER or his counsel, to make a search of the records of any federal, state, county, or municipal or other governmental or quasi-governmental department, agency or authority having jurisdiction over the Premises in order to verify any provision, covenant, agreement, condition, warranty, or representation made by SELLER in this Agreement or any information relating to the Premises; however, BUYER shall bear any and all expense of drafting or procuring all such written consents and authorizations for SELLER's signature;
  - (iii) promptly deliver notice to BUYER of, and, if the same may adversely affect BUYER or the Premises, defend at SELLER's expense, all actions, suits,

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claims, and other proceedings affecting the Premises, or the use, possession or occupancy thereof;

- (iv) promptly deliver notice to BUYER of any actual or threatened condemnation of the Premises or any portion thereof;
- (v) maintain any and all permits or other governmental authorizations affecting the Premises in full force and effect;
- (vi) maintain any and all service contracts pertaining to the Premises in full force and effect; timely make all payments and observe and perform all obligations to be paid, observed or performed by SELLER thereunder, and promptly notify BUYER of any receipt or delivery of any notice (including any notice of default) thereunder;
- (vii) promptly make available to BUYER any and all relevant documents, in addition to the Property Information, relating to the Premises, and cooperate in all respects with BUYER in connection with (a) all due diligence investigations of the Premises; and (b) the consummation of the transactions set forth in this Agreement;
- (viii) promptly deliver to BUYER copies of any notices of violation of law or ordinances, orders, requirements, or regulations of any federal, state, county, municipal, or other governmental or quasi-governmental department, agency or authority relating to the Premises;
- (ix) undertake or commence any renovations or alterations at the Premises without the prior written consent of BUYER in each instance; or
- (x) issue any press release or other publicity of any kind whatever with respect to this Agreement or any of the transactions contemplated hereby, without the prior written consent of BUYER in each instance.

(b) From the date of this Agreement to the Closing Date SELLER shall not:

- (i) modify, amend, renew, extend, terminate, or otherwise alter any existing service contracts nor enter into any new maintenance service contracts or any other agreements affecting the Premises, without the prior written consent of BUYER in each instance; or

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- (ii) enter into any new lease, license, permit, franchise, concession, or occupancy agreement without the prior written consent of BUYER in each instance;
- (iii) undertake or commence any renovations or alterations at the Premises without the prior written consent of BUYER in each instance; or
- (iv) issue any press release or other publicity of any kind whatever with respect to this Agreement or any of the transactions contemplated hereby, without the prior written consent of BUYER in each instance.

27. **SELLER'S WARRANTIES AND REPRESENTATIONS; INDEMNIFICATION.**

(a) SELLER represents and warrants, to the best of its knowledge, information and belief, as follows:

- (i) SELLER has full right, power and authority to enter into and become bound by this Agreement and to consummate the transactions contemplated hereby; that any person executing this Agreement on behalf of and in the name of SELLER has been duly authorized by all necessary action and has full right, power and authority to execute and deliver this Agreement on behalf of SELLER;
- (ii) (a) the Premises are not in violation in any respect of the following (herein collectively called the "Environmental Laws"): Massachusetts General Laws Chapter 21E ("c.21E"); the Resource Conservation and Recovery Act of 1976 ("RCRA"), 42 U.S.C. s.6901, et seq., as amended; the Solid Waste Disposal Act; the Comprehensive Environmental Response, Compensation and Reauthorization Act of 1986 ("CERCLA"), 42 U.S.C. s.9601, et seq.; and any other federal, state or local statute, law, ordinance, code, rule, regulation, order, or decree regulating, relating to, or imposing liability or standards of conduct concerning any hazardous substance, hazardous waste, hazardous materials, oil, asbestos, and the group of organic compounds known as polychlorinated biphenyls ("PCBs") (collectively "hazardous substances"); (b) there are no unrecorded liens on or affecting the Premises imposed by any Environmental Laws; (c) there is no actual, asserted or

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threatened liability or obligation of SELLER related to the Premises under any Environmental Laws; and (d) there are no hazardous substances on the Premises;

- (iii) the Premises and their present uses are not in violation in any respect of application zoning, building and subdivision laws and regulations;
- (iv) SELLER is not aware of any unresolved litigation or pending or ongoing regulatory hearings or actions which could affect the Premises, and SELLER agrees to keep BUYER informed, by notice given pursuant to this Agreement, of any such contemplated or threatened litigation, hearings or actions;
- (v) SELLER has no knowledge of any unrecorded or undisclosed legal or equitable interest in the Property owned or claimed by any party other than SELLER.

It shall be a further condition of BUYER'S obligation to perform under this Agreement that all warranties and representations made by SELLER hereunder shall be true (subject to exceptions thereto approved by BUYER in writing, such approval to be in BUYER'S sole discretion) as of the Closing Date.

- (b) If BUYER pays the agreed purchase price to SELLER and records a deed to the Premises, SELLER shall indemnify and hold BUYER harmless from and against, and shall reimburse BUYER with respect to, any and all claims, demands, causes of action, loss, damage, liabilities, costs, and expenses (including reasonable attorney's fees and court costs) asserted against and incurred by BUYER by reason of or arising out of a breach of any representation or warranty of SELLER as set forth in this Article 27.

28. **SURVIVAL OF SELLER'S WARRANTIES AND REPRESENTATIONS.** The acceptance of a deed by BUYER or BUYER'S nominee, as the case may be, shall be deemed to be a full performance and discharge of every covenant and obligation herein contained or expressed, except such as are, by the terms hereof, to be performed after the delivery of said deed, and except for the warranties and representations set forth in Article 27(a) which (a) shall be deemed material to this Agreement, (b) shall survive the delivery of the deed

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hereunder for the periods set forth below beside each sub-Article and (c) shall be effective despite any inspection by BUYER, and BUYER shall have the full right to rely on them in purchasing the Premises. SELLER acknowledges that BUYER believes that said representations and warranties are true and is relying on them, and that, but for said belief and reliance, BUYER would not have entered into this Agreement. BUYER shall have the following time periods after the date of the recording of a deed of the Premises to BUYER to bring any action to enforce a violation or breach of any of SELLER'S warranties or representations contained in this Agreement and, after such enforcement periods lapse, the warranties and representations and BUYER'S rights with respect thereto shall be terminated and rendered null and void:

27.(a)(i)		60 days
27.(a)(ii)(a)	-	120 days
27.(a)(ii)(b)	-	120 days
27.(a)(ii)(c)	-	120 days
27.(a)(ii)(d)	-	90 days

29. **ALTERNATIVE DISPUTE RESOLUTION.** If a dispute under this Agreement arises, the parties shall first attempt to directly resolve such dispute between themselves and their respective counsel but, if such attempt at direct resolution is unsuccessful, they shall participate in at least two (2) hours of mediation to be facilitated by a mediator affiliated with MCA Dispute Resolution or by a mediator mutually acceptable to them and under the mediation procedures set by such mediator. If SELLER and BUYER cannot agree on the same mediator, each shall designate a mediator and the two so designated shall choose a third mediator to conduct the session. Such choice shall be binding on both parties. The mediation session shall be conducted within thirty (30) days of the date on which the mediator receives the request to mediate. SELLER and BUYER further agree that the costs of such mediation shall be shared equally by them unless they define other agreeable terms between them. If, however, they do not resolve their dispute through direct negotiation or mediation, then they shall be entitled to proceed to litigation or, if agreed between them, other dispute resolution procedures. SELLER and BUYER understand and agree that any

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mediation pursuant to this Article shall not be binding upon either party and shall not be admissible in any subsequent litigation.

30. **TITLE DEFECTS; WAIVER.** SELLER'S title to the Premises shall be deemed to meet the requirements of Article 4 hereof for all purposes unless on or before that date which is 60 days after the date of this Agreement written notice of a claimed defect therein is given to SELLER and SELLER'S attorney as provided herein. Such notice shall specify any defects claimed in SELLER'S title, and BUYER shall have rights with respect to defects in SELLER'S title only in respect to (a) defects in title existing as of the date of such notice, which have been claimed in such notice and (b) defects in title arising after the date of such notice. BUYER shall take the Premises subject to any defects in title existing as of the date of such notice, which have not been claimed in such notice.
31. **LEGAL ADVICE.** BUYER and SELLER mutually acknowledge that they have each been advised of the importance of seeking legal advice prior to signing this Agreement, and they further acknowledge that each has been afforded the opportunity to confer with counsel prior to signing this Agreement.
32. **PRIOR AGREEMENTS.** Upon the execution and delivery of this Agreement, all previous agreements between BUYER and SELLER in connection with the Premises, shall be void and without recourse to the parties thereto and hereto, it being the intention of the parties that the terms and conditions of this Agreement shall fully and completely supersede all of the terms and conditions of any other previous agreement.
33. **RECORDING AGREEMENT.** If BUYER records or files this Agreement or a copy, notice or memorandum hereof, with any Registry of Deeds or Registry District of the Land Court, then, at SELLER'S sole option, BUYER shall be deemed in default hereunder; SELLER shall immediately after such recording or filing be entitled to exercise all of SELLER'S rights and remedies upon BUYER'S default as provided herein; and all other obligations of the parties hereto shall cease and this Agreement shall be void without recourse to the parties hereto.

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34. **PRIOR COMMUNICATIONS.** It is understood and agreed that (i) all contemporaneous or prior representations, statements, understandings, and agreements, oral or written, between the parties have been merged in this Agreement, which alone fully and completely expresses the agreement of the parties, and (ii) that this Agreement is entered into after full investigation, with neither party having relied on any statement or representation made by the other which is not embodied in this Agreement.
35. **EXTENSION AUTHORITY.** In order to facilitate the execution of such documents extending the time for performance of any event or of any notice that may be given under this Agreement, each of the undersigned hereby authorizes that party's respective attorney to assent to and execute on that party's behalf, any such agreements extending the time for performance of any event or of any notice that may be given under this Agreement.
36. **TAKING.** In the event of a complete or partial taking by eminent domain of the Premises, BUYER shall have the election to accept a deed to the Premises complying with Article 4 and without any reduction in the purchase price, plus an assignment of SELLER'S right to damages from such eminent domain taking.
37. **ADDITIONAL CLOSING CONDITIONS.** The following shall be further conditions to BUYER'S obligation to perform hereunder, which conditions BUYER shall be free to waive in his sole discretion:
- (a) On the Closing Date, SELLER shall not be in default in the performance of any covenant or agreement to be performed by SELLER under this Agreement;
  - (b) On the Closing Date, all representations and warranties made by SELLER contained in Article 27 of this Agreement shall continue and be true and correct in all material respects; and
  - (c) On the Closing Date, the Premises shall be free and clear of any tenants and occupants.
38. **ASSIGNABILITY.** BUYER shall be free to assign his rights hereunder to, without

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limitation, a nominee realty trust; a domestic or foreign limited liability company or limited partnership; or a general partnership, provided, in each instance, a majority voting control and ownership interest is retained by BUYER individually.

39. **SATURDAY, SUNDAY OR HOLIDAYS/EXTENSIONS.** If the time period by which any right, option or election provided under this Agreement must be exercised, or by which any act required hereunder must be performed or by which the closing must be held, expires on a Saturday, Sunday, federal or legal bank holiday in the state where the Premises are located, then such time period shall be automatically extended to the close of business on the next succeeding business day.
40. **LIQUIDATED DAMAGES FOR BUYER'S DEFAULT.** If BUYER shall fail to fulfill BUYER's obligations and agreements herein, all deposits made hereunder shall be retained by SELLER as complete damages and shall be SELLER's sole remedy and recourse in law or at equity, SELLER and BUYER hereby agreeing that the deposit hereunder is a reasonable forecast of SELLER's losses that would result if BUYER were to breach this Agreement, which losses could result from SELLER's inability to resell the Premises for the same agreed purchase price due to any number of presently undeterminable factors.
41. **REAL ESTATE BAR ASSOCIATION STANDARDS.** Any matter or practice arising under or relating to this Agreement which is the subject of a title standard or a practice standard of the Real Estate Bar Association at the time for delivery of the deed shall be covered by said title standard or practice standard to the extent applicable.
42. **NO OTHER AGREEMENTS.** SELLER hereby represents, warrants and covenants that the Premises are not and will not be the subject of any outstanding agreements with any party pursuant to which any such party may acquire any interest herein, and that there are no contracts or agreements to which SELLER is a party, including any tenancy or occupancy agreements, which affect the Premises and which will survive the closing.

In Witness Whereof, BUYER has executed this Agreement, consisting of 18 pages, 42

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numbered Articles, and the attached Consent and Limited Power of Attorney, and SELLER has caused it to be executed, sealed with the corporate seal, and delivered in its name and on its behalf by its undersigned officer, hereunto duly authorized, on the day and date first above-written.

**SELLER: McSharry Bros, Inc.**

AuthentisIGN

*Mark McSharry, President*

08/23/2021

8/23/2021 1:28:03 PM EDT

**By: Mark McSharry, President, duly authorized**

**BUYER: NEPONSET VILLAGE, LLC**

AuthentisIGN

*Robert Lincoln, Manager*

08/23/2021

8/23/2021 3:30:35 PM EDT

**By: Robert Lincoln, Manager, duly authorized**

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**FINANCIAL INFORMATION**

General Site Project Site Control Financial Qualifications & Certification Notifications & Fees

Contacts

Site Approval Application/Homeownership

Neponset Village LLC

Financial Information

Submit

Print

Hard Costs

Soft Costs

Land Value and Other Costs

Budget Revenue

Summary

Attachments

Upload

Attachment:

5.1 New England Fund Lender Letter Of Interest



Choose File

No file chosen

Upload

Uploaded Attachments

5.1 New England Fund Lender Letter Of Interest  
NEF Bank Letter.pdf

Delete

5.2 Market Sale Comparables

Market-Activity-Report_Walpole-Massachusetts_2021-04-21-17-56-08.pdf

Delete

5.1 New England Fund Lender Letter of Interest (required):

Please attach a Letter of Interest from a current Federal Home Loan Bank of Boston (FHLBB) member bank regarding financing for the proposed development.

NOTE: Binding Construction and Permanent Financing Commitments (or evidence of closed loans) will be required at the time you apply for Final Approval from MassHousing.

5.2 Market Sale Comparables:

Please provide a listing of market sales being achieved in properties comparable to the proposed project.

5.3 Market Study (if requested):

MassHousing may require a market study for projects located in areas where the need or demand for the type of housing being proposed cannot be clearly demonstrated.

**Application for Chapter 40B Project Eligibility / Site Approval  
for MassHousing-Financed and New England Fund (“NEF”) Homeownership Projects**

**Section 5: FINANCIAL INFORMATION**

*In order to issue Site Approval, MassHousing must find (as required by 760 CMR 56.04 (4)) that an initial pro forma has been reviewed and that the Proposed Project appears financially feasible and consistent with the Chapter 40B Guidelines, and that the Proposed Project is fundable under the applicable program.*

**Initial Capital Budget**

**Sales / Revenue**

**Market:** 10,268,200  
**Affordable:** \$1,680,600  
**Related Party:** \$0  
**Other Income:** \$0  
**Total Sales/Revenue:** 11,948,800

**Pre-Permit Land Value**

<b>Item</b>	<b>Budgeted</b>
<b>As-Is Market Value*:</b>	\$900,000
<b>Reasonable Carrying Costs:</b>	0
<b>Subtotal - Pre-Permit Land Value:</b>	\$900,000

** As-Is market value to be determined by a MassHousing commissioned appraisal*



Uses (Costs)

Item	Budgeted
<b>Acquisition Cost (Actual):</b>	
Actual Acquisition Cost: Land	\$900,000
Actual Acquisition Cost: Buildings	\$0
Reasonable Carrying Costs	\$0
<b>Total Acquisition Cost (Actual)</b>	<b>\$900,000</b>
<b>Construction Costs-Residential Construction Costs (Hard Costs):</b>	
Building Structure Costs	\$5,592,852
Hard Cost Contingency	\$275,000
<b>Subtotal - Residential Construction (Hard Costs)</b>	<b>\$5,867,852</b>
<b>Construction Costs-Site Work (Hard Costs):</b>	
Earth Work	\$720,000
Utilities: On-Site	\$70,000
Utilities: Off-Site	\$0
Roads and Walks	\$0
Site Improvement	\$0
Lawns and Plantings	\$120,000
Geotechnical Condition	\$0
Environmental Remediation	\$0
Demolition	\$0
Unusual Site Conditions/Other Site Work	\$0
<b>Subtotal - Site Work (Hard Costs)</b>	<b>\$910,000</b>
<b>Construction Costs-General Conditions, Builders Overhead and Profit (Hard Costs):</b>	
General Conditions	\$422,928
Builder's Overhead	\$140,976
Builder's Profit	\$422,928
<b>Subtotal - General Conditions, Builder's Overhead &amp; Profit</b>	<b>\$986,832</b>
<b>General Development Costs (Soft Costs):</b>	
Appraisal and Marketing Study <i>(not 40B "As Is" Appraisal)</i>	\$0
Lottery	\$11,000
Commissions/Advertising-Affordable	\$0
Commissions/Advertising-Market	\$508,286
Model Unit	\$8,000
Closing Costs <i>(unit sales)</i>	\$26,444
Real Estate Taxes	\$20,000
Utility Usage <i>(during construction)</i>	\$24,000
Insurance <i>(during construction)</i>	\$50,000

<b>Security</b> <i>(during construction)</i>	\$0
<b>Inspecting Engineer</b> <i>(during construction)</i>	\$12,000
<b>Construction Loan Interest</b>	\$174,144
<b>General Development Costs (Soft Costs)</b> - <i>continued</i>	

<b>Item</b>	<b>Budgeted</b>
<b>Fees to Construction Lender:</b>	\$24,000
<b>Fees to Other Lenders:</b>	\$0
<b>Architectural</b>	\$35,000
<b>Engineering</b>	\$50,000
<b>Survey, Permits, etc.</b>	\$20,000
<b>Clerk of the Works</b>	\$0
<b>Construction Manager</b>	\$240,000
<b>Bond Premiums</b> <i>(payment/performance/lien bond)</i>	\$0
<b>Legal</b>	\$20,000
<b>Title</b> <i>(including title insurance)</i> <b>and Recording</b>	\$0
<b>Accounting and Cost Certification</b> <i>(incl. 40B)</i>	\$20,000
<b>Relocation</b>	\$0
<b>40B Site Approval Processing Fee</b>	\$7,500
<b>40B Technical Assistance / Mediation Fee</b>	\$3,700
<b>40B Land Appraisal Cost</b> <i>(as-is value)</i>	\$5,000
<b>40B Final Approval Processing Fee</b>	\$10,000
<b>40B Subsidizing Agency Cost Certification Examination Fee</b>	\$7,500
<b>40B Monitoring Agent Fee</b>	\$8,500
<b>40B Surety Fees</b>	\$5,000
<b>Other Financing Fees</b>	\$10,000
<b>Development Consultant</b>	\$0
<b>Other Consultant:</b>	\$0
<b>Other Consultant:</b>	\$0
<b>Soft Cost Contingency</b>	\$80,000
<b>Other Development Costs</b>	\$8,000
<b>Subtotal - General Development Costs (Soft Costs)</b>	<b>\$1,388,074</b>
<b>Developer Overhead:</b>	
<b>Developer Overhead</b>	\$50,000
<b>Subtotal Developer Fee and Overhead</b>	<b>\$50,000</b>

**Summary of Subtotals**

	Budgeted
Sales/Revenue	\$11,948,800
Pre-Permit Land Value	\$900,000
Residential Construction	\$5,867,852
Site Work (Hard Costs)	\$910,000
General Conditions, Builder's Overhead & Profit (Hard Costs)	\$986,832
General Development Costs (Soft Costs)	\$1,388,074
Developer Fee and Overhead	\$50,000

**Summary**

Total Sales/Revenue	\$11,948,800
Total Uses (TDC)	\$10,102,758
Profit (Loss) from Sales Revenue	\$1,846,042
Percentage of Profit (Loss) Over the Total Development Costs (TDC)	18.2727

**Application for Chapter 40B Project Eligibility / Site Approval  
for MassHousing-Financed and New England Fund ("NEF") Homeownership Projects**

**Section 6: APPLICANT QUALIFICATIONS, ENTITY INFORMATION, AND CERTIFICATION**

In order to issue Site Approval MassHousing must find (as required by 760 CRM 56.04 (4)) that the applicant is either a non-profit public agency or would be eligible to apply as a Limited Dividend Organization and meets the general eligibility standards of the program.

**Development Team:**

Company Name	Contact Name	Contact Role	Applicant	Dev Entity	Primary
Neponset Village LLC	Robert Lincoln	Owner	Yes	Yes	Yes

**Entities Responsible for Development Tasks:**

Development Task	Developer / Applicant	Contact Name / Company

**Affiliated Entities:**

Company Name	Individual Name	Affiliation	Relation
Coneco Building LLC	Robert R Lincoln	Related Affiliate	Development Entity
Coneco Engineers	Robert R Lincoln	Related Affiliate	Development Entity



June 15, 2021

Mr. R. Richard Lincoln  
Coneco Engineers & Scientists  
4 First Street  
Bridgewater, MA 02324

**RE: Neponset Village  
Pleasant Street  
Walpole, MA**

**PLEASE NOTE THIS LETTER DOES NOT CONSTITUTE A COMMITMENT**

Dear Rick,

The bank is pleased to forward this term sheet with regards to your request for a construction loan for the subject property. This Term Sheet is an indication of our desire to reach a mutually agreeable set of terms in securing a firm commitment.

It should be noted the loan terms presented below are based on the information collected to date. The terms are subject to change as a result of our ongoing due diligence or recommendation from our Loan Committee as a condition of their approval.

**Loan Terms and Conditions**

- Borrower** : **Neponset Village LLC**
- Property Location** : **Land off Pleasant Street  
Walpole, MA**
- Collateral** :
1. 1st Mortgage upon the Borrower's fee simple interest in and to the land and improvements now, or to be located, or constructed thereon, at the property listed above.
  2. An Assignment to the Bank, conditionally upon default of the loan, of all the Borrower's rights, title and interest in and to all permits, plans, licenses and agreements as are necessary for the use proposed and/or completion of construction proposed to be undertaken on the Mortgaged Premises
  3. An Assignment to the Bank, conditionally upon default of the loan, of all leases, tenancies, occupancy agreements, contracts, and rents entered into for the lease, rental, hire, use or sale by the Borrower, or any other lessee with respect to the Mortgaged Premises or any portion or unit thereof, together with all income and profit derived from the use or operation of the Mortgaged Premises.

4. A first security position under the Uniform Commercial Code on all personal property (including, without limiting the generality of the foregoing, materials, appliances, equipment and supplies) brought onto the Mortgaged Premises for the purpose of construction of the improvements contemplated hereunder.

Guarantor : **R. Richard Lincoln**

Monthly Payment : Interest payments on the outstanding principal balance; all outstanding principal plus any accrued and unpaid interest and fees due at maturity.

Loan Allocation : **\$1,500,000** – Construction

Rate : WSJ Prime + 1%, floating daily, with a **5.00%** Floor.

Default Rate : In the event of default, the interest rate will increase to a per annum rate equal to the aggregate of (a) the interest rate which would otherwise be applicable in the absence of default plus (b) six (6%) percent. However, under no circumstances will the interest rate exceed the maximum interest rate limitations under applicable law.

Interest Calculation Method : Interest payable under the loan shall be computed on an actual/360 day method (also known as a 365(366)/360 basis); that is, by dividing the interest rate over a year of 360 days and multiplying the resulting daily rate by the actual number of calendar days elapsed during which the principal balance is outstanding.

Late Charge : At the Bank's option, payments received more than fifteen (15) days following the due date will be subject to a late fee of 5% of the amount of the payment.

Term : **24 months**

Origination Fees : **\$7,500** to be paid at closing plus Standard Passing Fees

Release Fee : Loan proceeds advanced

Loan to Value : **Maximum 75%**

- Appraisal : An appraisal has/will be commissioned at Borrower's expense and is subject to a satisfactory review by Norwood Cooperative Bank.
- Junior Financing : No junior financing will be permitted without the prior written consent of Norwood Bank. Non-compliance with this condition will be considered a default of the loan note.
- Cross Default : The occurrence of any event of default under any loan agreement and loan documents by and between the Bank and the Borrower or any Guarantor or endorser hereof, as of the date hereof, or hereinafter arising will constitute a default of this loan.
- Corporate Items : If the Borrower takes title to the Mortgaged Premises as a corporation or Limited Liability Corporation, prior to closing, at the discretion of the Bank's attorney, the Borrower must provide a certified copy of the Operating Agreement, a certified copy of its most recent Annual Statement, a Certificate of Legal Existence and a Certificate of Good Standing. In addition, the Borrower is responsible for providing the Bank's counsel with a Manager's Certificate of Incumbency and Authority; an opinion letter for Borrower's counsel confirming due authority to execute all documents on behalf of the company and full enforceability of all obligations undertaken under the Loan Documents.
- Title & Documents : A title examination shall be completed by the Bank's Counsel at Borrower's expense and such examination shall evidence that, upon recording of all documents contemplated hereunder, the Bank will have a first mortgage and confirm there will be no junior liens.

Bank's Counsel will provide the Bank with a title insurance policy on the Mortgaged Premises in the amount of the mortgage loan containing no exceptions other than those approved by the Bank and Bank's Counsel. The cost of such policy is to be paid by the Borrower. Additional coverage may be purchased, at Borrower's expense, to insure your interest.

Upon the Bank's request Borrower's counsel will provide the bank with a zoning opinion acceptable to the Bank's attorney.

Insurance : The loan documents shall provide for such policies of insurance, including builders risk and general liability, as the Bank may require from time to time in amounts, and in companies, acceptable to the Bank. The policies shall contain the proper mortgagee clause naming the Bank as follows:

Norwood Cooperative Bank  
ISAOA/ATIMA  
11 Central Street  
Norwood, MA 02062

Evidence of such insurance shall be provided to the Bank prior to closing and on an annual basis thereafter. The builders risk insurance shall be for 100% of the mortgaged premises replacement value, meeting all coinsurance requirements. The general liability insurance shall be in an amount acceptable to Bank's counsel. All policies shall contain a provision requiring at least 20 days' advance notice to the Bank before any policy cancellation or modification.

Hazardous Materials : At the Borrower's expense, the Bank shall be provided with proper evidence (including, without limitation, engineering studies conducted at Borrower's expense) from a source and in a form and substance satisfactory to the Bank and Bank's Counsel indicating that the Mortgaged Premises is in compliance with Massachusetts General Law 21E. Further, should the Bank suffer any loss or be subject to any liability or cause of action arising out of such violation(s) at any time while the subject property is collateral for this loan, the Borrower and all Guarantors agree to indemnify the Bank against such loss, liability or cause of action. Borrower agrees to execute a general indemnification form running to the Bank in a form acceptable to the Bank and Bank's counsel.

Borrower's Interest : If any beneficial, partnership, joint venture interest, or any stock of the Borrower is conveyed, transferred or changed, or if the Borrower conveys, pledges, mortgages, assigns, or otherwise transfers any interest in the Mortgaged Premises to any entity, or if the Borrower is a corporation, and there is any change in its officers, directors and/or shareholders, or in the event the Borrower or any Guarantor is subject to Bankruptcy Proceedings either voluntary or involuntary, the Bank reserves the right to demand payment in full of the obligations due under the loan agreement, including without limitation, principal, interest, late charges, costs, and costs of collection.

Beneficial Ownership : A Beneficial Ownership Certification is required for any legal entity who has an ownership interest in the Borrower. Any individual who owns 25% or more of the entity either directly or indirectly AND one individual at a minimum with significant responsibility for managing the legal entity (such as executive officer or senior manager) must provide documentation verifying the owner and signatory prior to closing.

- Survey : Prior to any advances for materials and/or labor, the Bank must be in receipt of a satisfactory plot plan by a registered surveyor or civil engineer showing that buildings and all improvements are within lot and building lines, and shall indicate all easements, improvements, utilities, rights of way, whether above or below ground, which exist at the date of certification, and shall certify that the location complies in every way with the applicable zoning laws for the **town of Walpole**.
- Flood : Prior to closing and upon receipt of the plot plan and review of applicable FEMA maps, the Bank will make a determination whether the Mortgaged Premises lies in a flood hazard zone and whether Flood Insurance coverage will be required as a condition of this loan. The cost of this review will be paid by the Borrower.
- Compliance : In the event that the Borrower fails to comply with any of the terms and conditions contained herein, or fails to provide the Bank with any of the information requested herein, in the form and substance satisfactory to the Bank and the Bank's counsel, the Bank shall have the right to withdraw or modify the within agreement.
- Survival of Conditions : It is expressly understood and agreed that the terms, conditions, requirements, and obligations of this commitment shall survive the closing date hereto and remain in full force and effect after the closing date.
- Distinct Parties : The Bank shall in no event be construed, held or become in any way, for any purpose, a partner, associate, or joint venture of the Borrower, or any party associated with the Borrower in the conduct of its business or otherwise. Rather, the relationship between the Bank and the Borrower is, and always shall be, as a credit/debtor relationship.
- Costs : Whether or not the transaction herein to the Borrower is completed, the Borrower shall pay the usual costs incurred in preparation for the closing of the loan, including appraisal fees, environmental search fees, recording fees, title insurance premiums, title examination, due diligence and any fees of the Bank's Counsel. The Loan will close without cost to the Bank.
- Financial Statements : At the end of each fiscal year or on the anniversary date of the loan, for as long as some portion of the principal balance remains due on this loan, most recent tax returns for both the Borrower and any Guarantors must be sent to the Bank within 120 days following the closing of the Borrower's fiscal year, calendar year, whichever occurs first. If extensions are filed, the extensions must be sent to the Bank and the tax returns sent within 15 days of completion. For personal obligors of this loan, a personal financial statement must be provided annually.



- Disbursements : A mutually acceptable disbursement schedule for construction must be provided to the bank. Prior to advances, an independent construction inspection will be completed and a review of the Title to ensure that no subsequent liens have been placed against the Mortgaged Premises. Should the Mortgaged Premises be found to be additionally encumbered, the Bank is not obligated to advance additional funds and the Borrower may be in default of Loan conditions. Such inspections and title reviews shall be paid by the Borrower.
- Deposit Accounts : The Borrower must maintain its principal deposit and operating accounts with the Bank. All advances for materials and labor will be made into this account.
- Other Conditions : 1. This loan commitment is neither assignable nor assumable, and the Bank reserves the right to withdraw from the loan arrangement if the Guarantors discontinue their involvement as officers, directors, and/or shareholders of the Borrower.
2. The Bank may rescind this commitment if, except as otherwise provided herein, (i) any feature of the loan transaction has been, or is misrepresented by the Borrower in the loan application, or otherwise (ii) any material adverse change shall occur with respect to the premises, or improvements, or any collateral for the loan, or (iii) any material change in the financial situation of the Borrower, and/or any Guarantors.
3. Limit of three spec units under construction at one time.

I trust this indication of terms under which we are prepared to move forward, meets with your expectation.

If you have any questions regarding the proposed loan terms, please contact me at (781) 440-4254.

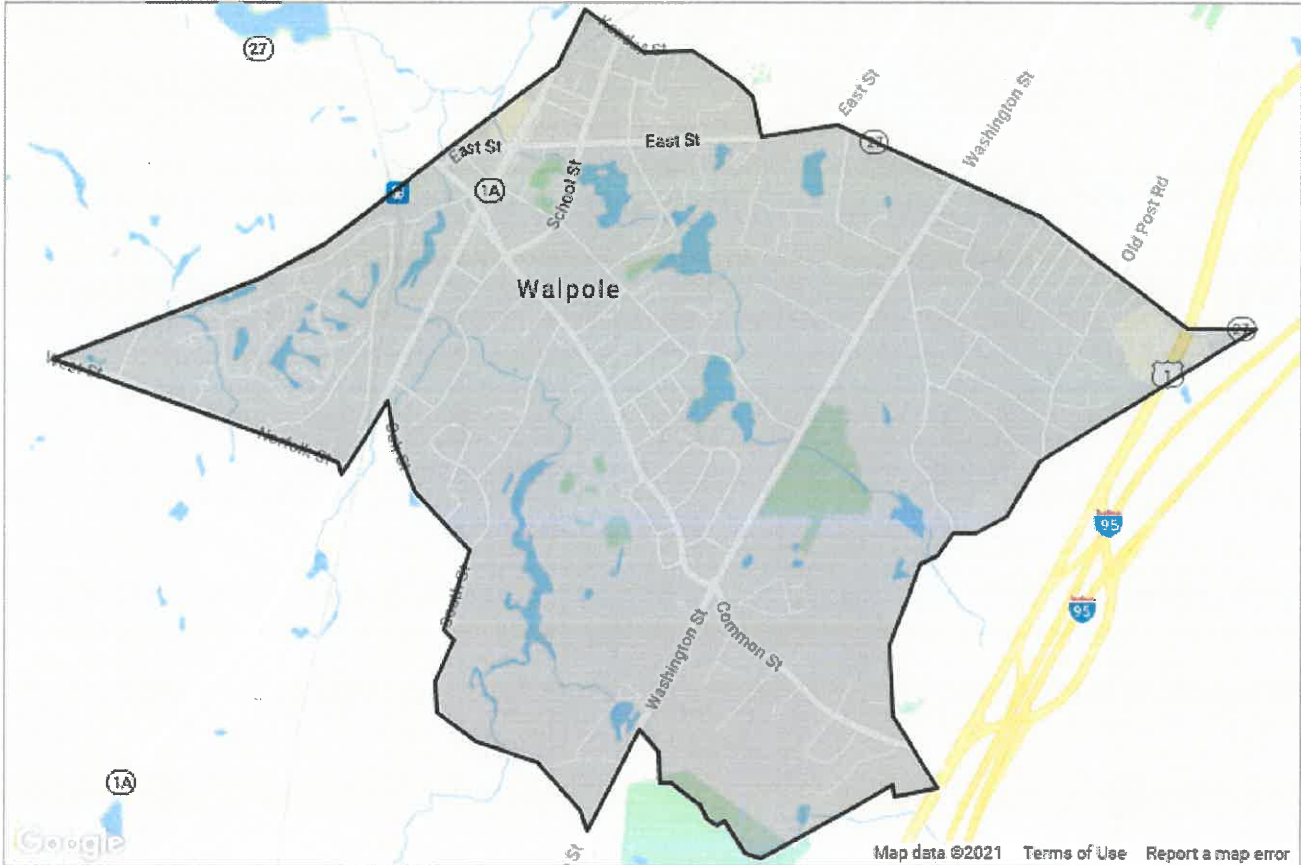
Sincerely,



John J. Crowley  
Vice President

MARKET ACTIVITY REPORT

# Walpole, Massachusetts



Presented by  
**Wendy Whitty** | Realtor  
Massachusetts Real Estate License: 133792



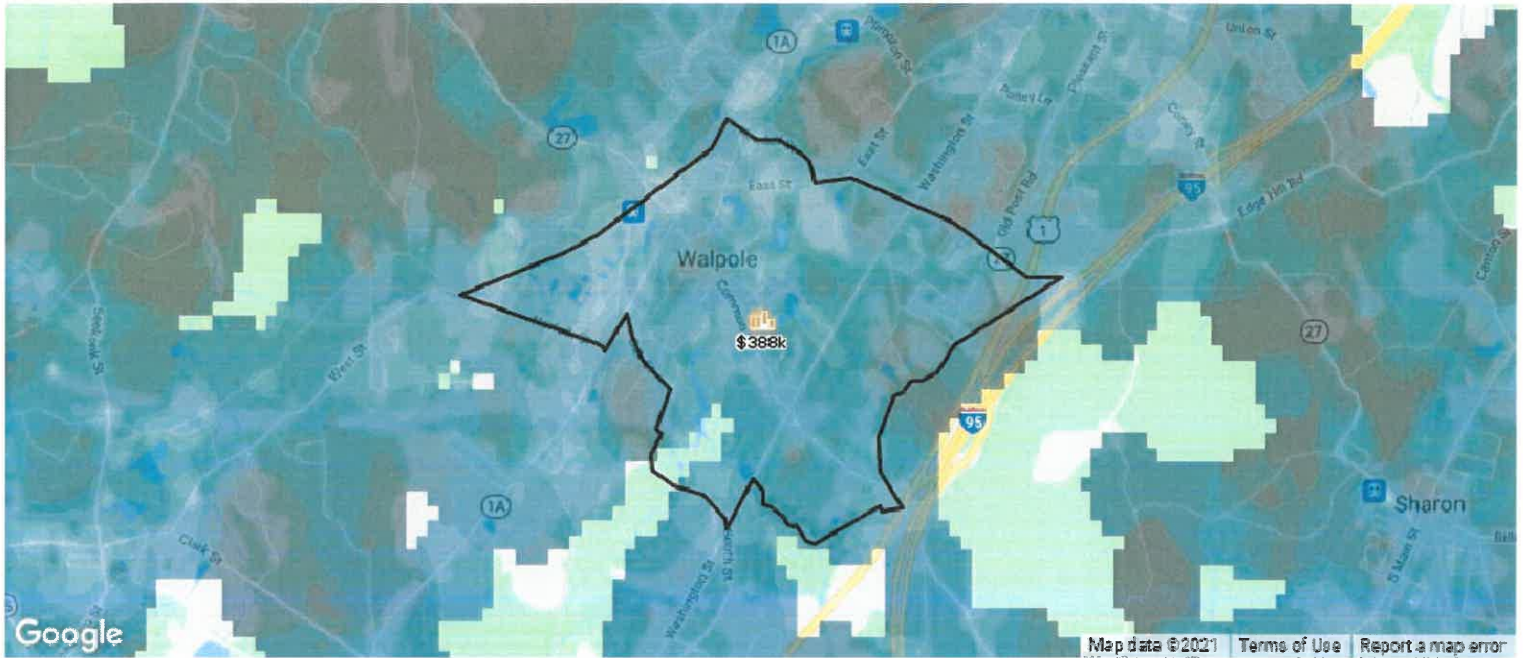
Work: (508) 238-3401 | Mobile: (508) 345-6311

Main: [wendywhitty@comcast.net](mailto:wendywhitty@comcast.net)  
Office: [WhittyRealEstate.com](http://WhittyRealEstate.com)

**WHITTY REAL ESTATE**  
4 First St  
Bridgewater, MA 02324

# Walpole, Massachusetts

## Market Snapshot: Estimated Home Values



This map layer shows the average estimated home values, based on the AVMs and RVMs® for properties in an area. Source(s): Public records and MLS data where licensed; updated Quarterly.

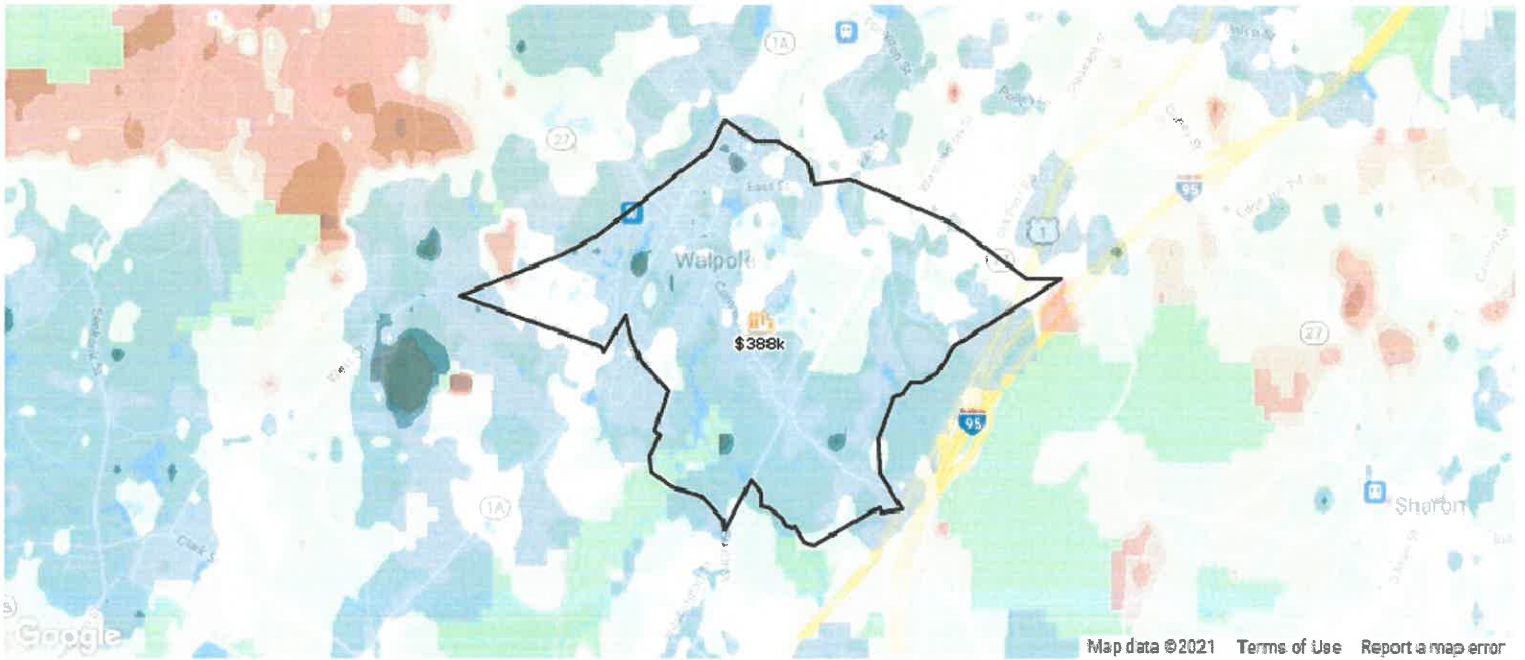


<p><b>Median Est. Home Value</b></p> <p><b>\$388K</b></p> <p>Updated: 3/31/2021</p>	<p>Change Over Last Month</p> <p>↓ <b>0.05%</b></p>	<p>Change Over Last Quarter</p> <p>↓ <b>0.65%</b></p>	<p>Change Over Last 12 Months</p> <p>↑ <b>3.12%</b></p>	<p>Change Over Last 24 Months</p> <p>↑ <b>7.04%</b></p>
-------------------------------------------------------------------------------------	-----------------------------------------------------	-------------------------------------------------------	---------------------------------------------------------	---------------------------------------------------------

About this Data: Estimated home values are generated by a valuation model and are not formal appraisals. Valuations are based on public records and MLS data where licensed. The metrics shown here reflect **Condos** data.

# Walpole, Massachusetts

## Market Snapshot: 12-Month Change in Estimated Value



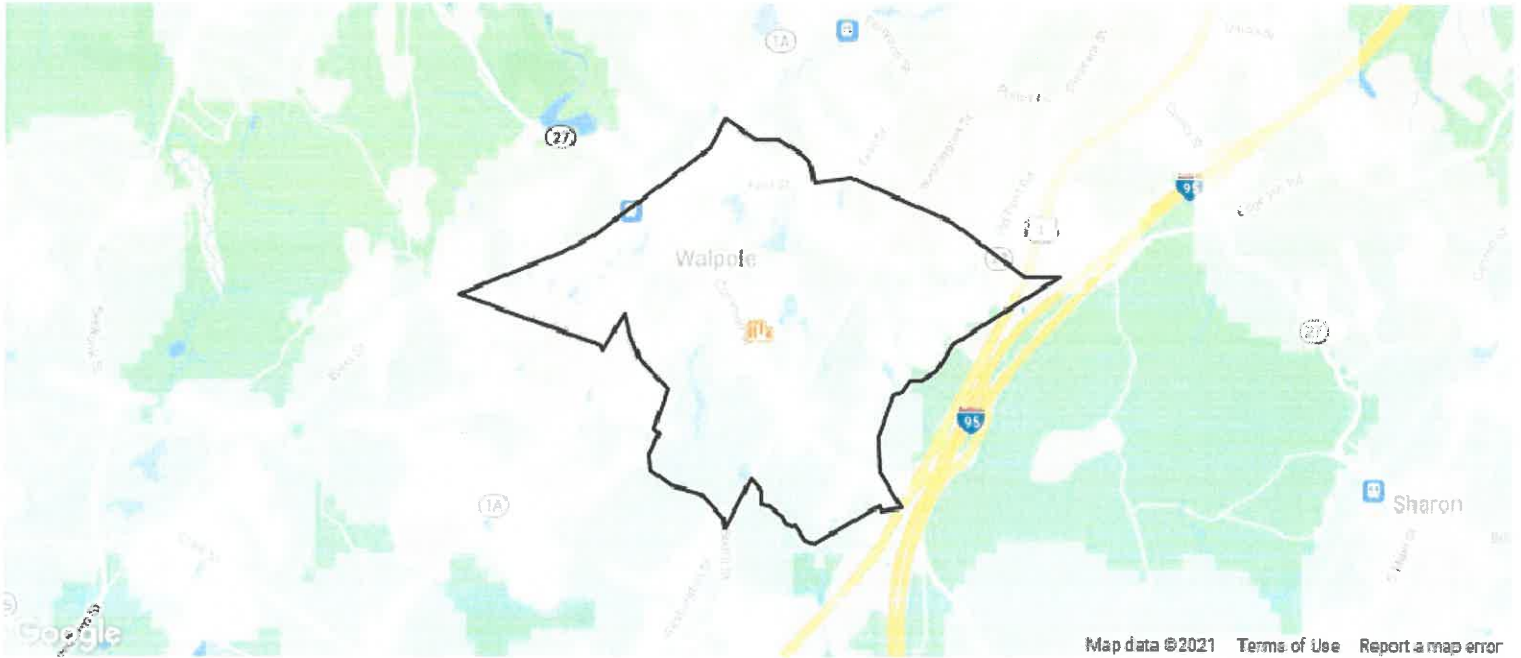
This map layer shows the change in estimated home values over the past 12 months, based on the AVMs and RVMs® for properties in an area. Source(s): Public records and MLS data where licensed; updated Quarterly.

<p>Median Est. Home Value</p> <p><b>\$388K</b></p> <p>Updated: 3/31/2021</p>	<p>Change Over Last 12 Months</p> <p><b>↑ 3.12%</b></p>	<p>Change Over Last 24 Months</p> <p><b>↑ 7.04%</b></p>	<p>Change Over Last 36 Months</p> <p><b>↑ 11.19%</b></p>
------------------------------------------------------------------------------	---------------------------------------------------------	---------------------------------------------------------	----------------------------------------------------------

About this Data: Estimated home values are generated by a valuation model and are not formal appraisals. Valuations are based on public records and MLS data where licensed. The metrics shown here reflect **Condos** data.

# Walpole, Massachusetts

## Market Snapshot: Concentration of Distressed Properties



Map data ©2021 Terms of Use Report a map error



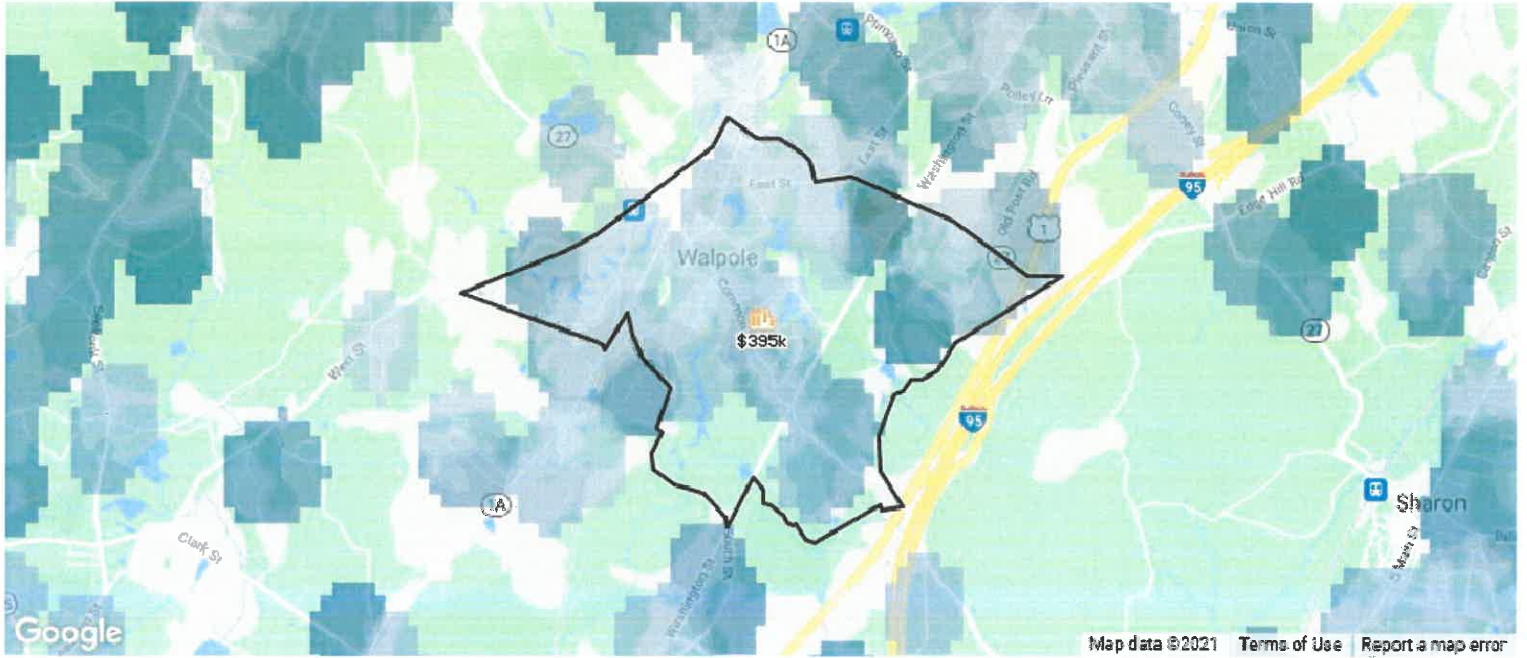
This map layer shows the concentration of distressed properties, in areas where RPR has MLS data. Source(s): MLS data; updated Quarterly.

<p><b>Total # of Distressed Properties</b></p> <p><b>1</b></p> <p>Updated: 4/21/2021</p>	<p><b># of Pre-Foreclosures</b></p> <p><b>0</b></p>	<p><b># of Foreclosures</b></p> <p><b>0</b></p>	<p><b># of Foreclosed</b></p> <p><b>1</b></p>
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About this data: The metrics displayed here reflect distressed property counts (listings and public records) for **Condos** as of 4/21/2021.

# Walpole, Massachusetts

## Market Snapshot: Sales Price



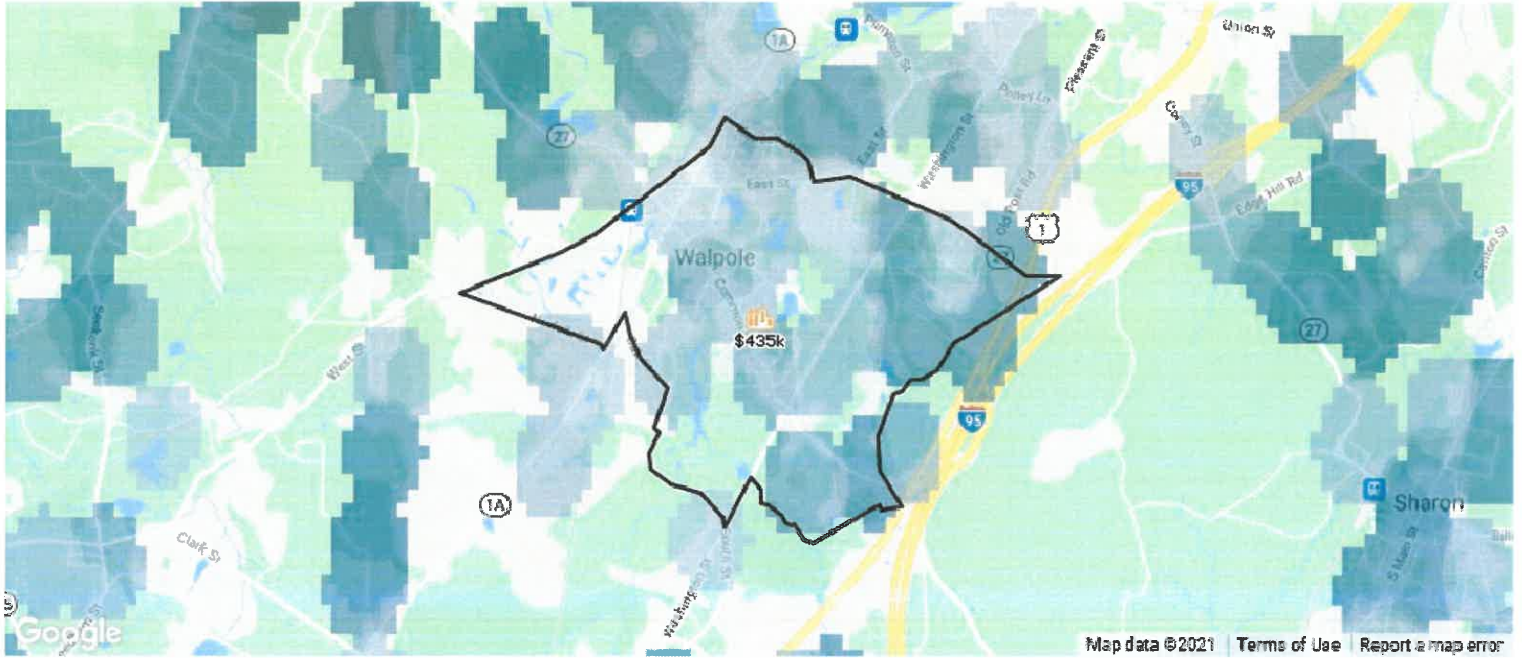
This map layer shows the average sales price for properties sold in the previous six months, in areas where RPR has MLS data. Source(s): MLS data; updated Quarterly.

<p><b>Median Sales Price</b></p> <p><b>\$395K</b></p> <p>Updated: 1/31/2021</p>	<p>Change Over Last Month</p> <p><b>↓ 19.34%</b></p>	<p>Change Over Last Quarter</p> <p><b>↓ 19.34%</b></p>	<p>Change Over Last 12 Months</p> <p><b>↑ 20.61%</b></p>	<p>Change Over Last 24 Months</p> <p><b>↓ 39.89%</b></p>
---------------------------------------------------------------------------------	------------------------------------------------------	--------------------------------------------------------	----------------------------------------------------------	----------------------------------------------------------

About this data: The Metrics displayed here reflect median sales price for **Condos** using **MLS listing** data.

# Walpole, Massachusetts

## Market Snapshot: List Price

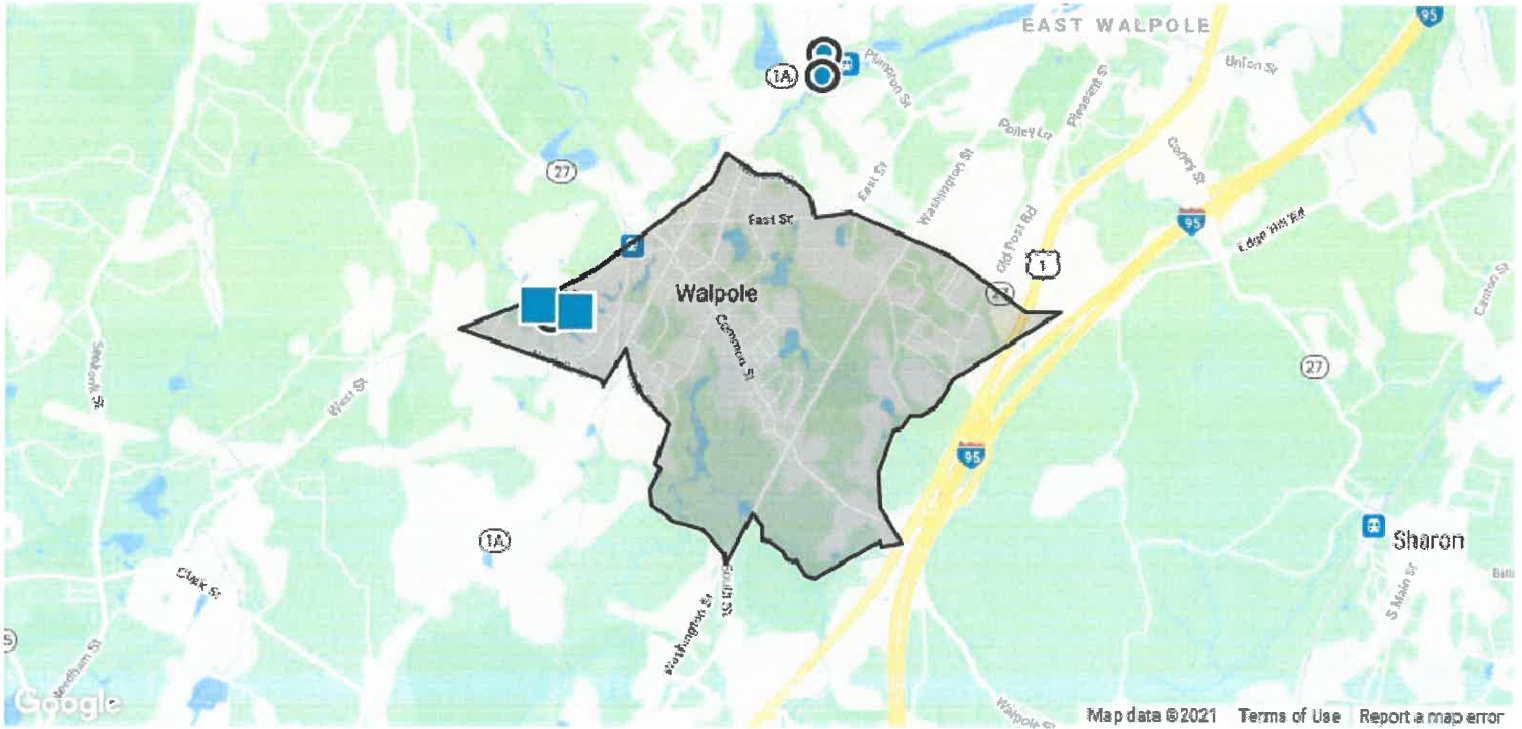


This map layer shows the average listing price for properties in the previous six months, in areas where RPR has MLS data. Source(s): MLS data; updated Quarterly.

<p><b>Median List Price</b></p> <p><b>\$435K</b></p> <p>Updated: 1/31/2021</p>	<p><b>Change Over Last Month</b></p> <p><b>↑ 6.64%</b></p>	<p><b>Change Over Last Quarter</b></p> <p><b>↑ 6.64%</b></p>	<p><b>Change Over Last 12 Months</b></p> <p><b>↑ 6.38%</b></p>	<p><b>Change Over Last 24 Months</b></p> <p><b>↓ 15.62%</b></p>
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About this data: The Metrics displayed here reflect median list price for **Condos** using **MLS listing** data.

## Market Activity Summary Stats

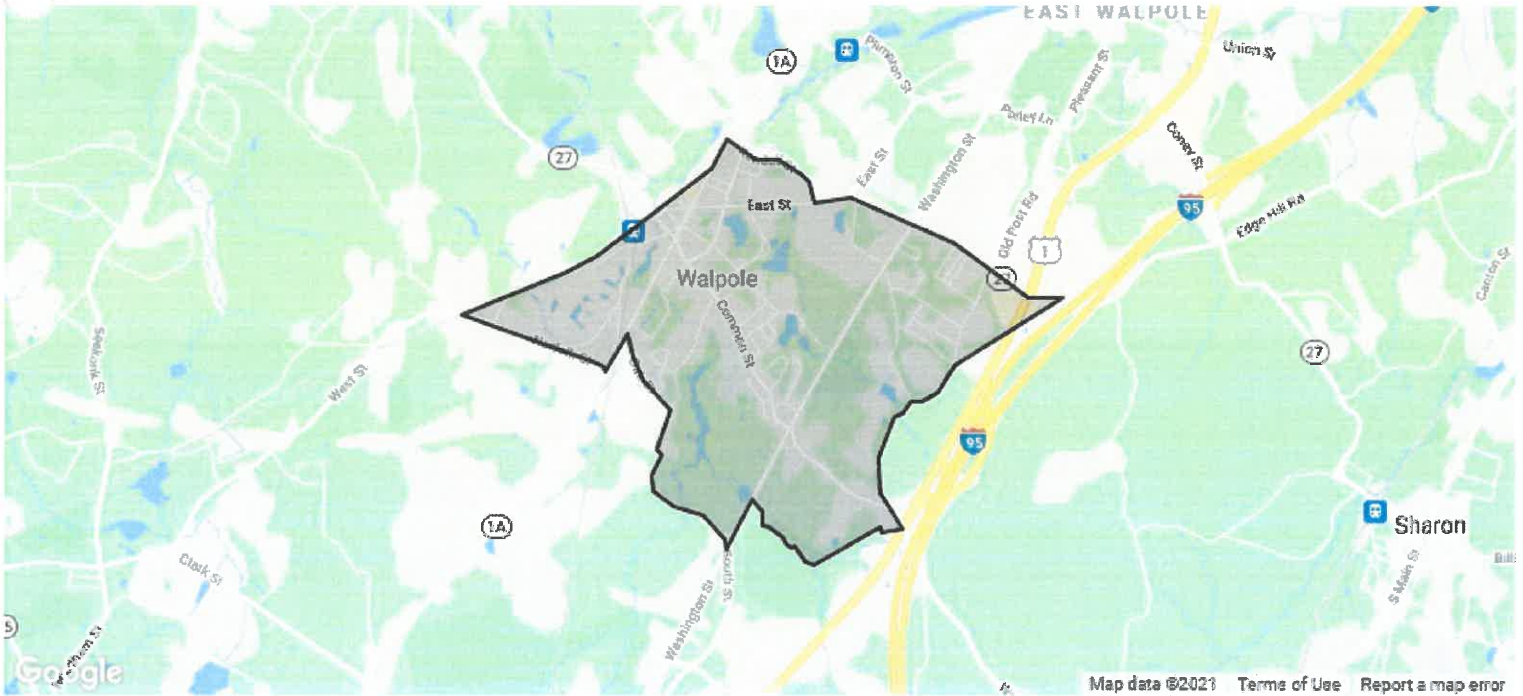


**Search Criteria** | **Location:** Walpole, Massachusetts; **Date:** Changes in the Last 3 Months; **Transaction Types:** For Sale; **Change Types:** New Listings, Pending, Closed, Distressed; **Property Types:** Condo/Townhouse/Apt.; **Sale Price:** \$475K – \$700K; **Beds:** 2 – No Max; **Baths:** 2 – No Max sqft; **Maximum Properties per Change Type:** 10; **Sort Order:** Price




	New	Pending	Closed
	New Listings	Pending	Closed
Number of Properties	5	10	5
Low Price / Value	\$483,010	\$499,000	\$511,000
Median Price / Value	\$558,690	\$546,588	\$525,000
High Price / Value	\$589,990	\$613,035	\$553,000
Average Price / Sq. Ft.	\$398	\$345	\$315
Median Price / Sq. Ft.	\$401	\$364	\$357
Average Days in RPR	54	60	64
Median Days in RPR	73	48	62
Total Volume	\$2,714,090	\$5,510,315	\$2,649,000





## Walpole, Massachusetts

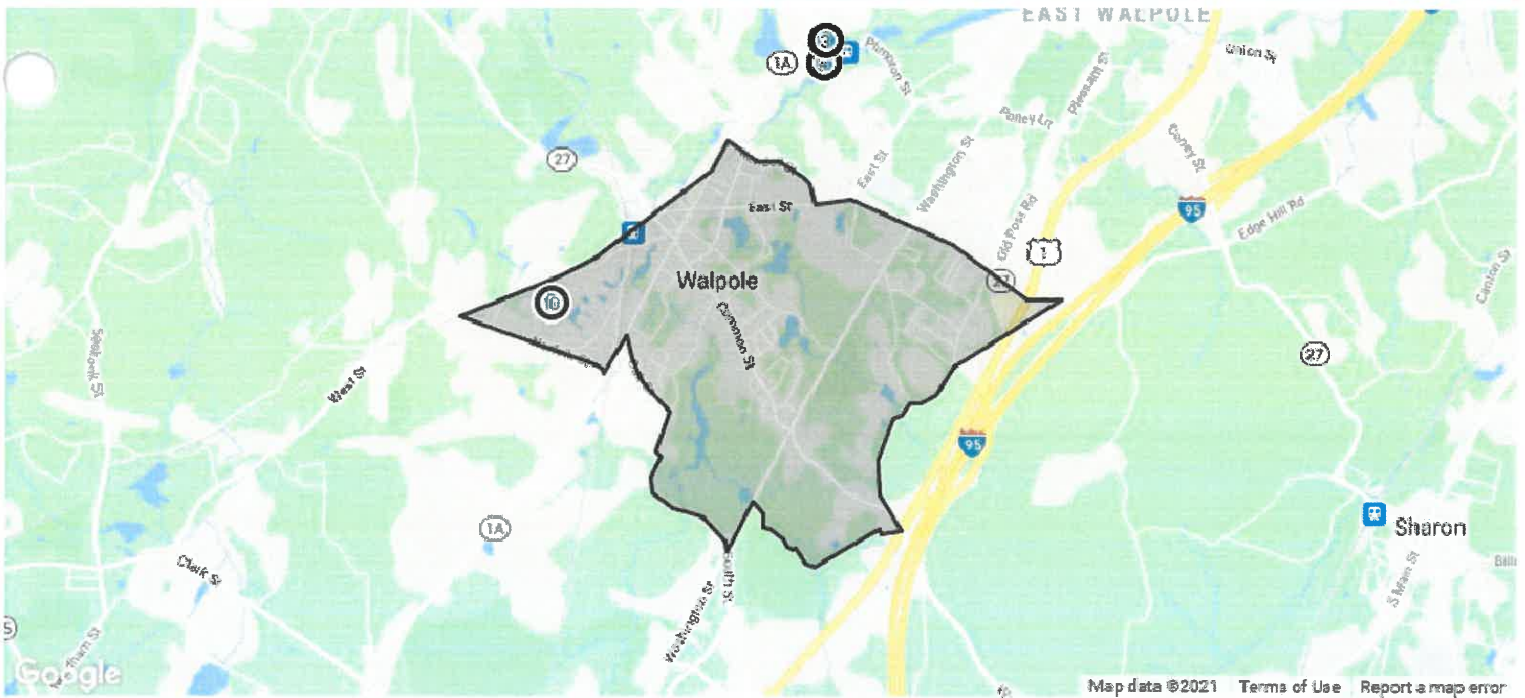


### New Listings: 5



	Prop Type	Bed /Ba	Living Area (sq ft)	Lot Size (sq ft)	Year Built	List Date	List / Lease Price	Price per sq. ft.		
	1 ● Active	MLS ID: 72779538	1412 Pennington Dr, #412	Condo/Townhouse/Apt. 2/2	1,470	—	2020	1/27/2021	\$589,990	\$401
<p><b>NEW CONSTRUCTION!! MOVE-IN READY!!</b> Want to make the move to a simpler lifestyle? This 1,470 SF, single-level, 2 Bed/2 bath home features an open eat-in quartz kitchen, large living room w/private balcony &amp; beautiful wooded views. Also includes a flex/dining area, spacious master suite w/walk-in closet, full bath with walk-in shower, guest bedroom and full bath. In-unit washer &amp; dryer, hardwood flooring, &amp; 2 deeded garage parking spaces! Great location close to Walpole Center, parks, restaurants—shopping &amp; Commuter Rail nearby! This is a zoned 55+ community.</p> <p><i>Listing Courtesy of Pulte Homes of New England</i></p>										
	2 ● Active	MLS ID: 72783301	2408 Pennington Dr, #2408	Condo/Townhouse/Apt. 2/2	1,325	—	2021	2/7/2021	\$563,400	\$425
<p><b>NEW PHASE RELEASE - Ready for Move-In Summer 2021!!</b> This 1,325 SF single level 2-bedroom home features an open eat-in quartz kitchen, formal dining room, large living room w/private balcony overlooking trees, spacious master suite two walk-in closets and full bath with walk-in shower, laundry room with full sized side by side washer &amp; dryer, hardwood flooring, Secure elevator building! Quaint community in walking distance to downtown and commuter rail. Close to all major highways, recreation &amp; more! Zoned 55+ community.</p> <p><i>Listing Courtesy of Pulte Homes of New England</i></p>										
	3 ● Active	MLS ID: 72817610	2213 Pennington Dr, #2213	Condo/Townhouse/Apt. 2/2	1,470	—	2021	4/20/2021	\$558,690	\$380
<p><b>NEW PHASE RELEASE - READY SUMMER 2021!!!</b> Ready to make the move to a simpler lifestyle? This 1,470 SF, single-level, 2 Bed/2 bath home features an open eat-in quartz kitchen, large living room w/private balcony &amp; beautiful wooded views. Also includes a flex/dining area, spacious master suite w/walk-in closet, full bath with walk-in shower, guest bedroom and full bath. In-unit washer &amp; dryer, hardwood flooring, &amp; 2 deeded garage parking spaces! Great location close to Walpole Center, parks, restaurants—shopping &amp; Commuter Rail nearby! This is a zoned 55+ community.</p> <p><i>Listing Courtesy of Pulte Homes of New England</i></p>										

## New Listings: 5 (cont.)






	Prop Type	Bed /Ba	Living Area (sq ft)	Lot Size (sq ft)	Year Built	List Date	List / Lease Price	Price per sq. ft.
	4 ● Active	MLS ID: 72799461						
	1301 Pennington Dr, #1301	Condo/Townhouse/Apt. 2/2	1,470	–	2020	3/17/2021	\$519,000	\$353
<p>RESALE. 55+ and downsizing? You will love this place. Got a dog/cat? Want to fire your mower and shovel detail? No problem here. You won't really be downsizing much except for yard maintenance and snow removal when you see this 1,470 square foot single-level 2 Bed/2 bath condo. ***THE SELLER WILL ENTERTAIN A HOME SALE CONTINGENCY*** The unit features an open eat-in granite kitchen, large living room w/private balcony. Great dining area, spacious master suite w/walk-in closet, full bath with walk-in shower, guest bedroom and a 2nd full bath. In-unit washer &amp; dryer (to stay). Unit has hardwood flooring. 2 deeded underground garage parking spaces! Great location close to Walpole Center, Bird Park, downtown restaurants/coffee. Grocery and pharmacies nearby. Jump the commuter rail to Boston and enjoy your life. This unit is ready for occupancy NOW. 55 condo association.</p> <p><i>Listing Courtesy of Century 21 American Properties</i></p>								
	5 ● Active	MLS ID: 72781547						
	2305 Pennington Dr, #2305	Condo/Townhouse/Apt. 2/2	1,121	–	2021	2/2/2021	\$483,010	\$431
<p>NEWPHASE RELEASE - READY SUMMER 2021!! This single-level 2 BD/2BA w/Den home features an open eat-in quartz kitchen, large living room with slider to private balcony, separate den/office, spacious master suite w/walk-in closet, laundry room with full sized side by side washer &amp; dryer and hardwood flooring. Perfect location to Walpole Center, library, and some fantastic restaurants. Close access to Rte 95 and Rte 1 and Commuter Rail. Leave traditional homeownership headaches behind! Zoned 55+ community.</p> <p><i>Listing Courtesy of Pulte Homes of New England</i></p>								






Pending: 10

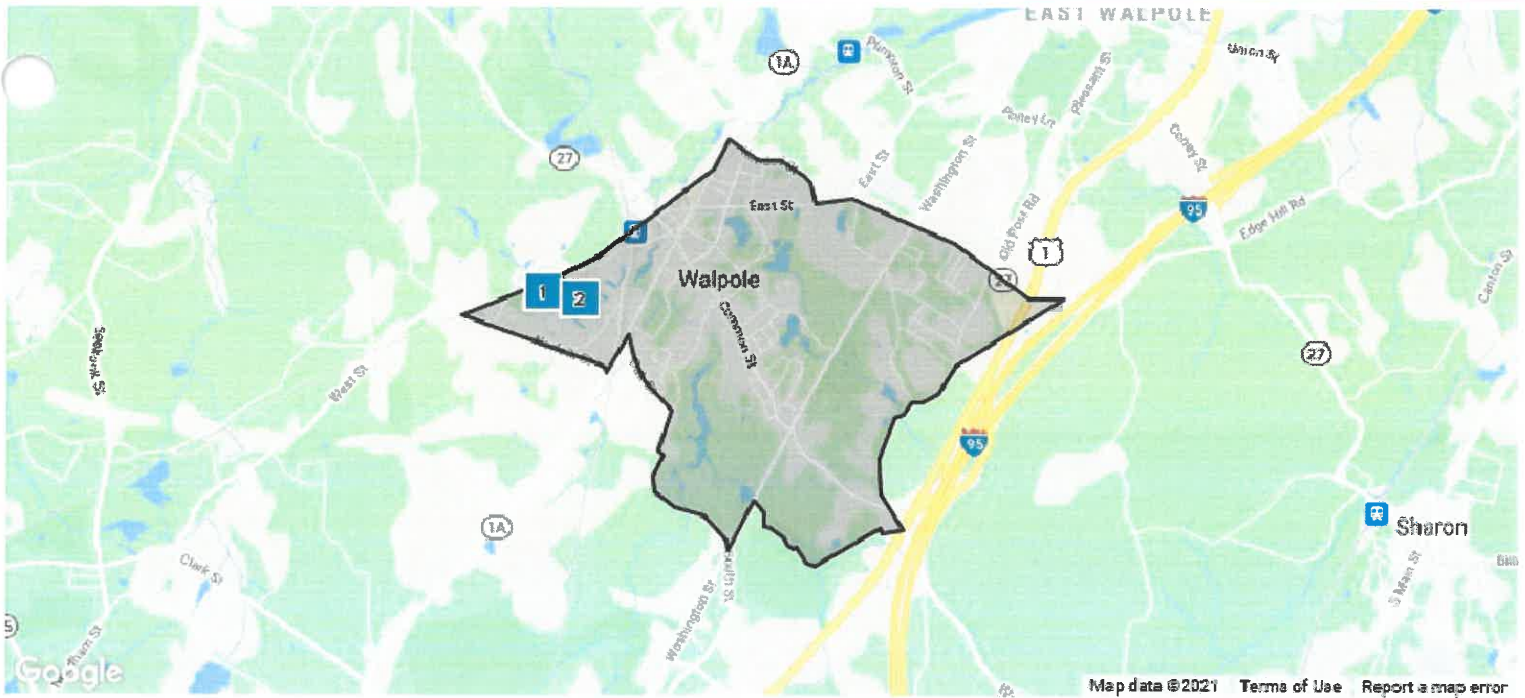
	Prop Type	Bed /Ba	Living Area (sq ft)	Lot Size (sq ft)	List Date	List / Lease Price	Pending Date	Price per sq. ft.
 <p><b>1 Pending</b> <i>MLS ID: 72808238</i></p> <p><b>2412 Pennington Dr, #2412</b> Condo/Townhouse/Apt. 2/2 1,470 - 4/3/2021 \$613,035 4/6/2021 \$417</p> <p><b>NEW PHASE RELEASE - READY SUMMER 2021!!!</b> Ready to make the move to a simpler lifestyle? This 1,470 SF, single-level, 2 Bed/2 bath home features an open eat-in quartz kitchen, large living room w/private balcony &amp; beautiful wooded views. Also includes a flex/dining area, spacious master suite w/walk-in closet, full bath with walk-in shower, guest bedroom and full bath. In-unit washer &amp; dryer, hardwood flooring, &amp; 2 deeded garage parking spaces! Great location close to Walpole Center, parks, restaurants-shopping &amp; Commuter Rail nearby! This is a zoned 55+ community.</p> <p><i>Listing Courtesy of Pulte Homes of New England</i></p>								
 <p><b>2 Pending</b> <i>MLS ID: 72799904</i></p> <p><b>2406 Pennington Dr, #2406</b> Condo/Townhouse/Apt. 2/2 1,470 - 3/17/2021 \$606,820 3/19/2021 \$413</p> <p><b>NEW PHASE RELEASE - READY SUMMER 2021!!!</b> Ready to make the move to a simpler lifestyle? This 1,470 SF, single-level, 2 Bed/2 bath home features an open eat-in quartz kitchen, large living room w/private balcony &amp; beautiful wooded views. Also includes a flex/dining area, spacious master suite w/walk-in closet, full bath with walk-in shower, guest bedroom and full bath. In-unit washer &amp; dryer, hardwood flooring, &amp; 2 deeded garage parking spaces! Great location close to Walpole Center, parks, restaurants-shopping &amp; Commuter Rail nearby! This is a zoned 55+ community.</p> <p><i>Listing Courtesy of Pulte Homes of New England</i></p>								

## Pending: 10 (cont.)




	Prop Type	Bed /Ba	Living Area (sq ft)	Lot Size (sq ft)	List Date	List / Lease Price	Pending Date	Price per sq. ft.
	3	3	2,494	—	4/7/2021	\$589,000	4/16/2021	\$236
<p><b>3 Pending</b> <i>MLS ID: 72809861</i></p> <p><b>267 Plimpton St, #267</b> Condo/Townhouse/Apt. 3/3</p> <p>Come check out this beautiful townhouse that feels like a single family home! First floor boasts an open floor plan, with gleaming hardwood floors, a large living room with a corner gas fireplace, a generous kitchen/dining combo, with french doors to a private deck and a huge, level, fenced-in backyard. There also is a walk-in pantry and 1/2 bath, plus interior access to a one car garage. Head upstairs to three well proportioned bedrooms: the master suite has a big walk-in closet and a stunning bathroom, while the other two bedrooms share a full bathroom. Not to be missed is the third floor, which is perfect for a home office (or two), a play room, or an extra bedroom. Rounding out this wonderful home is the full basement, with laundry, a potential workout area/kids' space, and plenty of storage. A short stroll to the commuter rail to Boston and the busline at the end of the street, as well as Edean Trail, make this house the perfect location. First showings begin this weekend!</p> <p><i>Listing Courtesy of Deland Real Estate, LLC</i></p>								
	4	2/3	1,876	—	2/23/2021	\$565,000	3/15/2021	\$301
<p><b>4 Pending</b> <i>MLS ID: 72788755</i></p> <p><b>10 Tilton Ct, #10</b> Condo/Townhouse/Apt. 2/3</p> <p>OPEN HOUSE CANCELLED View this sprawling newer (6 years young) condo located at the end of the cul-de-sac in a quaint with 16 unit complex. The spacious floor plan will delight you. Enter into your new home with a half bath on lower level, breakfast nook and kitchen with upgraded cabinets from floor to ceiling! The kitchen countertop is a beautiful quartz with a peninsula and gas cooking &amp; outside vented hood!! Open floor plan means you'll have the dining area off the kitchen which goes out onto your deck thru slider doors. The big, open living room has soaring ceilings. All hardwood flooring throughout the 2 levels of living area. The two bedrooms are spacious enough to accommodate king sized beds! The master bathroom is a tiled walk-in shower with upgraded cabinetry/closet. Basement has high ceilings &amp; full sized window for an additional 900 sq. ft. of living area or cold storage. PETS ALLOWED! There is a dog walking area at end of cul-de-sac.</p> <p><i>Listing Courtesy of Coldwell Banker Realty - Franklin</i></p>								
	5	2/2	1,470	—	1/31/2021	\$548,225	2/10/2021	\$373
<p><b>5 Pending</b> <i>MLS ID: 72783303</i></p> <p><b>2306 Pennington Dr, #2306</b> Condo/Townhouse/Apt. 2/2</p> <p>NEW PHASE RELEASE - READY SUMMER 2021!!! Ready to make the move to a simpler lifestyle? This 1,470 SF, single-level, 2 Bed/2 bath home features an open eat-in quartz kitchen, large living room w/private balcony &amp; beautiful wooded views. Also includes a flex/dining area, spacious master suite w/walk-in closet, full bath with walk-in shower, guest bedroom and full bath. In-unit washer &amp; dryer, hardwood flooring, &amp; deeded garage parking!! Great location close to Walpole Center, parks, restaurants—shopping &amp; Commuter Rail nearby! This is a zoned 55+ community.</p> <p><i>Listing Courtesy of Pulte Homes of New England</i></p>								
	6	2/2	1,470	—	4/2/2021	\$544,950	4/8/2021	\$371
<p><b>6 Pending</b> <i>MLS ID: 72808067</i></p> <p><b>2201 Pennington Dr, #2201</b> Condo/Townhouse/Apt. 2/2</p> <p>NEW PHASE RELEASE - READY SUMMER 2021!!! Ready to make the move to a simpler lifestyle? This 1,470 SF, single-level, 2 Bed/2 bath home features an open eat-in quartz kitchen, large living room w/private balcony &amp; beautiful wooded views. Also includes a flex/dining area, spacious master suite w/walk-in closet, full bath with walk-in shower, guest bedroom and full bath. In-unit washer &amp; dryer, hardwood flooring, &amp; 2 deeded garage parking spaces! Great location close to Walpole Center, parks, restaurants—shopping &amp; Commuter Rail nearby! This is a zoned 55+ community.</p> <p><i>Listing Courtesy of Pulte Homes of New England</i></p>								
	7	2/2	1,470	—	2/26/2021	\$525,130	3/1/2021	\$357
<p><b>7 Pending</b> <i>MLS ID: 72790570</i></p> <p><b>2101 Pennington Dr, #2101</b> Condo/Townhouse/Apt. 2/2</p> <p>NEW PHASE RELEASE - READY SUMMER 2021!!! Ready to make the move to a simpler lifestyle? This 1,470 SF, single-level, 2 Bed/2 bath home features an open eat-in quartz kitchen, large living room w/private balcony &amp; beautiful wooded views. Also includes a flex/dining area, spacious master suite w/walk-in closet, full bath with walk-in shower, guest bedroom and full bath. In-unit washer &amp; dryer, hardwood flooring, &amp; 2 deeded garage parking spaces! Great location close to Walpole Center, parks, restaurants—shopping &amp; Commuter Rail nearby! This is a zoned 55+ community.</p> <p><i>Listing Courtesy of Pulte Homes of New England</i></p>								

Pending: 10 (cont.)



	Prop Type	Bed /Ba	Living Area (sq ft)	Lot Size (sq ft)	List Date	List / Lease Price	Pending Date	Price per sq. ft.
	8	<b>Pending</b>	MLS ID: 72779469					
	2311 Pennington Dr, #2311	Condo/Townhouse/Apt. 2/2	1,325	-	1/27/2021	\$519,640	2/4/2021	\$392
<p>NEW PHASE RELEASE - Ready for Move-In Summer 2021!! This 1,325 SF single level 2-bedroom home features an open eat-in quartz kitchen, formal dining room, large living room w/private balcony overlooking trees, spacious master suite two walk-in closets and full bath with walk-in shower, laundry room with full sized side by side washer &amp; dryer, hardwood flooring, Secure elevator building! Quaint community in walking distance to downtown and commuter rail. Close to all major highways, recreation &amp; more! Zoned 55+ community.</p> <p><i>Listing Courtesy of Pulte Homes of New England</i></p>								
	9	<b>Pending</b>	MLS ID: 72736788					
	2106 Pennington Dr, #2106	Condo/Townhouse/Apt. 2/2	1,470	-	10/2/2020	\$499,515	3/3/2021	\$340
<p>NEW PHASE RELEASE - READY SPRING 2021!!! Ready to make the move to a simpler lifestyle? This 1,470 SF, single-level, 2 Bed/2 bath home features an open kitchen with island, large living room w/private balcony. Open plan includes a flex/dining area, spacious master suite with triple windows, w/walk-in closet, full bath with walk-in shower, guest bedroom and full bath. In-unit washer &amp; dryer. Great location close to Walpole Center, parks, restaurants-shopping &amp; Commuter Rail nearby! This is a zoned 55+ community.</p> <p><i>Listing Courtesy of Pulte Homes of New England</i></p>								
	10	<b>Pending</b>	MLS ID: 72796084					
	121 Clear Pond Dr, #121	Condo/Townhouse/Apt. 3/2	2,015	-	3/10/2021	\$499,000	3/29/2021	\$248
<p>Easy living awaits you at this spacious townhome with first floor primary suite! Light and bright throughout, with large windows and high ceilings, this home offers both convenience and elegance. Your living room, with cathedral ceiling and gas fireplace, opens into your dining room, a perfect set up for entertaining. The large kitchen has a beautiful dining area surrounded by windows overlooking your private backyard. Your grand, first floor primary suite offers a cathedral ceiling, walk-in closet and en-suite bathroom. Also included on the first level are your 2nd bedroom, full guest bathroom, den/office, and laundry. Upstairs you'll find a 3rd bedroom and an enormous attic storage space. You have additional storage as well in your oversized one car garage. The community of Swan Pond offers clubhouse, pool and tennis. Showings begin at first Open House Saturday 3/13, 12:30-2:30.</p> <p><i>Listing Courtesy of Compass</i></p>								



## Closed: 5

	Prop Type	Bed /Ba	Living Area (sq ft)	Lot Size (sq ft)	Year Built	Close Date	Close Price	Price per sq. ft.
 <p><b>1</b> Closed <i>MLS ID: 72783768</i></p> <p><b>27 Pintail Rd, #27</b></p> <p>Condo/Townhouse/Apt. 3/3 2,600 — 1998 4/12/2021 \$553,000 \$213</p> <p>This beautiful and spacious town home is located in the very convenient Swan Pond Community. This home has a versatile floor plan that is sure to please. Features TWO master bedrooms, one located on each floor, both suites have their own private bath. The first floor also has an additional bedroom or office. There is a large finished bonus room that can be used as an office, bedroom or a home school room. Ample storage in the 32 X 15 walk in attic space. The floor plans allow for so many uses; this home truly fits the new normal. Enjoy the comfort of a large town house with a private, newly fenced backyard with a new granite paver patio &amp; built in gas grill piped into the house. Great for entertaining on those summer nights. Great location close to downtown Walpole, commuter rail to Boston or Foxboro. Too many updates to mention; email me for list. NO SHOWINGS TIL OPEN HOUSE SAT. 3/6 12:00-1:30 &amp; SUN. 3/7 11:00-12:30. NO APPOINTMENT REQUIRED. BEST &amp; FINAL OFFERS DUE BY 3/8 @ 12</p> <p><i>Courtesy of Century 21 North East</i></p>								
 <p><b>2</b> Closed <i>MLS ID: —</i></p> <p><b>40 Pelican Dr</b></p> <p>Condo/Townhouse/Apt. 3/3 2,339 — 1997 3/1/2021 — \$231</p>								
 <p><b>3</b> Closed <i>MLS ID: 72772406</i></p> <p><b>1207 Pennington Dr, #207</b></p> <p>Condo/Townhouse/Apt. 2/2 1,470 — 2020 2/25/2021 \$525,000 \$357</p> <p>NEW CONSTRUCTION!! Ready to make the move to a simpler lifestyle? This 1,470 SF, single-level, 2 Bed/2 bath home features an open eat-in quartz kitchen, large living room w/private balcony &amp; beautiful wooded views. Also includes a flex/dining area, spacious master suite w/walk-in closet, full bath with walk-in shower, guest bedroom and full bath. In-unit washer &amp; dryer, hardwood flooring, &amp; 2 deeded garage parking spaces! Great location close to Walpole Center, parks, restaurants—shopping &amp; Commuter Rail nearby! This is a zoned 55+ community.</p> <p><i>Courtesy of Pulte Homes of New England</i></p>								

Closed: 5 (cont.)

	Prop Type	Bed /Ba	Living Area (sq ft)	Lot Size (sq ft)	Year Built	Close Date	Close Price	Price per sq. ft.
	4	Closed	MLS ID: 72755885					
	1410 Pennington Dr, #1410	Condo/Townhouse/Apt. 2/2	1,325	-	2020	1/21/2021	\$513,000	\$387
<p>This 1,325 SF single level top floor 2 bedroom home features an open eat-in granite kitchen, formal dining room, large living room w/private balcony overlooking trees, spacious master suite two walk-in closets and full bath with walk-in shower, laundry room with full sized side by side washer &amp; dryer, hardwood flooring, Deeded Garage Parking, elevator access! Quaint community walking distance to downtown and commuter rail. Close to all major highways, recreation &amp; more! Zoned 55+ community.</p> <p><i>Courtesy of Pulte Homes of New England</i></p>								
	5	Closed	MLS ID: 72725454					
	1411 Pennington Dr, #1411	Condo/Townhouse/Apt. 2/2	1,325	-	2020	1/26/2021	\$511,000	\$386
<p>JUST REDUCED BY \$10K! This Home is Move-In Ready! This 1,325 SF single level top floor 2 bedroom home features an open eat-in granite kitchen, formal dining room, large living room w/private balcony overlooking trees, spacious master suite two walk-in closets and full bath with walk-in shower, laundry room with full sized side by side washer &amp; dryer, hardwood flooring, Deeded Garage Parking, elevator access! Quaint community walking distance to downtown and commuter rail. Close to all major highways, recreation &amp; more! Zoned 55+ community.</p> <p><i>Courtesy of Pulte Homes of New England</i></p>								

## About RPR (Realtors Property Resource)

- Realtors Property Resource® is a wholly owned subsidiary of the National Association REALTORS®.
- RPR offers comprehensive data – including a nationwide database of 164 million properties – as well as powerful analytics and dynamic reports exclusively for members of the NAR.
- RPR's focus is giving residential and commercial real estate practitioners, brokers, and MLS and Association staff the tools they need to serve their clients.
- This report has been provided to you by a member of the NAR.



## About RPR's Data

RPR generates and compiles real estate and other data from a vast array of sources. The data contained in your report includes some or all of the following:

- **Listing data** from our partner MLSs and CIEs, and related calculations, like estimated value for a property or median sales price for a local market.
- **Public records data** including tax, assessment, and deed information. Foreclosure and distressed data from public records.
- **Market conditions and forecasts** based on listing and public records data.
- **Census and employment data** from the U.S. Census and the U.S. Bureau of Labor Statistics.
- **Demographics and trends data** from Esri. The data in commercial and economic reports includes Tapestry Segmentation, which classifies U.S. residential neighborhoods into unique market segments based on socioeconomic and demographic characteristics.
- **Business data** including consumer expenditures, commercial market potential, retail marketplace, SIC and NAICS business information, and banking potential data from Esri.
- **School data and reviews** from Niche.
- **Specialty data sets** such as walkability scores, traffic counts and flood zones.



## Update Frequency

- Listings and public records data are updated on a continuous basis.
- Charts and statistics calculated from listing and public records data are refreshed monthly.
- Other data sets range from daily to annual updates.

## Learn more

For more information about RPR, please visit RPR's public website: <https://blog.narpr.com>





**APPLICANT QUALIFICATIONS**

Contacts

Site Approval Application/Homeownership

Neponset Village LLC

Applicant Qualifications, Entity Information, and Certification

Submit Print

Affiliated Entity Certification & Acknowledgement Previous Applications Attachments

Upload

Attachment:

6.1 Development Team Qualifications



Choose File

No file chosen

Upload

Uploaded Attachments

6.1 Development Team Qualifications McSharry Bros Resume Projects.pdf	Delete
6.2 Applicant Entity 40B Experience Development Team Experience.xls	Delete
6.3 Request for Fair Housing Experience SEB HOUSING CLIENT LIST_2021.pdf	Delete
6.5 Signed Certifications & Acknowledgement Developer Certification Signed.pdf	Delete

6.1 Development Team Qualifications (required):

Please attach resumes for principal team members and list of all relevant project experience for 1) the team as a whole and 2) individual team members. Particular attention should be given to demonstrating experience with (i) projects of a similar scale and complexity of site conditions, (ii) permitting an affordable housing development, (iii) design, and (iv) financing. The development team should demonstrate the ability to perform as proposed and to complete the Project in a competent and timely manner, including the ability to pursue and carry out permitting, financing, marketing, design and construction.

6.2 Applicant Entity 40B Experience:

Please identify every Chapter 40B project in which the Applicant or a member of the project team has or had an interest. For each such project, state whether the construction has been completed and whether cost examination has been submitted.

6.3 Request for Fair Housing Experience (required):

Please attach a description of your experience in marketing and renting housing units in accordance with state and federal fair housing standards. Please note your experience in preparing Affirmative Fair Housing Marketing and Resident Selection Plans (AFHMP) and in conducting outreach and performing resident selection procedures in accordance with these standards. Please consult the Guidelines for specific requirements of the development team regarding the capacity to handle fair housing compliance.

**6.4 Applicant's Certification:**

Please attach any additional sheets and any written explanations for questions answered with "yes" as required for Certification.

**6.5 Signed Certification & Acknowledgement:**

Please print the application using the "Print" button above, and submit the signed and dated Certification & Acknowledgement page.

**Certification and Acknowledgement**

I hereby certify on behalf of the Applicant, under pains and penalties of perjury, that the information provided above for each of the Applicant Entities is, to the best of my knowledge, true and complete; and that each of the following questions has been answered correctly to the best of my knowledge and belief:

*(Please attach a written explanation for all of the following questions that are answered with a "Yes". Explanations should be attached to this Section 6.)*

Question	Answer
Is there pending litigation with respect to any of the Applicant Entities ?	No
Are there any outstanding liens or judgments against any properties owned by any of the Applicant Entities ?	No
Have any of the Applicant Entities failed to comply with provisions of Massachusetts law related to taxes , reporting of employees and contractors, or withholding of child support?	No
Have any of the Applicant Entities ever been the subject of a felony indictment or conviction ?	No
During the last 10 years, have any of the Applicant Entities ever been party to a lawsuit involving fraud , gross negligence, misrepresentation, dishonesty, breach of fiduciary responsibility or bankruptcy?	No
Have any of the Applicant Entities failed to carry out obligations in connection with a Comprehensive Permit issued pursuant to M.G.L. c. 40B and any regulations or guidelines promulgated thereunder (whether or not MassHousing is or was the Subsidizing Agency/Project Administrator) including, but not limited to, completion of a cost examination and return of any excess profits or distributions?	No
Have any of the Applicant Entities ever been charged with a violation of state or federal fair housing requirements ?	No
Are any of the Applicant Entities not current on all existing obligations to the Commonwealth of Massachusetts , and any agency, authority or instrument thereof?	No

I further certify that the information set forth in this application (including attachments) is true, accurate and complete as of the date hereof to the best of my/our knowledge, information and belief. I further understand that MassHousing is relying on this information in processing the request for Site Approval in connection with the above-referenced project; and

I hereby acknowledge our commitment and obligation to comply with requirements for cost examination and limitations on profits and distributions, all as found at 760 CMR 56.04(8) and will be more particularly set forth in a Regulatory Agreement by and between the Applicant and MassHousing.

I hereby acknowledge that will be required to provide financial surety by means of bond, cash escrow and a surety escrow agreement or letter of credit with the agreement that it may be called upon or used in the event that the Developer fails either to (i) complete and submit the examined Cost Certification as required by 760 CMR 56.04(8) and the Regulatory Agreement, or (ii) pay over to the Subsidizing Agency or the Municipality any funds in excess of the limitations on profits and distributions from capital sources as required by 760 CMR 56.04(8) and as set forth in the Regulatory Agreement.

Signature: 

Name: Robert R. Lincoln  
Title: General Manager and Member  
Date: 07/30/2021

## PERSONAL PROFILE

Mr. Lincoln has over forty years of finance, accounting and management experience and over twenty five years of real estate development and construction experience. His development experience includes all facets of land acquisition, entitlement, site design/layout, engineering, environmental (brownfields), surveying and construction. Mr. Lincoln's construction experience includes many single family remodels, over thirty custom homes (\$610,000 to \$2,100,000), over 100 production homes (\$350,000 to \$700,000) and three multi-family apartment projects – one currently under construction that contains 193 units with commercial. His construction experience includes house design (working with various architects and designers), site engineering design, construction management, land entitlement, financing and marketing. Mr. Lincoln maintains Massachusetts Construction Supervisor (Unlimited) and Remodeler licenses in Massachusetts and Rhode Island.

Mr. Lincoln obtained his Bachelors of Science in Accounting from Bentley College in 1980, a Certificate of Public Accountancy (Texas and Massachusetts) and a Masters of Business Administration from Houston Baptist University in 1985. The CPA licenses are inactive at this time.

## WORK EXPERIENCE

**1999 – Present, Managing Member, Coneco Building LLC, Bridgewater, MA.** Co-owner of this residential development and construction firm. Projects include several single family production style home developments, many large custom homes, several multi-family rental projects. See Project Experience section below.

**1996 – 2018, President, F. L. Beard, Mt. Carmel, IL.** President and majority owner of a crude oil exploration and production firm. Effected leveraged buyout and 3 subsequent acquisitions totaling \$4.0MM. Production included a major secondary recovery project that yielded approximately 411,000 barrels over 8 years (67% owned by FLB) and 1,100 acres of contiguous operating leases. Operations included approximately 140 barrels of net daily production and 5 work-over rigs, all operated and managed by 21 FLB employees. Business was sold to a competitor in 2018.

**1992 – Present, President, Coneco Engineers & Scientists, Bridgewater, MA.** Owner and operator of this 58 person civil engineering, surveying, and environmental consulting firm with offices in Bridgewater, MA, Westford, MA and Glastonbury, CT. Annual sales are \$9MM plus.

**1993 – 1999, Partner, R. D. Matthews Construction Co., Inc., Hanover, MA.** Partner with Richard D. Matthews, a frame to finish developer/builder that was established in the 1950's. Projects included construction of custom colonial homes in Hingham, Norwell and Hanover, MA.

**1988 – 1992, Senior Vice President & Partner, Venture Founders Partners, Lexington, MA.** Officer of this venture capital firm founded in the early 1970's. Successfully raised \$25MM to form a investment fund that eventually included investments in high technology, environmental services, magazine publications, and energy demand management (ESCO). Venture Founders' investment philosophy included active involvement in operational, finance, and strategic management decisions.

**1985 – 1988, Vice President, The Maddox Interests, Houston, TX.** Responsible for investment due diligence, investor relations, financial analyses, operations and re-financing/workouts for this private real estate and investment advisory firm. Development projects included high-rise commercial and industrial properties in Houston, Dallas and San Antonio. Representative projects included parking garages, data storage facilities, a hotel, and inner city historic rehabilitations. Other investment offerings managed included equipment leasing, oil & gas exploration and land development.

**1983 – 1985, Chief Financial Officer, LAMCO, Houston, TX.** Responsible for all financial operations for a \$8MM annual sales railroad tank and hopper car leasing and management firm. Active member in merger/sale of company.

**1980 – 1983 Senior Auditor, Fox & Company CPA's, Houston, TX.** Responsibilities included financial audits and tax services for a wide variety of private and public companies based in Texas and Louisiana.

## PROJECT EXPERIENCE

**1985 – 1988, Suite Hotel, Dallas, TX.** Working for owner/developer, provided financial and management oversight for the construction of a new 114 room suite hotel in Dallas, TX. Responsibilities included establishment and management of construction budgets, cost overrun management and post-construction operational oversight. *Construction Cost - \$17MM.*

**1994 – Present, Custom Built Homes, Various, MA.** General manager and partner responsible for site development and construction of over 30 single family homes in the South Shore area. Homes range in size from 3,100 to 5,300 square feet. Duties include all facets of building process from site design, utilities, material management, subcontractor solicitation and management, budget control, time management and sales/marketing. Projects included permitting and infrastructure such as wetlands, Zoning Boards of Appeals, Planning Boards, Boards of Health, gas line extensions, road construction, drainage, hydrant extensions, etc.

**Easton, MA – Comprehensive Permit, 26-Unit Duplex development (7 affordable).** Development includes 13 duplexes, 7 of which are affordable under a Comprehensive Permit approved by MassHousing and the Town of Easton Zoning Board of Appeals. The homes are 2,200 square foot, 3-bedroom, 2 ½ bath duplex homes served by a common septic system and a 1,500 cul-de-sac. Completed 2017. *Construction cost - \$7.2MM.*

**East Bridgewater, MA – Comprehensive Permit, 66-Unit Single Family and Duplex development.** Project included 66 units on 29 acres serviced by 3,700 lineal feet of road. Sewage is handled by a 22,000 gallon per day pretreatment system filed with DEP under a Groundwater Discharge Permit. Site development was started July, 2005. The development is 100% Energy Star™ rated and all heating and air conditioning is by geothermal. Project completed in 2015. *Construction Cost \$17.2MM.*

**Hanover, MA – Comprehensive Permit, 74-Unit Apartment development.** Comprehensive permit project included two 3-story buildings serviced by elevators encompassing approximately 82,000 square feet. Rental units included upscale 1/1 and 2/2 units, administrative offices, library/reading room, function room and kitchen. Project had direct frontage on Route 53 within close proximity to Route 3 interchange. Construction completed June, 2009. *Construction Cost \$14.4MM.*

**Hanover, MA – Comprehensive Permit, 76-Unit Apartment development.** Comprehensive permit project includes two 3-story buildings serviced by elevators encompassing approximately 110,000 square feet located on 10 acres abutting Route 3. Rental units include upscale 1/1 and 2/2 units. Completed 2018. *Construction Cost \$17.8MM.*

**Easton, MA – Comprehensive Permit, 28-Unit Single Family development.** Comprehensive permit project includes 28 cottage style single family homes in a condominium regime. Construction began 2018 with anticipated completion 2021. *Construction Cost \$8.7MM.*

**N. Attleboro, MA – 193-Unit plus commercial rental development.** Project encompassed razing the historic and contaminated Balfour mill building, extensive environmental remediation and construction of residential rental units in 3-six story buildings. First floor steel podiums contain a parking garage, amenity spaces, and commercial rental units. Anticipated completion March, 2021. *Estimated Construction Cost \$41MM.*

***Easton, MA – 44-Single Family development.*** Project is nearly complete permitting. Development was rezoned by the Town. The project contains sensitive wetland areas including a bridge, flood plain engineering, vernal pool identification, extensive environmental investigation and minor remediation. Development will include a clubhouse and modestly upscale homes. Completion is expected 2025.  
*Estimated Construction Cost \$24MM.*

**McSharry Bros., Inc - Current Projects**

		Units
2021	Schooner Estates	9

9 lot subdivisions in Norwell , MA

**McSharry Bros., Inc - Completed Projects**

2018	Deer Common	12
2018	Autumn Avenue	4
2011	Robbins Pond Subdivision	25
2007	Robbins Wharf Condominium	26
2005	Meadowview Farm Estates	13
2005	Arbor Hills Estates	54
2003	Stevens Farm Estates II	21
1995	Willow Pond Condominium	95
1990	Summer Street	2
1995	Atlantic Country Club	1
1992	Pineview Condominium	57
1995	Blueberry Hill Estates	42
1989	Stevens Farm Estates 1	44
1988	Lauren Drive	5
1988	Summer Street	5
1987	Leah Drive	5
1986	Satucket Path Condominium	16
1986	Shrewsbury	15
1985	Maplewood Condominium	52
1982	Lincoln Village Condominium	58
1976	Marlboro	10
1976	Natick	3
1973	Bayberry Road	20

12 lot subdivision in Scituate, MA

4 lot subdivision in Duxbury , MA

25 lot subdivision in East Bridgewater, MA

26 ocean front townhomes in Plymouth, MA

13 lot subdivision in Pembroke , MA

54 townhomes in Kingston, MA

21 lot subdivision in Abington , MA

95 townhomes in Rockland , MA

2 custom homes in Norwell, MA

10,000 SF clubhouse in Plymouth, MA

57 townhomes in Rockland , MA

42 lot subdivision in Abington , MA

44 lot subdivision in Abington , MA

5 duplex condominiums in Rockland , MA

5 duplex condominiums in Rockland , MA

5 single family homes in Rockland , MA

16 townhomes in Abington , MA

15 single family homes in Shrewsbury, MA

52 townhomes in Shrewsbury, MA

58 townhomes in Abington , MA

10 single family homes

3 single family homes in

20 lot subdivision in Abington , MA



## Development Team Prior Experience Neponset Village

Development	Address	Housing type	Development Type	40(b)	Units	Completion	Role	Construction Lender	Permanent Lender	Comments
<b>Blackledge</b>	91 Union St, N. Easton	For Rent	New Construction	Yes	108	2024	Developer & Builder	Rockland Trust	Rockland Trust	Permitting - Construction Start Fall 2021
<b>Sawmill Village</b>	Foundry St, Easton	For Sale	New Construction		49	2024	Developer & Builder	Norwood Bank	N/A	Permitting - Construction Start Fall 2021
<b>Eastondale</b>	121 Pine St, S. Easton	For Sale	New Construction	Yes	28	2021	Developer & Builder	Norwood Bank	N/A	Estimated Completion 8/21
<b>21East</b>	21 East Street N. Attleboro, MA	Rental	New Construction		193	2020	Developer & Builder	Cambridge Savings	FNMA	Estimated Completion 4/21
<b>Webster Village</b>	295 Webster Street Hanover, MA	Rental	New Construction	Yes	76	2018	Developer & Builder	East Boston Savings	East Boston Savings	Cost Cert. Approved
<b>Welsch Woods</b>	343 Bay Road N. Easton, MA	For Sale	New Construction	Yes	26	2017	Developer & Builder	Norwood Bank	N/A	Cost Cert. Approved
<b>Wayside Farm</b>	951 N Bedford Street E. Bridgewater, MA	For Sale	New Construction	Yes	66	2015	Developer & Builder	Norwood Bank	N/A	Cost Cert. Approved
<b>Cranberry/Rosewood</b>	Cranberry & Rosewood Lanes, Hingham, MA	For Sale	New Construction		11	2010	Developer & Builder	Rockland Trust	N/A	Complete
<b>Northpointe</b>	511 Washington Street Hanover, MA	Rental	New Construction	Yes	74	2009	Developer & Builder	Rockland Trust	Salem Five	Cost Cert. Approved

# SEB HOUSING CLIENT LIST

SEB LLC and SEB Housing LLC have together been involved in the permitting, marketing and affordable housing applicant certifications for more affordable units in Massachusetts than any other lottery agent in the State. SEB Housing's experience and expertise are well-recognized by municipality, state and monitoring agencies, and SEB Housing's participation ensures that affordable units are offered to qualified tenants and buyers through a fair and impartial selection process so that developers and management companies avoid many of the perils and challenges associated with the affordable unit lease-up, stabilization or sell-out that is part of the final phase of the development process.

As a part of the buyer and tenant selection process, SEB Housing coordinates with development teams, management companies, monitoring agents, and Program Administrators to create a marketing and lottery program that complies with applicable state, federal and local regulations, permits and conditions.

Throughout the buyer and tenant selection and recertification processes, SEB Housing works closely with prospective homebuyers and tenants to answer questions and manage the application intake and review process, including working with lenders, monitoring agents, and applicants to ensure that affordable housing units are rented or purchased by program eligible applicants.

SEB Housing is also retained to make sure that properties are annually maximizing their affordable rents as median incomes, interest rates, tax rates and/or utility allowance schedules frequently change and thereby impact affordable sales prices and/or rents.

Retaining SEB Housing helps ownership groups and management teams focus on their core processes by shifting the majority of the compliance obligations to a team of affordable housing experts to ensure that the affordable housing program conditions and obligations are satisfied with maximum efficiency and minimal oversight.

## SAMPLE RENTAL DEVELOPMENTS

Project Location	Project Name	Developer/Manager	Units	Affordable Units	Permit
Amesbury	Heights at Amesbury	Corcoran Jennison	240	60	40R
Andover	Hanover	Hanover Company	248	62	40B
Arlington	Arlington 360	Arlington 360 LLC / Jefferson Apartment Group	164	35	Special Permit (Affordable and Middle Income)
Arlington	Brigham Square	Intercontinental	116	17	Special Permit
Ashland	Cirrus	Campanelli Acquisition Partners	398	40	Special Permit
Barnstable	Everleigh Cape Cod	Greystar	225	23	Special Permit (Age Restricted)
Belmont	The Bradford	Toll Brothers	112	12	Special Permit
Berlin	The Rockwell	Riverbridge Apartments, LLC	84	21	Special Permit

**Rental Developments (Continued)**

<b>Project Location</b>	<b>Project Name</b>	<b>Developer/Manager</b>	<b># of Units</b>	<b>Affordable Units</b>	<b>Permit</b>
Beverly	110 Rantoul Street	Barnat Beverly LLC	67	16	MassHousing Workforce
Billerica	Aspen Apartments	Garden Homes	384	96	40B
Billerica	Broadstone Middlesex	Alliance Residential Company	211	53	40B
Boston	WPB1 Apartments	HYM Investment Group	368	63	BPDA Special Permit
Boston	The Cosmopolitan	Bodwell Pines Corp.	63	6	BPDA Special Permit
Boston	Velo	Residences at Forest Hills Station, LLP	250	50	BPDA Special Permit
Boston	West Square Apartments	Lincoln Property	255	33	BPDA Special Permit
Boston	The Brynx	ES Jway LLC	149	19	BPDA Special Permit
Boston	Flats on D	Bozzuto	197	26	BPDA Special Permit
Boston	Ink Block	National Development	315	41	BPDA Special Permit
Boston	Pier 4	UDR	369	32	BPDA Special Permit
Boston	The Andi	PRG SB Investors, LLC	475	62	BPDA Special Permit
Boston	Bell Olmsted	Bell Partners	196	37	BPDA Special Permit
Boston	8 Harrison	Cresset Harrison LLC	46	7	BPDA Special Permit
Boston	345 Harrison	UDR	585	58	BPDA Special Permit
Boston	Hub25	Gables Residential	278	36	BPDA Special Permit
Boston	Pierce Boston	Fenway Ventures Point Properties LLC	240	41	BPDA Special Permit
Boston	The Graphic	Princeton Properties	171	23	BPDA Special Permit
Boston	Lantera	Railyard Residential LLC	149	38	BPDA Special Permit
Boston	30 Dalton	Bozzuto	218	14	BPDA Special Permit
Boston	501 Congress St	CG Waterside/Gables	307	15	BPDA Special Permit
Boston	Via and Benjamin	Berkshire Group	832	96	BPDA Special Permit

**Rental Developments (Continued)**

<b>Project Location</b>	<b>Project Name</b>	<b>Developer/Manager</b>	<b># of Units</b>	<b>Affordable Units</b>	<b>Permit</b>
Boxborough	Paddock Estates	JPI	244	61	40B
Bellingham	Jefferson @ Bellingham	Lincoln Property Company	285	72	40B
Belmont	The Royal	AP Cambridge Partners	298	60	40B
Braintree	The Ridge @ Blue Hills	The Hanover Company/UDR	188	47	40B
Bridgewater	Axis @ Lakeshore	Claremont Companies	192	73	40B
Brookline	455 Harvard Street	Allied Properties	17	4	40B
Brookline	JFK Crossing	420 Harvard Associates LLC	25	4	40B
Bridgewater	Axis at Lakeshore	Claremont Companies	289	73	40B
Canton/Randolph	Prynn Hills	Greystar	472	120	40B
Concord	Concord Mews	Mill Creek Residential	350	88	40B
Easton	The Village at 244 Washington Place	Turner Brothers	38	10	40B
Foxboro	The Lodge @ Foxboro	The Hanover Company/UDR	250	63	40B
Framingham	55 Concord Street	Wood Partners	196	20	Special Permit
Franklin	The Westerly	Wood Partners	280	70	Special Permit
Hingham	Broadstone Bare Cove	Alliance Residential	220	55	40B
Holden	Reserve at Salisbury	Reserve at Salisbury, LLC	192	48	40B
Hopkinton	Alta Legacy Farms	Wood Partners	240	60	Special Permit
Hudson	Point at Hudson	Panco Management	44	176	40B
Lincoln	Oriole Farm	Civico Lincoln LLC	60	15	Special Permit
Littleton	Village Green	Omni Properties/Lincoln Property Company	144	36	40B
Marshfield	Marshfield Modera	Mill Creek	248	62	40B
Maynard	Vue at Maynard Crossings	Vue at Maynard Crossing Acquisitions LLC	180	22	Special Permit

**Rental Developments (Continued)**

<b>Project Location</b>	<b>Project Name</b>	<b>Developer/Manager</b>	<b># of Units</b>	<b>Affordable Units</b>	<b>Permit</b>
Medford	Lumiere	Criterion Development Partners	163	16	Special Permit
Medford	Wellington Place	Lincoln Property	137	5	Special Permit
Medford	Hanover R.S. Limited Partnership	61 Locust Street	350	35	Special Permit
Melrose	Jack Flats	Bozzuto	212	19	Special Permit
Natick	Modera Natick Center	Mill Creek Residential	128	38	40R
Natick	Cloverleaf	Forest Properties	183	46	40B
Natick	Avenu at Natick	National Development	164	17	Special Permit Age Restricted
Needham	Charles River Landing	The Hanover Company/UDR	350	88	40B
Needham	Modera	Mill Creek	136	34	40B
Newton	28 Austin Street	Dinosaur Capital	68	23	Special Permit with MassHousing Workforce Component
Newton	Hancock Estates	Chestnut Hill Realty	88	9	Special Permit
Newton	TRIO	Mark Development	140	35	Special Permit
North Reading	Edgewood	Lincoln Property Company	406	102	40R
Norton	274 East Main Street	Campanelli Thorndike	188	47	40B
Norwood	Cottonwood One Upland	Cottonwood Residential	264	66	40B
Peabody	Newbury Point	Jam LLC	60	15	40B
Randolph	Rosemont Square	Waterton	30	120	40B
Reading	Metropolitan Reading Station	MKM Reading LLC	68	17	40B
Shrewsbury	Quinn 35	Bell Partners	250	25	Special Permit
Somerville	Block 8	Federal Realty	500	31	Special Permit
Somerville	Montaje	Federal Realty	447	56	Special Permit
Stoughton	Bell Stoughton	UDR/Bell Partners	240	60	40B

**Rental Developments (Continued)**

<b>Project Location</b>	<b>Project Name</b>	<b>Developer/Manager</b>	<b># of Units</b>	<b>Affordable Units</b>	<b>Permit</b>
Stoughton	Taj Estates	Taj Estates LLC	179	45	40B
Stamford, CT.	The Glenview House	Lincoln Property Company	146	14	Special Permit
Tewksbury	The Lodge @ Ames Pond	The Hanover Company/UDR	364	91	40B
Walpole	Alta Easterly	Wood Partners	157	40	40B
Waltham	Currents on the Charles	Hines	200	20	Special Permit
Waltham	Merc on Moody & Main	Northland Investments	269	29	Special Permit
Waltham	Watch Factory Lofts	Berkeley Investments	240	24	Special Permit
Watertown	Arsenal Yards	Boylston Properties	302	46	Special Permit
Watertown	Watertown Mews	Mill Creek Residential	206	32	Special Permit
Watertown	Bell Watertown	Wood Partners/Bell Partners	155	16	Special Permit
Watertown	Gables Arsenal	The Hanover Company	296	30	Special Permit
Watertown	Elan Union Market	Greystar	282	35	Special Permit
Watertown	385 Pleasant Street	Glenshane Properties	53	8	Special Permit
Watertown	Watermills	Mark Coppola World Realty	99	15	Special Permit
Westborough	Flanders Hill	Lincoln Property Company	280	70	40B
Westborough	Parc	Cottonwood Residential	250	63	40B
Westford	Princeton Westford	Princeton Property	200	40	40B
Westford	Westford Hills	Hanover Company	180	36	40B
Westford	Westford Valley	Hanover Company	240	60	40B
Westwood	Gables and Gables II University Station	The Hanover Company	350	39	Special Permit
Woburn	Emery Flats	National Development	200	50	40B
Wrentham	The Point at Wrentham	Panco Management	240	60	40B

**SAMPLE HOMEOWNERSHIP DEVELOPMENTS**

<b>Project Location</b>	<b>Project Name</b>	<b>Developer/Manager</b>	<b>Total Units</b>	<b>Affordable Units</b>	<b>Permit</b>
Boston	Vita	JP Property One, LLC	82	12	BPDA Special Permit
Boston	Sepia Ink Block	National Development	77	8	BPDA Special Permit
Boston	88 Wareham	Allied Residential	27	4	BPDA Special Permit
Bridgewater	Elm Street Estates	Elm Residences at Bridgewater, LLC	20	5	40B
Burlington	Reserve at Seven Springs	Northland Residential	50	2	Special Permit
Canton	Copperworks	Thorndike Development	108	7	Special Permit
Douglas	North Village	NorthBrown LLC	124	31	40B
Duxbury	Duxbury Woods	Northland Residential	44	11	40B
Easton	Welsch Woods	Welsch Woods, LLC	28	7	40B
Easton	Meadowview Commons	T&M Realty Development	36	9	40B
Easton	Eastondale Cottages	Eastondale LLC	28	7	40B
Grafton	Providence Road Commons	Providence Road Commons, LLC	28	7	40B
Hingham	Derby Brook	Realty Assets, Inc	24	6	40B
Kingston	Barrows Brook Village	Delwin, LLC	56	14	40B
Medfield	Medfield Green	RQC	12	3	40B
Milford	Beaver Pond Commons	AFCO Land & Development	88	22	40B
Nantucket	Sandpiper	Richmond Company	105	27	Special Permit (80%AMI and Workforce Housing)
Natick	The Natick Collection	GGP Natick Residence LLC	250	48	Special Permit
Natick	20 South Street	RFR Enterprises	28	5	Special Permit
Newton	Parkview Homes	Parkview Homes, LLC	10	10	40B
North Andover	Campion Estates	Campion Estates	26	7	40B
Plymouth	Sawmill	Sawmill Development Corp	200	60	40B
Rehoboth	Horton Estates	Horton Estates, LLC	66	17	40B

### Homeownership Developments (Continued)

<b>Project Location</b>	<b>Project Name</b>	<b>Developer/Manager</b>	<b>Total Units</b>	<b>Affordable Units</b>	<b>Permit</b>
Rehoboth	Autumn Heights	Starlight Development	37	10	40B
Salem	65 Washington Street	65 Washington Street LLC	61	6	Special Permit
Scituate	Walden Woods	Morrocco Partners	28	7	40B
Somerville	Alloy	Federal Realty	122	15	Special Permit
Stoughton	Village at Goddard Highlands	AGS Development	104	26	40B
Taunton	The Settlement	Bruce LLC II	99	25	40B
Uxbridge	Forest Glen Estates	O'Hearne Forest Glen	44	5	Special Permit Age Restricted
Wakefield	Wakefield Landing	HB Development Corp	32	4	Special Permit
Woburn	Shannon Farms	The Maggiore Companies	106	11	Special Permit
Wrentham	Eagle Brook Village	Eaglebrook Development, LLC	101	28	40B



General Site Project Site Control Financial Qualifications & Certification

Notifications & Fees Contacts

Site Approval Application/Homeownership

Neponset Village LLC

Applicant Qualifications, Entity Information, and Certification

Submit

Print

Affiliated Entity

Certification & Acknowledgement

Previous Applications

Attachments

### Certification & Acknowledgement

I hereby certify on behalf of the Applicant, under pains and penalties of perjury, that the information provided above for each of the Applicant Entities is, to the best of my knowledge, true and complete; and that each of the following questions has been answered correctly to the best of my knowledge and belief:

(Please attach a written explanation for all of the following questions that are answered with a "Yes". Explanations should be attached to this Section)

Is there pending litigation with respect to any of the Applicant Entities?  Yes  No

Are there any outstanding liens or judgments against any properties owned by any of the Applicant Entities?  Yes  No

Have any of the Applicant Entities failed to comply with provisions of Massachusetts law related to taxes, reporting of employees and contractors, or withholding of child support?  Yes  No

Have any of the Applicant Entities ever been the subject of a felony indictment or conviction?  Yes  No

During the last 10 years, have any of the Applicant Entities ever been party to a lawsuit involving fraud, gross, negligence, misrepresentation, dishonesty, breach of fiduciary responsibility, or bankruptcy?  Yes  No

Have any of the Applicant Entities failed to carry out obligations in connection with a Comprehensive Permit issued pursuant to M.G.L. c. 40B and any regulations or guidelines promulgated thereunder including, but not limited to, completion of a cost examination and return of any excess profits or distributions?:  Yes  No

Have any of the Applicant Entities ever been charged with a violation of state or federal fair housing requirements?  Yes  No

Are any of the Applicant Entities not current on all existing obligations to the Commonwealth of Massachusetts, and any agency, authority or instrument thereof?  Yes  No

I hereby acknowledge our commitment and obligation to comply with requirements for cost examination and limitations on profits and distributions, all as found at 760 CMR 56.04(8) (<https://www.mass.gov/doc/760-cmr-56-comprehensive-permit-low-or-moderate-income-housing/download>) and will be more particularly set forth in a Regulatory Agreement by and between the Applicant and MassHousing.

I hereby acknowledge that will be required to provide financial surety by means of bond, cash escrow and a surety escrow agreement or letter of credit with the agreement that it may be called upon or used in the event that the Developer fails either to (i) complete and submit the examined Cost Certification as required by 760 CMR 56.04(8) and the Regulatory Agreement, or (ii) pay over to the Subsidizing Agency or the Municipality any funds in excess of the limitations on profits and distributions from capital sources as required by 760 CMR 56.04(8) and as set forth in the Regulatory Agreement.

I further certify that we have met with a representative of the 40B Department at MassHousing and understand the requirements for a) completing this application and b) the procedures if and when Site Approval is granted, including the requirement for (i) the use of the standard MassHousing Regulatory Agreement, (ii) submission to MassHousing, of a cost certification examined in accordance with AICPA attestation standards by ninety days of project completion (and prior to permanent loan closing if MassHousing is the permanent lender), of an audited cost certification by an approved certified public accountant and (iii) the posting of surety for completion of the cost certification as a condition of Final Approval by MassHousing under Chapter 40B.

I further certify that the information set forth in this application (including attachments) is true, accurate and complete as of the date hereof to the best of my/our knowledge, information and belief. I further understand that MassHousing is relying on this information in processing the request for Site Approval in connection with the above-referenced project and acknowledge that MassHousing retains the right to rescind a Site Approval Letter if evidence to the contrary is submitted.

Signature:

Name:

Title:

Date:

**NOTIFICATIONS AND FEES**

General Site Project Site Control Financial Qualifications & Certification Notifications & Fees

Contacts

Site Approval Application/Homeownership

Neponset Village LLC

Notifications and Fees

Submit Print

Notifications & Fees Application Checklist Attachments

Upload

Attachment:

7.2 Evidence that a copy was sent to CEO of municipali

Choose File

No file chosen

Upload

Uploaded Attachments

- 7.1 Narrative describing communications with municipal officials  
Town Discussions.docx Delete
- 7.3 Copy of notice of application sent to DHCD  
DHCD Letter.pdf Delete
- 7.4 Evidence of ACH/Wire Transfer Receipt  
MassHousing Wire.pdf Delete
- 7.5 MHP Technical Assistance/Mediation Fee  
MHP Letter with Fee.pdf Delete
- 7.6 W-9 (Taxpayer Identification Number)  
W9.pdf Delete

7.1 Narrative describing any prior correspondence and/or meetings with municipal officials:

Please provide narrative describing any prior correspondence and/or meetings with municipal officials.

7.2 Evidence that a copy was sent to CEO of municipality (required):

Please provide evidence (such as a certified mail receipt) that a copy of the complete application package was sent to the chief elected official of municipality (may be submitted after the application is submitted to MassHousing).

7.3 Copy of notice of application sent to DHCD (required):

Please provide copy of notice of application sent to DHCD.

7.4 Evidence of ACH/Wire Transfer Receipt (required):

Please provide a copy of the receipt as evidence that the ACH/Wire Transfer was processed and accepted by the bank.

7.5 Check made payable to MassHousing Partnership for Technical Assistance/Mediation Fee:

Please complete the MHP Cover Letter (...Downloads\MHPTA_MediationFee.pdf) and remit payment directly to MHP

**7.6 W-9 (Taxpayer Identification Number):**

Please provide W-9 (Taxpayer Identification Number).

### **Subsequent Meetings with Town Officials**

October 14, 2020

An initial Meeting was held with the Town Administrator, the Community and Economic Development Officer, and Building Commissioner to discuss the project in concept. Some initial thoughts were provided by the Town for the Applicant to consider and incorporate, if possible, into the design.

March 30, 2021

A zoom meeting was chaired by the new Community and Economic Development Officer, to the best of our knowledge the Town Administration, Building Department, Department of Public Works (to include Sewer & Water and Engineering), Police, and Fire were all represented. Several comments were made about a second/emergency access and other technical items. The commitment to upgrade the water lines in the area (initially made during Site Plan Approval) was confirmed by both the DPW and the Applicant.



August 30, 2021

Department of Community & Housing Development  
Jennifer Maddox, Undersecretary  
100 Cambridge Street  
Boston, MA 02114

RE: Site Eligibility Application  
Neponset Village, Walpole, MA

Dear Ms. Maddox:

Neponset Village LLC ("Applicant") has submitted to MassHousing an application for determination of Project Eligibility ("Site Approval") pursuant to Mass General Laws Chapter 40(b) and 760 CMR 56.00 under the following programs:

Housing Starts Program of Massachusetts Housing Finance Agency ("MassHousing")

New England Fund Program ("NEF") of the Federal Home Loan Bank of Boston

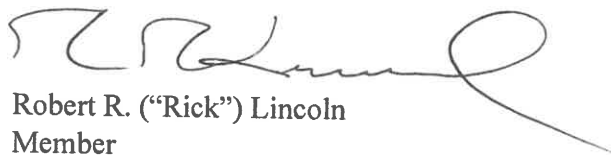
In accordance with regulations, this letter shall serve as notice that we are hereby notifying the Department of Housing & Community Development (DHCD) of the request to MassHousing.

In addition, a copy of the application is being submitted to the Town of Walpole Board of Selectpersons.

The proposal is for twenty two 2-bedroom and two 3-bedroom townhomes in seven buildings.

Please contact me with any questions.

Sincerely,  
Neponset Village LLC



Robert R. ("Rick") Lincoln  
Member

## ROCKLAND TRUST

### Funds Transfer / Payment Order Request

Today's Date	<u>30-AUG-2021</u>	Transfer Date	<u>30-AUG-2021</u>
Branch Name		<u>BRIDGEWATER (950)</u>	Branch Code <u>950</u>
Originator's Account #		<u>9071</u>	
Online Institution's Routing Number (9 digits)			
Wire Number <u>202108300001195</u>	Wire Amount	USD 7,650.00 Service Charge	<u>25.00</u> Product Code <u>CTR</u>
	Debit Amount	USD 7,675.00 Exchange Rate	<u>0.00</u>
	Created By	TAMI CAMERON	(CrGL4275)
Telegraphic Name	<u>BANK OF AMERICA, N.A., NY</u>		
Name of Originator	<u>NEPONSET VILLAGE LLC</u>		
Taxpayer ID			
Address of Originator	<u>4 1ST ST</u> <u>BRIDGEWATER MA 02324-1056</u>		

Corresponding Institution  
(If Beneficiary's Bank is offline or Outside the United States)

Beneficiary Institution  
(Final Destination Bank's Name & Address)

Beneficiary's Name (Final Recipient of Funds)  
Beneficiary's Address (required)

MASS HOUSING  
1 BEACON STREET  
BOSTON, MA. 02108  
0501162997

Beneficiary's Account Number (required)  
Other Beneficiary Information, Reference Information, or Payment Instructions  
YOUR MASS HOUSING PROJECT  
NEPONSET VILLAGE LLC

MHFA, CLEARING ACCOUNT

Rockland Trust Company reserves the right to convert any U.S. dollars specified above to currency that is deemed by Rockland Trust Company to be commonly used in the locale of the beneficiary bank, unless a U.S. dollar correspondent bank is specified.

I/we hereby authorize Rockland Trust Company ("Bank") to complete the above-described wire transfer from the account identified above. I/we understand that (i) the Bank may rely on the identifying number of a credit party even if it identifies a person or bank different from the intended credit party and that I/we will be responsible for any inconsistency between name and account number, and (ii) the Bank shall not be liable for special, indirect, consequential or punitive damages in accordance with the Terms and Conditions on page 2.

I/we understand that this Wire Transfer Request form is considered "Proof of Payment" as described in §1005.31(b)(3) of Regulation E, if applicable.

Authorized Signature (and Title, if applicable)      Date      Name of business or organization, if applicable

Authorized Signature (and Title, if applicable)      Date      Authorized Signature (and Title, if applicable)      Date



**PAYMENT OF TOTAL TECHNICAL ASSISTANCE / MEDIATION AND UNIT FEE**

Please complete this form and mail it, along with your check for the Total Technical Assistance / Mediation and Unit Fee made payable to Massachusetts Housing Partnership, to the address below.

MHP FUND  
PO Box 845437  
Boston, MA 02284-5437

**Attn: Katie Bosse**

- Name of applicant: Neponset Village LLC
- Location of project: 0 Pleasant Street, Walpole, MA
- Name of project: Neponset Village
- Number of units: 24
- Number of acres of site: 2.8
- Rental or Homeownership: Home Ownership

REFERENCE NO.	DESCRIPTION	INVOICE DATE	INVOICE AMOUNT	DISCOUNT TAKEN	AMOUNT PAID
TTA/Med &		8/30/21	3,700.00		3,700.00
CHECK DATE	CHECK NO.	PAYEE		DISCOUNTS TAKEN	CHECK AMOUNT
8/30/21	1003	MHP Fund			\$3,700.00

ROCKLAND TRUST COMPANY  
53-447/113

1003  
FRAUDPROOF

NEPONSET VILLAGE LLC  
4 FIRST STREET  
BRIDGEWATER, MA 02324

DATE  
Aug 30, 2021

Check Number 1003

Memo:

\$ 3,700.00

PAY TO THE ORDER OF: Three Thousand Seven Hundred and 00/100 Dollars

MHP Fund  
P.O. Box 845437  
Boston, MA 02284-5437



AUTHORIZED SIGNATURE

⑆001003⑆ ⑆011304478⑆ ⑆7950009071⑆

# Request for Taxpayer Identification Number and Certification

Give Form to the requester. Do not send to the IRS.

▶ Go to [www.irs.gov/FormW9](http://www.irs.gov/FormW9) for instructions and the latest information.

Print or type. See Specific Instructions on page 3.

**1** Name (as shown on your income tax return). Name is required on this line; do not leave this line blank.  
**Neponset Village LLC**

**2** Business name/disregarded entity name, if different from above

**3** Check appropriate box for federal tax classification of the person whose name is entered on line 1. Check only **one** of the following seven boxes.

Individual/sole proprietor or single-member LLC     C Corporation     S Corporation     Partnership     Trust/estate

Limited liability company. Enter the tax classification (C=C corporation, S=S corporation, P=Partnership) ▶ **P**

**Note:** Check the appropriate box in the line above for the tax classification of the single-member owner. Do not check LLC if the LLC is classified as a single-member LLC that is disregarded from the owner unless the owner of the LLC is another LLC that is **not** disregarded from the owner for U.S. federal tax purposes. Otherwise, a single-member LLC that is disregarded from the owner should check the appropriate box for the tax classification of its owner.

Other (see instructions) ▶

**4** Exemptions (codes apply only to certain entities, not individuals; see instructions on page 3):  
Exempt payee code (if any) _____  
Exemption from FATCA reporting code (if any) _____  
*(Applies to accounts maintained outside the U.S.)*

**5** Address (number, street, and apt. or suite no.) See instructions.  
**C/O Coneco, 4 First Street**

**6** City, state, and ZIP code  
**Bridgewater, MA 02324**

**7** List account number(s) here (optional)

Requester's name and address (optional)

## Part I Taxpayer Identification Number (TIN)

Enter your TIN in the appropriate box. The TIN provided must match the name given on line 1 to avoid backup withholding. For individuals, this is generally your social security number (SSN). However, for a resident alien, sole proprietor, or disregarded entity, see the instructions for Part I, later. For other entities, it is your employer identification number (EIN). If you do not have a number, see *How to get a TIN*, later.

**Note:** If the account is in more than one name, see the instructions for line 1. Also see *What Name and Number To Give the Requester* for guidelines on whose number to enter.

**Social security number**

			-						
--	--	--	---	--	--	--	--	--	--

or

**Employer identification number**

8	6	-	2	7	2	9	7	8	5
---	---	---	---	---	---	---	---	---	---

## Part II Certification

Under penalties of perjury, I certify that:

- The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me); and
- I am not subject to backup withholding because: (a) I am exempt from backup withholding, or (b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of a failure to report all interest or dividends, or (c) the IRS has notified me that I am no longer subject to backup withholding; and
- I am a U.S. citizen or other U.S. person (defined below); and
- The FATCA code(s) entered on this form (if any) indicating that I am exempt from FATCA reporting is correct.

**Certification instructions.** You must cross out item 2 above if you have been notified by the IRS that you are currently subject to backup withholding because you have failed to report all interest and dividends on your tax return. For real estate transactions, item 2 does not apply. For mortgage interest paid, acquisition or abandonment of secured property, cancellation of debt, contributions to an individual retirement arrangement (IRA), and generally, payments other than interest and dividends, you are not required to sign the certification, but you must provide your correct TIN. See the instructions for Part II, later.

**Sign Here**    Signature of U.S. person ▶     Date ▶ **7/30/21**

## General Instructions

Section references are to the Internal Revenue Code unless otherwise noted.

**Future developments.** For the latest information about developments related to Form W-9 and its instructions, such as legislation enacted after they were published, go to [www.irs.gov/FormW9](http://www.irs.gov/FormW9).

## Purpose of Form

An individual or entity (Form W-9 requester) who is required to file an information return with the IRS must obtain your correct taxpayer identification number (TIN) which may be your social security number (SSN), individual taxpayer identification number (ITIN), adoption taxpayer identification number (ATIN), or employer identification number (EIN), to report on an information return the amount paid to you, or other amount reportable on an information return. Examples of information returns include, but are not limited to, the following.

- Form 1099-INT (interest earned or paid)

- Form 1099-DIV (dividends, including those from stocks or mutual funds)
- Form 1099-MISC (various types of income, prizes, awards, or gross proceeds)
- Form 1099-B (stock or mutual fund sales and certain other transactions by brokers)
- Form 1099-S (proceeds from real estate transactions)
- Form 1099-K (merchant card and third party network transactions)
- Form 1098 (home mortgage interest), 1098-E (student loan interest), 1098-T (tuition)
- Form 1099-C (canceled debt)
- Form 1099-A (acquisition or abandonment of secured property)

Use Form W-9 only if you are a U.S. person (including a resident alien), to provide your correct TIN.

*If you do not return Form W-9 to the requester with a TIN, you might be subject to backup withholding. See What is backup withholding, later.*

**Application for Chapter 40B Project Eligibility / Site Approval**

**for MassHousing-Financed and New England Fund (“NEF”) Homeownership Projects**

**Section 7: NOTIFICATION AND FEES**

**Notices**

Event	Date
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Date(s) of meetings, if any, with municipal officials prior to submission of application to MassHousing:

Date copy of complete application sent to chief elected office of municipality:

Date notice of application sent to DHCD:

**Fees**

All fees that are payable to MassHousing should be sent via ACH/Wire Transfer. Please contact MassHousing for the ACH/Wire Transfer instructions.

Fees payable to the Massachusetts Housing Partnership should be sent directly to MHP with the MHP Cover Letter

Fee	Amount	Instructions
<b>MassHousing Application Processing Fee:</b>	<b>\$7,500</b>	payable to MassHousing
Chapter 40B Technical Assistance/Mediation Fee:	\$2,500	(Limited Dividend Sponsor \$2,500, Non-Profit or Public Agency Sponsor \$1,000)
Unit Fee:	\$1,200	(\$50 per Unit)
<b>Total TA/Mediation and Unit Fee:</b>	<b>\$3,700</b>	(Payable to Massachusetts Housing Partnership)

**Land Appraisal Cost: You will be required to pay for an "as-is" market value appraisal of the Site to be commission by MassHousing. MasHousing will contact you once a quote has been received for the cost of the appraisal.**

**IMPACT ANALYSIS OF THE NATURAL AND BUILT ENVIRONMENT**

(See MassHousing Submittal -Sec 2.4)

**TRAFFIC IMPACT REPORT**

(See MassHousing Submittal - Sec 2.0)

**STATEMENT OF IMPACT ON MUNICIPAL FACILITIES AND SERVICES**

3.2.15 Statement of Impact on Municipal Facilities and Services – The Application shall provide a detailed analysis of the impact of the proposed project on municipal facilities and services and include an analysis of the costs imposed upon the Town as well as the anticipated tax and other revenue to be generated by the proposed project.

The Project will provide additional revenue to the Town through an increase in real estate tax revenues based upon the Board of Assessors valuation of the property once developed, an increase in local spending based upon increased residency, and collection of the motor-vehicle excise tax. Further, the costs to the Town for municipal facilities and services such as police, fire, public health, cultural and recreational services, and general government will be minimal. Though the Project proposes 24 units for residency, the location of the Project means that there will not be substantial, additional infrastructure or service costs to the Town. Additionally, the portions of the Project to be developed are zoned General Residence and therefore deemed suited by the Town for residential development.



**STATEMENT OF DEMONSTRATION OF COMPLIANCE**

The project complies with Walpole's Master Plan noting that significant portions of the Master Plan Housing recommendations discuss increasing affordable housing and complying with the Chapter 40B goal of 10% affordable housing. Reviewing the Master Plan and Master Plan 5 Year Update Report Posted on the Master Plan Implementation Committee page of the Town of Walpole web site for compliance, the following are relevant:

1. The Site is specifically identified as a site for potential housing development on Map 12 Housing Opportunities. Master Plan Map 12
2. "Hometown Walpole - Walpole is a family-oriented town and its neighborhoods offer a variety of housing opportunities - single family homes, condominiums, rental apartments, and options for senior housing. By meeting state goals for affordable housing through housing development that fits Walpole's character, the town has made it possible for seniors, young people, and town employees to stay in their hometown." Master Plan Page 2
3. "Provide housing affordable to seniors, town employees and young people starting out in life and meet the Chapter 40B goal for 10% permanently affordable housing." Master Plan Page 5
4. Section VII Housing and Residential Character provides a detailed discussion of the need for affordable housing in Walpole. Master Plan Pages 71 - 83 and 89 - 94
5. The section entitled "Manage housing development to preserve open space character and create affordable housing" discusses guiding the "Town to its 10% affordable housing requirements pursuant to Chapter 40B of the General Laws as desired by the Town" as well as other options for affordable housing production. Master Plan 5 Year Update Report Pages 5 -6

The project is not identified or discussed as potential open space. Furthermore, the project site is not identified as a cultural or natural resource under the Master Plan.

**LIST OF ABUTTERS**



**Board of Assessors**  
John R. Fisher, Chair  
Robert L. Bushway, Clerk  
Richard J. Zaccaro, Member

**TOWN OF WALPOLE**  
Commonwealth of Massachusetts  
Phone (508) 660-7315 Fax (508) 906-3598  
E-mail: Assessors@walpole-ma.gov

**Town Hall**  
135 School Street  
Walpole, MA 02081

July 21, 2021

I, Dennis J. Flis, Director of Assessing for the Board of Assessors in the Town of Walpole, hereby certify that the following are the current owners as of January 1, 2021; for FY 22.

The land being shown on the Assessors Map for the Town of Walpole as the following:

Owner: McSharry Bros Inc  
Parcel: 20-54

Address: 28 MaGuire Park

Owner: McSharry Bros Inc  
Parcel: 20-63

Address: Pleasant Street

Together with the attached lists of owners of all adjoining land of said abutters within 300 feet of the property lines.

---

Dennis J. Flis  
Director of Assessing

Attachments

20/ 28/ / /  
HOLLINGSWORTH & VOSE CO  
112 WASHINGTON ST  
E WALPOLE, MA 02032

20/ 63/ / /  
MCSHARRY BROS INC  
7 LEAH DRIVE  
ROCKLAND, MA 02370

20/ 60/ / /  
NILAND GREGORY S  
11 MAGUIRE PK  
E WALPOLE, MA 02032

20/ 53/ / /  
BILOTTA FRANCESCO & ROSA TRS  
FRANCESCO BILOTTA REVOC  
TRUST OF  
19 ARBOR CT  
E WALPOLE, MA 02032

20/ 57/ / /  
KEFALIS THOMAS J & LIANA  
8 MAGUIRE PK  
WALPOLE, MA 02081

20/ 55/ / /  
DANIELS SHIRLEY L  
47 PLEASANT STREET  
WALPOLE, MA 02081

20/ 52/ / /  
KIRBY MICHAEL R & JESSICA L  
12 ARBOR CT  
E WALPOLE, MA 02032

20/ 59/ / /  
WILLIAMS SETH B & STEPHANIE B  
15 MAGUIRE PK  
E WALPOLE, MA 02032

20/ 51/ / /  
CONNOR EDWARD H & CAROLE A  
8 ARBOR CT  
E WALPOLE, MA 02032

20/ 50/ / /  
KELLAND JAMES W & MARILYN A  
57 PLEASANT STREET  
E WALPOLE, MA 02032

20/ 54/ / /  
MCSHARRY BROS INC  
7 LEAH DRIVE  
ROCKLAND, MA 02370

20/ 56/ / /  
SADOWSKI MICHEAL S & MELANIE  
D  
45 PLEASANT ST  
E WALPOLE, MA 02032

20/ 58/ / /  
MCDAVITT LAWRENCE W &  
DEBORAH S  
12 MAGUIRE PK  
E WALPOLE, MA 02032

20/ 96/ / /  
BREWER CASEY & TYLER C  
11 CHARLOTTE RD  
E WALPOLE, MA 02032

20/ 67/ / /  
COHEN ALEX S & DIANE L  
18 CHARLOTTE DRIVE  
E WALPOLE, MA 02032

20/ 97/ / /  
MERRICK JAMES A & DONNA M  
42 PLEASANT ST  
E WALPOLE, MA 02032

20/ 68/ / /  
HODGE JOSHUA N  
22 CHARLOTTE RD  
E WALPOLE, MA 02032

20/ 98/ / /  
CONWAY P P & CLARK-CONWAY P  
48 PLEASANT ST  
E WALPOLE, MA 02032

20/ 71/ / /  
CLARK RUTH L &  
CLARK PATRICIA M  
44 CHARLOTTE RD  
E WALPOLE, MA 02032

20/ 69/ / /  
HURLEY JOHN F JR & DYMPHNA A  
26 CHARLOTTE RD  
E WALPOLE, MA 02032

20/ 70/ / /  
STOFFMAN MAIDA LYNN  
32 CHARLOTTE RD.  
E WALPOLE, MA 02032

20/ 66/ / /  
ROMEO MARC S & JESSICA K  
30 PLEASANT ST  
E WALPOLE, MA 02032

20/ 62/ / /  
GASS JOHN  
7 PLEASANT ST  
E WALPOLE, MA 02032

20/ 41/ / /  
TRACY CAROL A & THEODORE C  
88 UNION ST  
E WALPOLE, MA 02032

20/ 61/ / /  
MCCALLUM SCOTT A  
37 PLEASANT ST  
E WALPOLE, MA 02032

20/ 65/ / /  
GARDENS AT GETHSEMANE INC  
670 BAKER STREET  
W ROXBURY, MA 02132

20/ 296/ / /  
15-21 PLEASANT STREET TRUST  
FEDERICO ARMANDO TR  
P.O. BOX 35  
NORWOOD, MA 02062

20/ 53/ 1/ /  
SAXENA MANOJ & MONIKA  
18 ARBOR COURT  
E WALPOLE, MA 02032

20/ 64/ / /  
CERTAINTEED CORPORATION  
RYAN LLC-ANDREW GROVE  
13155 NOEL ROAD SUITE 100  
DALLAS, TX 75240

20/ 49/ / /  
DOMINICI AMY J  
67 PLEASANT ST  
E WALPOLE, MA 02032

20/ 45/ / /  
NICKERSON KENNETH & GRUBER  
JANE  
UNION IRREVOCABLE TRUST  
P.O. BOX 1051  
EDGEWATER, FL 32132

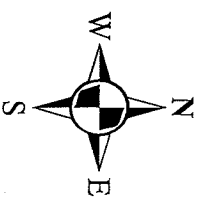
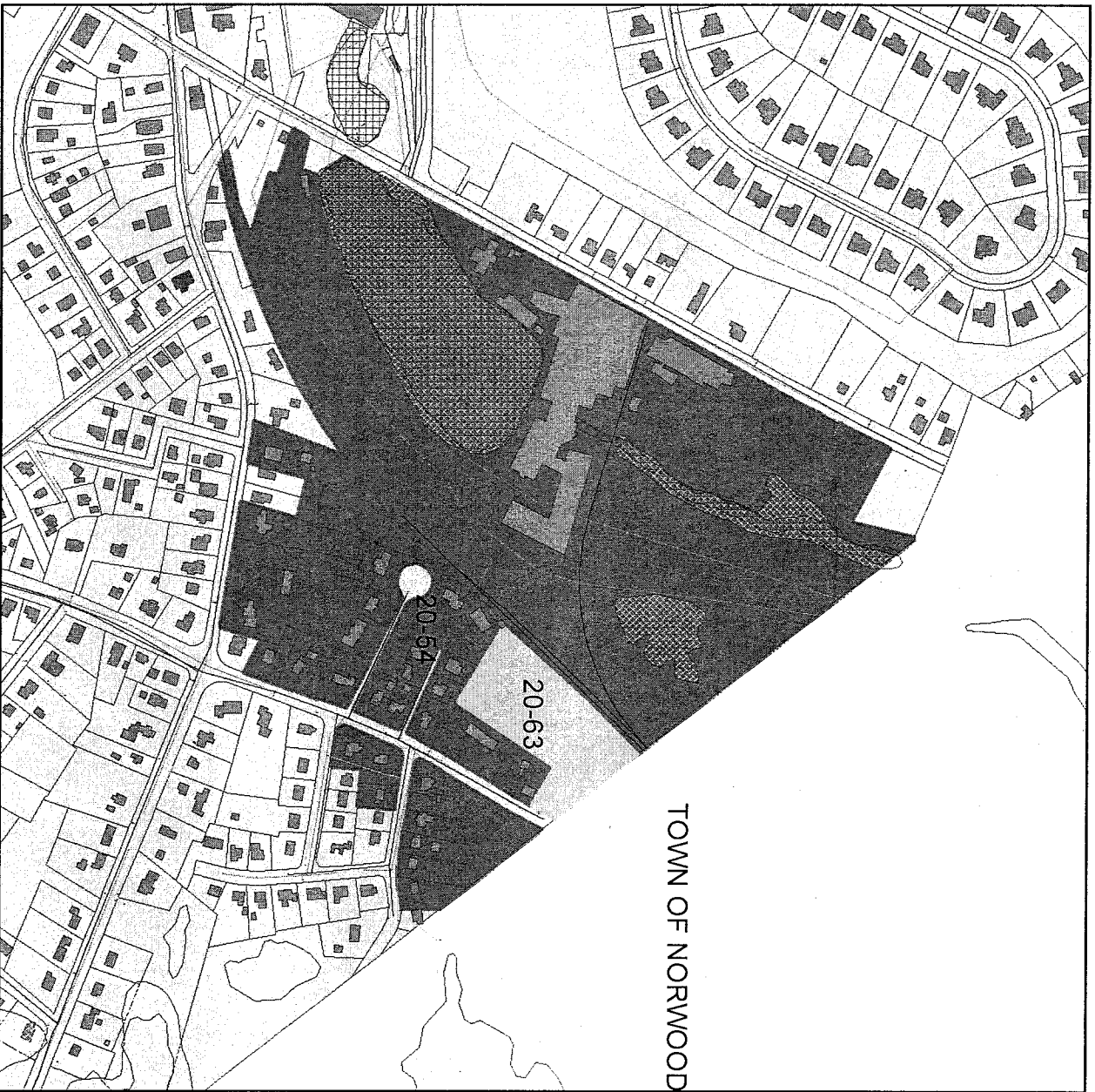
20/ 44/ / /  
MULLIGAN JEREMIAH & RACHEL  
104 UNION ST  
E WALPOLE, MA 02032

20/ 48/ / /  
CONNORS RYAN C  
75 PLEASANT ST  
E WALPOLE, MA 02032

20/ 46/ / /  
CORMIER JOSEPH B & PAMALE J  
130 UNION ST  
E WALPOLE, MA 02032

TOWN OF NORWOOD

20-54 & 20-63



BIRD INC C/O RYAN & CO ATTN PAMELA SMITH 13155 NOEL RD 12FL LB71 DALLAS, TX 75240		
GOMES, MARIO 400 EAST STREET WALPOLE, MA 02081		
KNIOLEK, YADZIA 1078 PLEASANT STREET NORWOOD, MA 02062		
NORWOOD CONCRETE CONSTRUCTION INC C/O ROMANELLI 200 EAST CROSS STREET NORWOOD, MA 02062		
SJK PROPERTY MANAGEMENT, LLC 295 EAST MAIN STREET NORTON, MA 02766		
THE GARDENS AT GETHSEMANE, INC 670 BAKER STREET WEST ROXBURY, MA 02132		
VENTEROSA DONALD TRUSTEE P & D REALTY 425 RAILROAD AV NORWOOD, MA 02062		